

A42218 -> WS-Adams_5706

PERMIT NUMBER: B 22000476

DATE ACCEPTED: DILP 2022 FEB 14 AM 11:0



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 5708 ADAMS WAY Unit: _____
 City: CLARKSVILLE State: MD Zip Code: 21029
 Subdivision/Village/Complex Name: _____ SDP/WP/BA #: _____
 Lot: 25 Tax Map: 0028 Parcel: 0395 Grading Permit #: N/A

DESCRIPTION OF WORK REQUIRED

Existing Use: NONE Proposed Use: RESIDENTIAL ADDITION Estimated Cost: \$60,000.00
 Trade Work to Be Completed (Separate Permits Required):
 Mechanical (HVACR) Electrical Plumbing None
 300 SF ONE ROOM RESIDENTIAL ADDITION OFF THE BACK OF THE EXISTING GARAGE *Home Office*

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): MICHAEL KOGUT - SARAH KOGUT Primary Residence: Yes No
 Owner's Street Address: 5708 ADAMS WAY
 City: CLARKSVILLE State: MD Zip Code: 21029
 Phone: (240) 305-5080 Email: karakog@aol.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: KOGUT ARCHITECTS LLC Contact Name: MICHAEL KOGUT
 Street Address: 8600 FOUNDRY STREET, SUITE 302
 City: SAVAGE State: MD Zip Code: 20763
 Phone: (301) 490-9066 Email: kogut_architects@comcast.net

CONTRACTOR INFORMATION REQUIRED

Business Name: GREGORY CUSTOM REMODELING, LLC
 Licensee's Name: JOSEPH GREGORY License #: 85779 - MHIC; 8476 - MHBR
 Street Address: 10015 OLD COLUMBIA ROAD
 City: COLUMBIA State: MD Zip Code: 21046
 Phone: (443) 831-7563 Email: gregoryremodeling@gmail.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: KOGUT ARCHITECTS LLC Name: MICHAEL KOGUT
 Street Address: 8600 FOUNDRY STREET, SUITE 302
 City: SAVAGE State: MD Zip Code: 20763
 Phone: (301) 490-9066 Email: kogut_architects@comcast.net

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
 Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
 Heating System: Electric Natural Gas Propane Other: _____ Roadside Tree Project: No Yes: # _____
 Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:
 # of Bedrooms (SF): 0 # of efficiency units (MF*): 0 # of 1 BR (MF*): 0 # of 2 BR (MF*): 0 # of 3 BR (MF*): 0
 # Rooms: 1 # Full Baths: 0 # Half Baths: 0 # Fireplaces: 0
 Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
 Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
 1st Fl Width: 30'-0" 1st Fl Depth: 20'-0" 2nd Fl Width: N/A 2nd Fl Depth: N/A Bsmt Width: N/A Bsmt Depth: N/A
 Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 600 sq ft Occupiable Area: 600 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

[Signature] DATE SIGNED: 2/14/2022

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:
 PR DPZ DED Health *gls 2/26/22* SHA CID
 SUBMITTAL FEES: \$25.00 PAYMENT: CK# 2996 ACCEPTED BY: AKH

S 88° 41' 34" E 462.0'

60' B.R.L.

N 35° 27' 22" W 632.68'

30' B.R.L.

S 10° 36' 10" E 409.75'

30' B.R.L.

100' B.R.L.

65' 50' 23" W 156.0'

A = 50'-0"
R = 50'-0"

| | |
|--------------------|-----------------------------------------------------------------|
| LEGAL DESCRIPTION: | LOT 25, 3.603 ACRES 5108 ADAMS WAY ADAMS REACH, SECTION 2 |
| MAP: | 0028 |
| GRID: | 0022 |
| PARCEL: | 0395 |
| PLAT NO.: | 10574 |

SEPTIC EASEMENT

EXISTING DRAIN FIELDS AND TRENCHES (3) AT 80'-0" LONG, EACH

10'-0" DIAMETER SETBACK FOR SEPTIC TANK TO GARAGE ADDITION ON PIERS WITHOUT BASEMENT

EXISTING HOUSE AND GARAGE

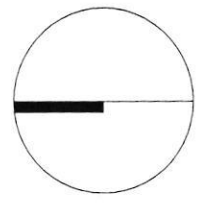
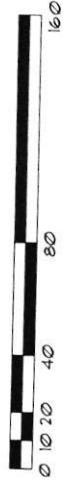
EXISTING WELL

20'-0" DIAMETER SETBACK FOR SEPTIC EASEMENT TO GARAGE ADDITION ON PIERS WITH NO BASEMENT

PROPOSED GARAGE ADDITION ON PIERS WITHOUT BASEMENT

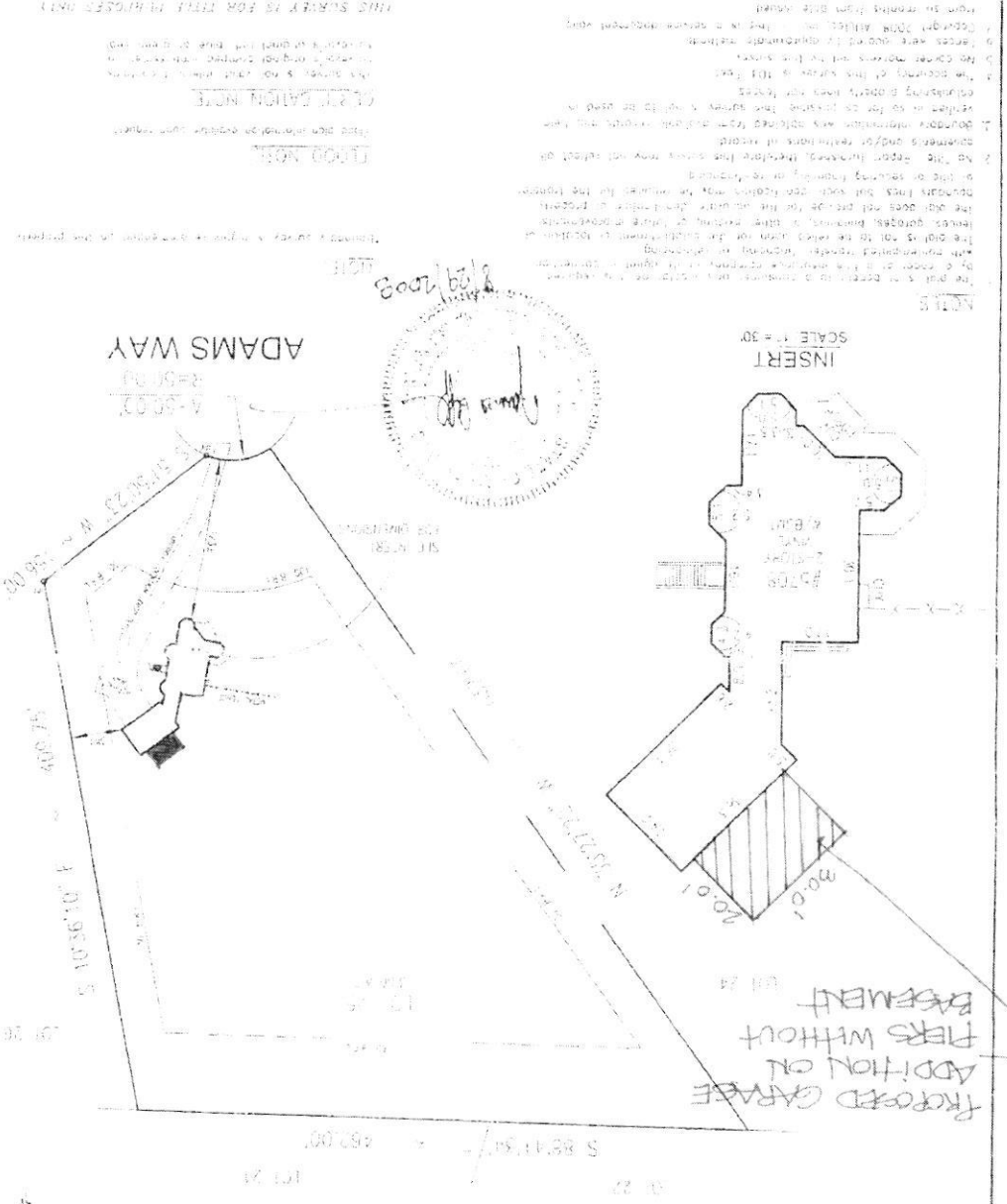
100'-0" DIAMETER SETBACK FOR WELL TO SEPTIC TANK/ SYSTEM/SEPTIC EASEMENT

LOCATION DRAWING
5108 ADAMS WAY
LOT 25
ADAMS REACH
PLAT NO. 10574
FIFTH (5TH) ELECTION DISTRICT
HOWARD COUNTY, MARYLAND



Handwritten initials or signature in the top left corner.

| | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|---------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>DATE: August 06, 2008 SHEET NO. 08-1088 PROJECT: 08-1000 FILE NO. 08-1088</p> | | <p>PLEASE CONTACT THE DESIGNER FOR ANY CHANGES TO THE PLAN. THE DESIGNER'S OFFICE IS NOT RESPONSIBLE FOR ANY CHANGES TO THE PLAN MADE BY ANY OTHER PARTY.</p> |
| <p>THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TRANSIT TAP SYSTEM AND THEREFORE OTHERS SHOULD BE AWARE THAT THE POSITIONS OF ALL THE EXISTING UTILITIES HAVE BEEN CAREFULLY ESTABLISHED.</p> | | <p>THESE ARE NO OTHER ENCROACHMENTS.</p> |
| <p>THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TRANSIT TAP SYSTEM AND THEREFORE OTHERS SHOULD BE AWARE THAT THE POSITIONS OF ALL THE EXISTING UTILITIES HAVE BEEN CAREFULLY ESTABLISHED.</p> | | <p>PLEASE SUBJECT TO APPLICABLE RESTRICTIONS OF RECORD.</p> |



LOCATION DRAWING
 5708 ADAMS WAY
 LOT 25
 ADAMS REACH
 PLAT NO. 10574
 FIFTH (5TH) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

THIS PLAN IS FOR THE PURPOSES ONLY

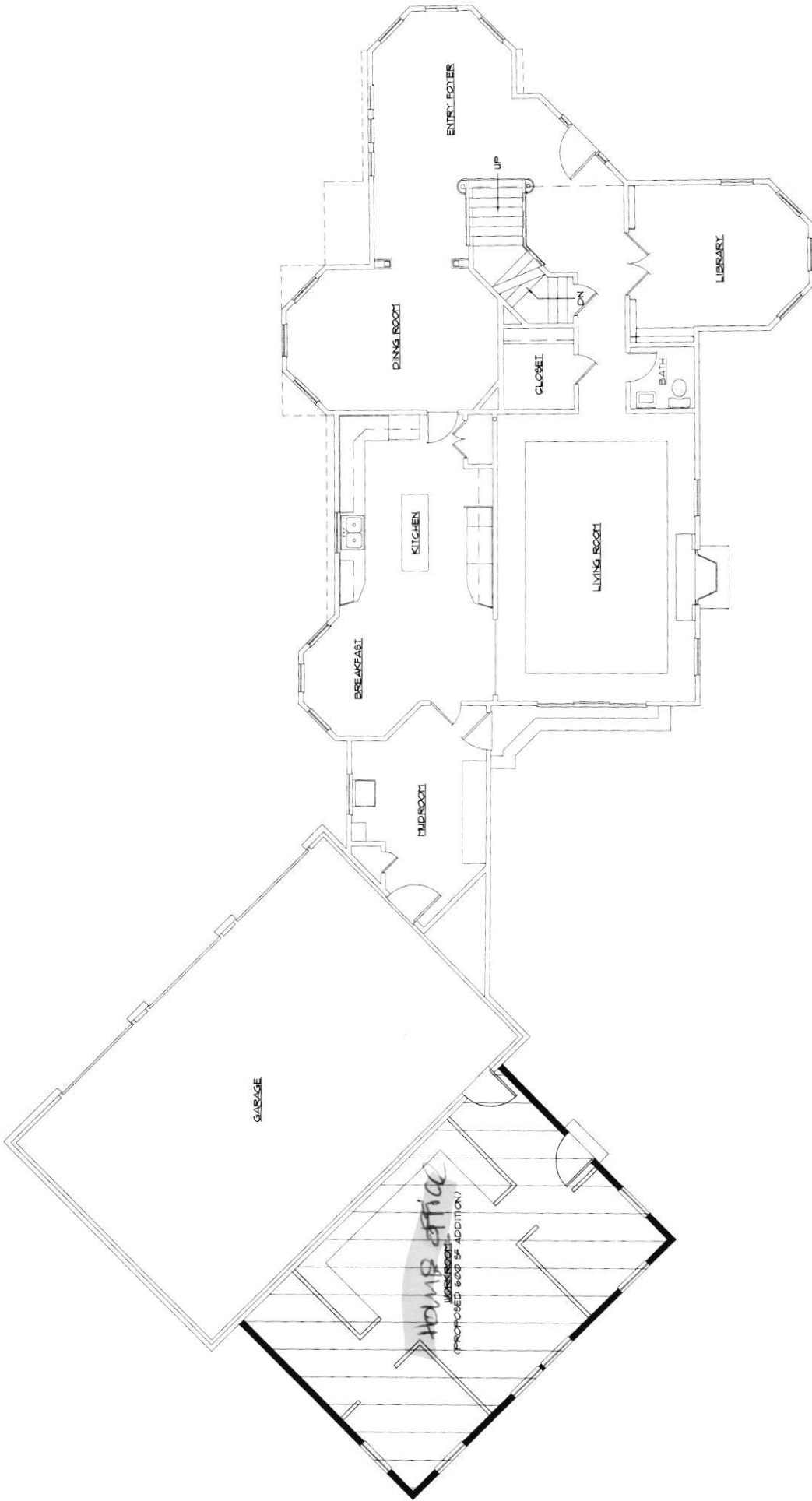
THIS PLAN IS FOR THE PURPOSES ONLY



INSERT
 SCALE 1" = 30'

PROPOSED GARAGE
 ADDITION ON
 PERS WITHOUT
 PERMIT

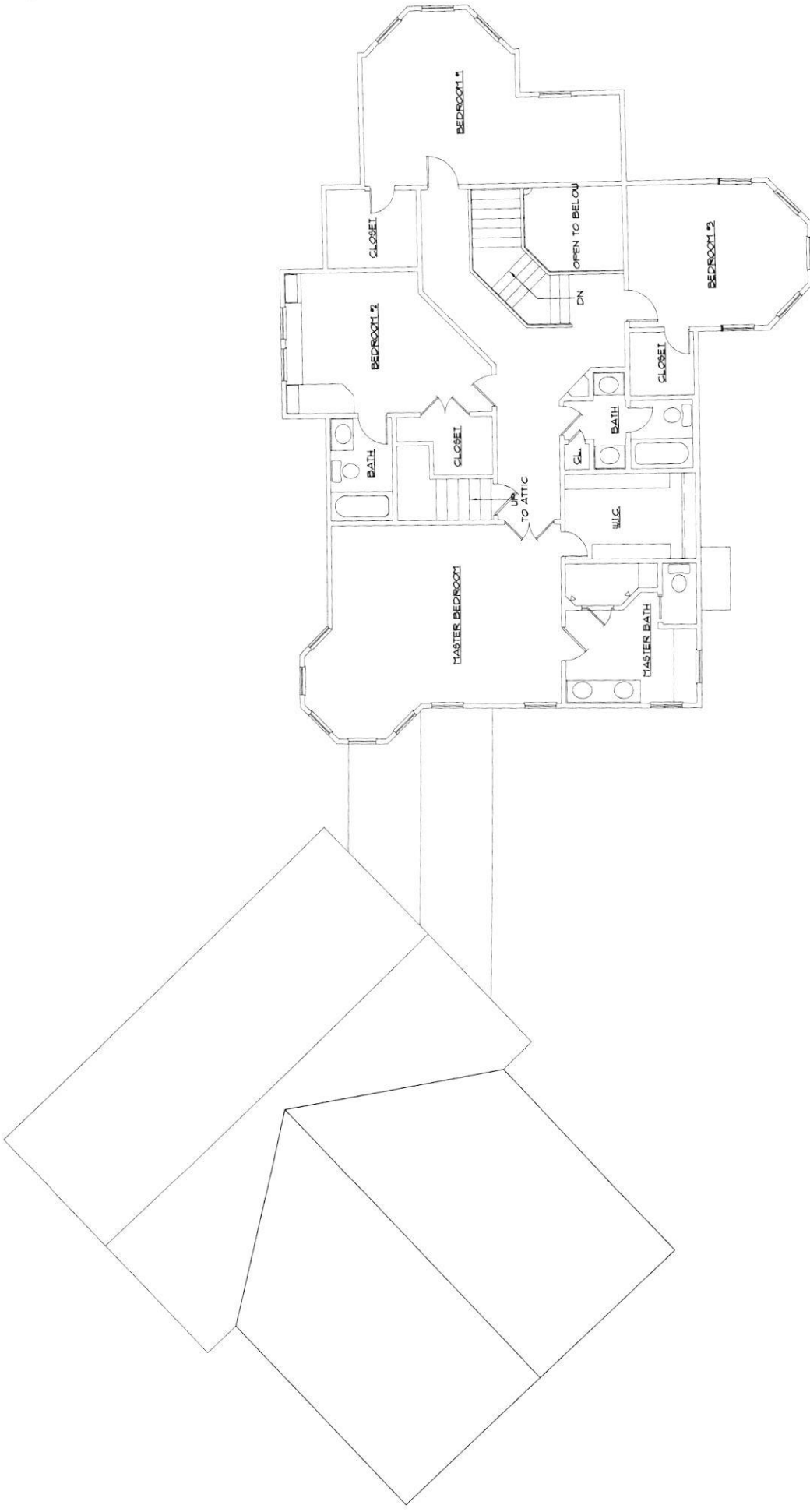
5708 ADAMS WAY
 LOT 25



5708 ADAMS LA, CLARKSVILLE, MO 21029

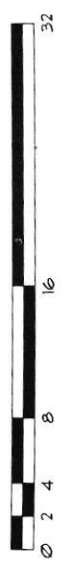
FIRST FLOOR PLAN

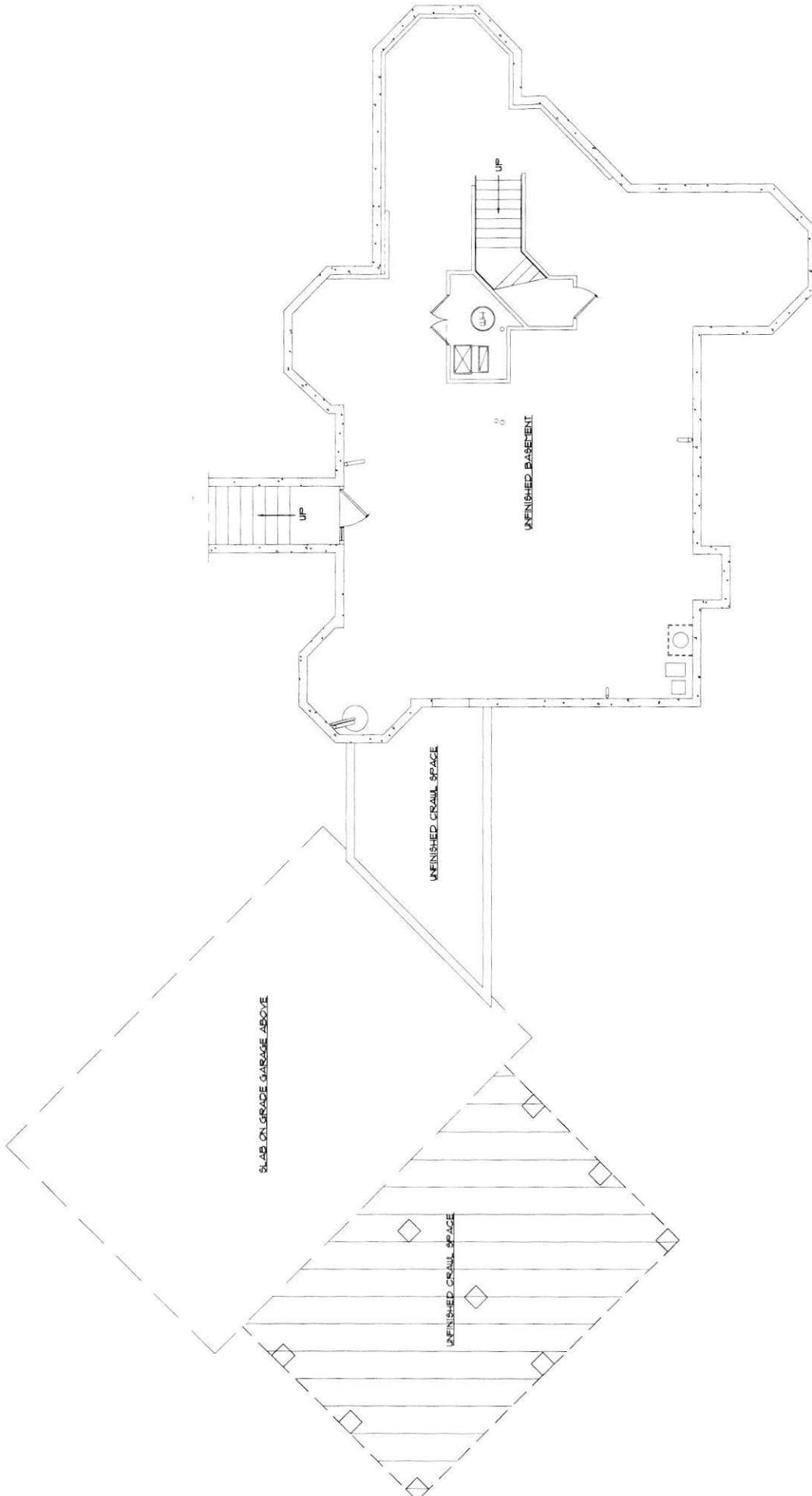




5708 ADAMS (NAG, CLARKS/160, W/ 21020)

SECOND FLOOR PLAN





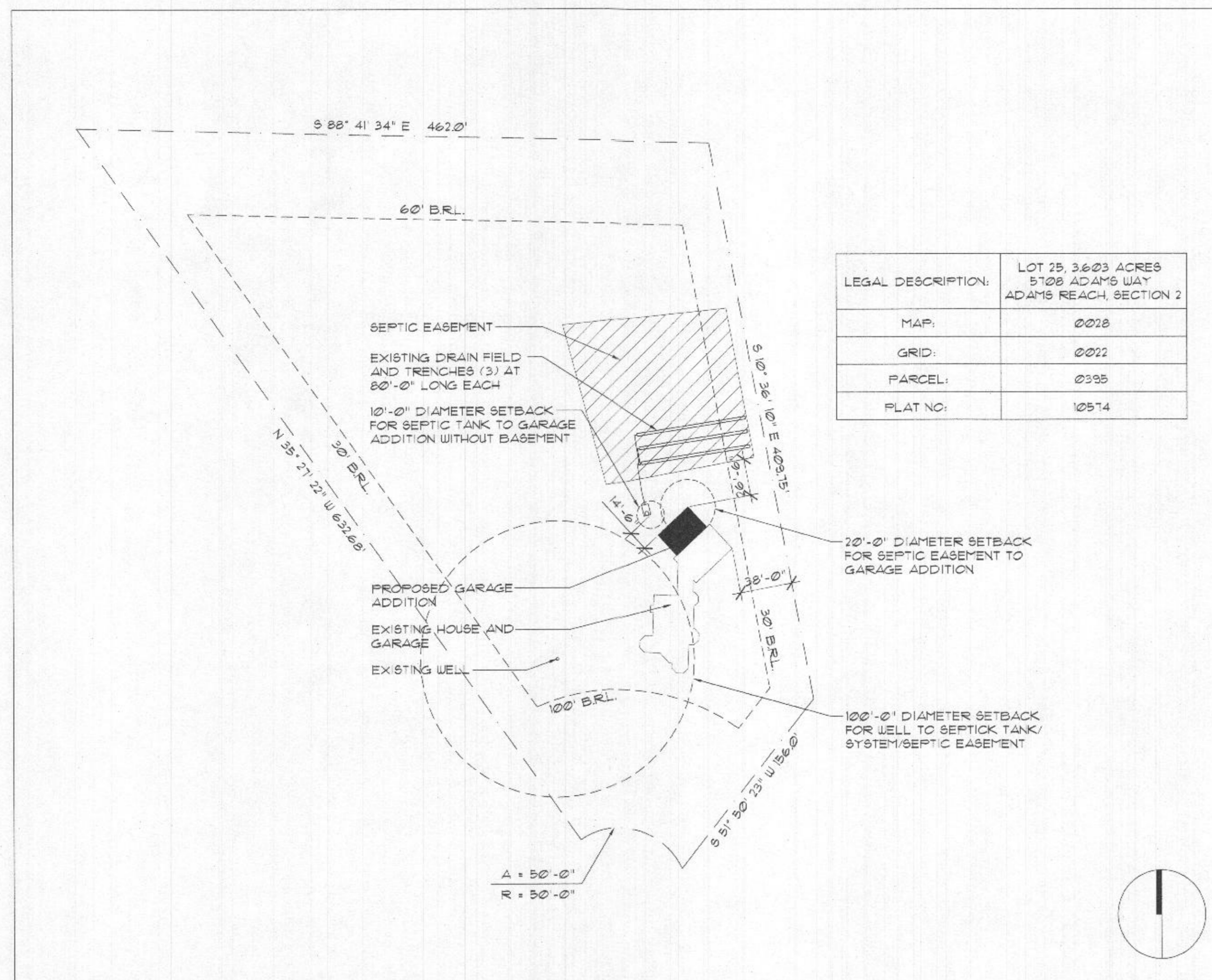
5708 ADAMS HWY, CLARKSVILLE, MO 64029

BASEMENT FLOOR PLAN



GARAGE ADDITION AT 5708 ADAMS WAY CLARKSVILLE, MARYLAND 21029

SITE PLAN



REFERENCE SYMBOLS

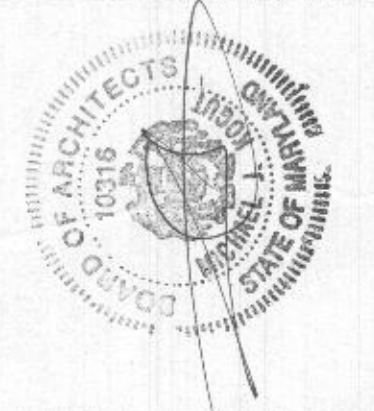
| | | |
|--|-----------------------------------------------------------------|-----------------------------------------|
| | DETAIL NUMBER SHEET NUMBER | ELEVATION SYMBOL |
| | EXTENT AND DIRECTION OF CUT DETAIL NUMBER SHEET NUMBER | BUILDING, PARTIAL AND SECTION SYMBOL |
| | DETAIL NUMBER SHEET NUMBER | CONSTRUCTION DETAIL SYMBOL |
| | AREA OF DETAIL | |
| | | ELEVATION DATUM SYMBOL |
| | NUMBER OR LETTER | COLUMN REFERENCE |
| | ROOM NAME ROOM NUMBER | ROOM NAME SYMBOL |
| | DOOR NUMBER | DOOR NUMBER SYMBOL |
| | WALL TYPE NUMBER | WALL TYPE SYMBOL |
| | PLAN NOTE NUMBER | PLAN NOTE SYMBOL |

SHEET INDEX

| ARCHITECTURAL DRAWINGS | |
|----------------------------------------------------------|--------------------------------------------------------|
| C000 | COVER SHEET |
| A000 | DOOR SCHEDULE, FINISH SCHEDULE, NOTES |
| A100 | FOUNDATION PLAN, ROOF FRAMING PLAN, ROOF TRUSS DIAGRAM |
| A101 | FLOOR PLAN, REFLECTED CEILING PLAN, DETAILS |
| A200 | BUILDING ELEVATIONS |
| A201 | BUILDING SECTIONS |
| A300 | WALL SECTIONS, LOCATION PLAN |
| SCOPE OF WORK | |
| 600 SQUARE FOOT ADDITION ONTO REAR OF EXISTING GARAGE | |

Kogut Architects • LLC

8600 Foundry Street, Suite 302, Savage, Maryland 20763
Ph: 301 . 490 . 9066 Fax: 301 . 490 . 3211



GARAGE ADDITION
AT
5708 ADAMS WAY
CLARKSVILLE, MARYLAND 21029

DRAWN BY:

DATE:
01 / 29 / 2022

REVISION NO:

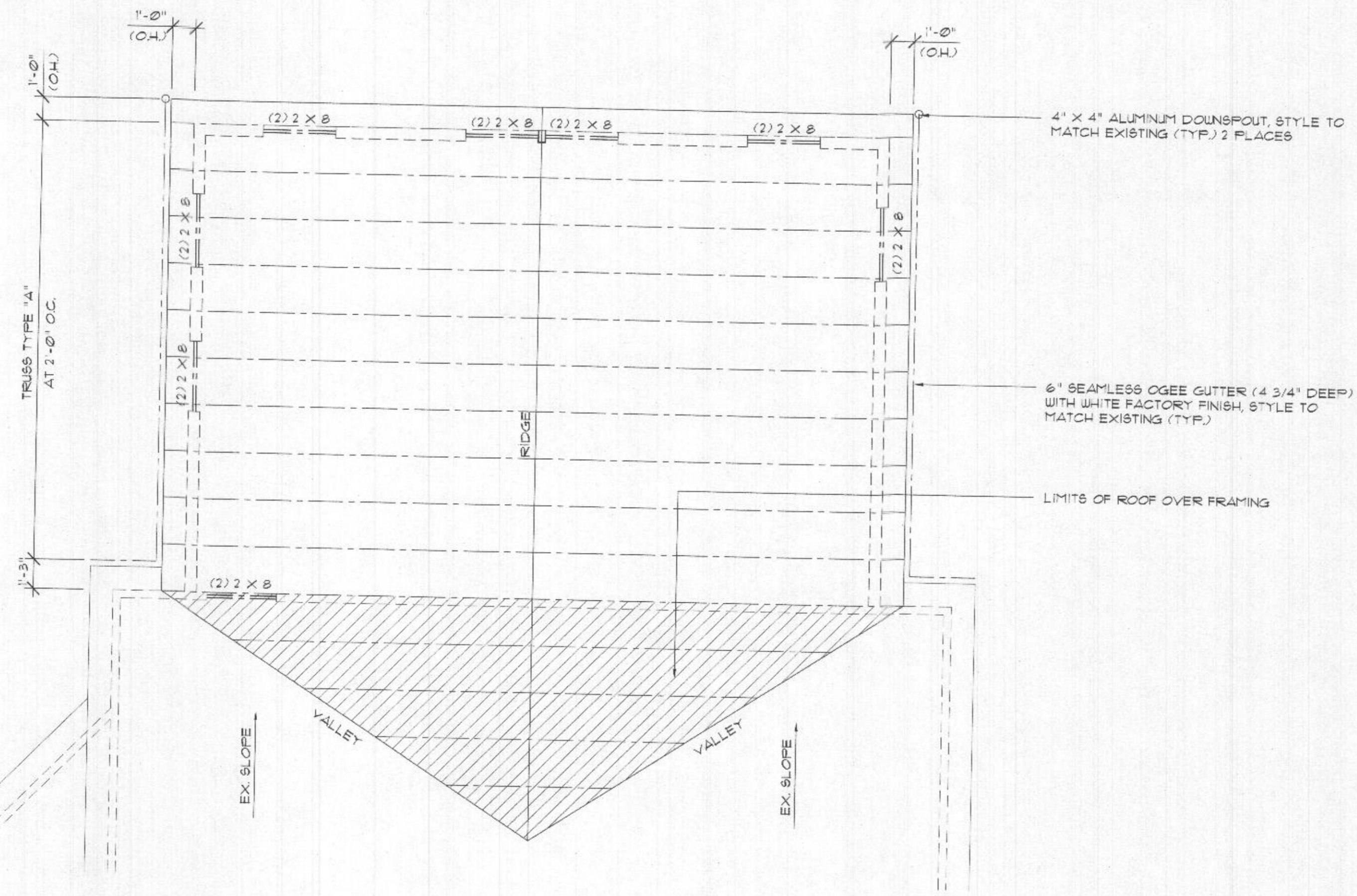
DATE

BUILDING SECTIONS

I CERTIFY THAT THESE DRAWINGS WERE PREPARED OR APPROVED
BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE
LAWS OF THE STATE OF MARYLAND
LICENSE NO. 10514 EXPIRATION DATE: 4/1/2023

C.001

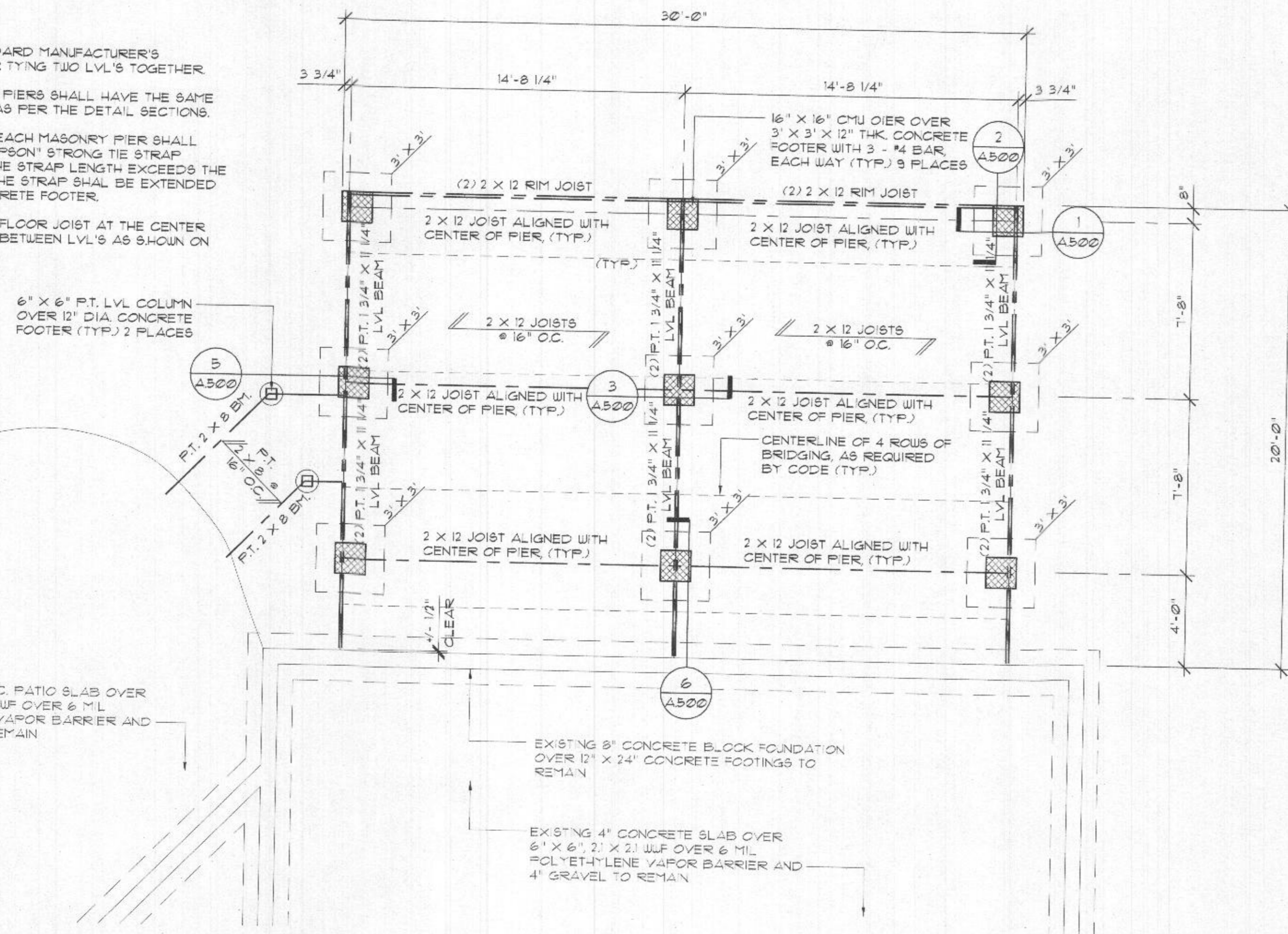
JOB NUMBER:
21-00



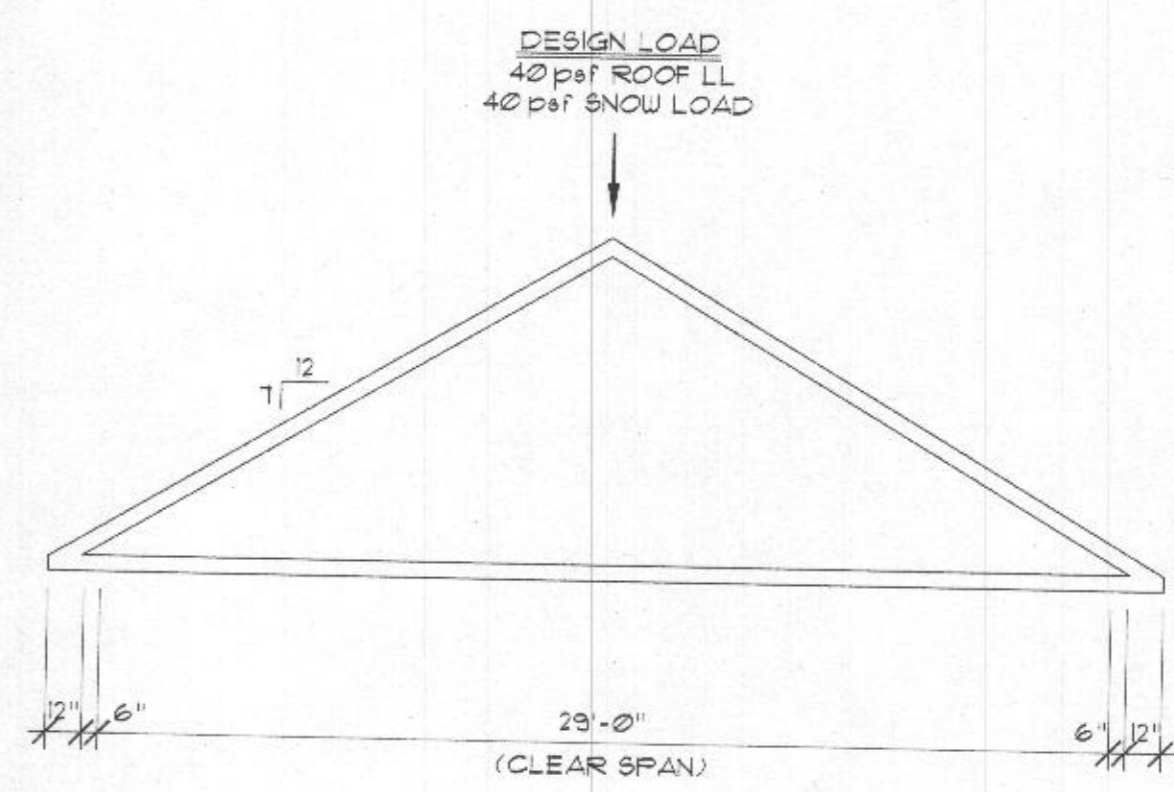
2 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

NOTES:

- FOLLOW STANDARD MANUFACTURER'S PRACTICE FOR TYING TWO LVL'S TOGETHER
- ALL MASONRY PIERS SHALL HAVE THE SAME REINFORCING AS PER THE DETAIL SECTIONS.
- ALL LVL'S AT EACH MASONRY PIER SHALL HAVE THE "SIMPSON" STRONG TIE STRAP HOLD-DOWN IF THE STRAP LENGTH EXCEEDS THE PIER HEIGHT, THE STRAP SHALL BE EXTENDED INTO THE CONCRETE FOOTER.
- ALIGN A 2 X 12 FLOOR JOIST AT THE CENTER OF EACH PIER BETWEEN LVL'S AS SHOWN ON PLAN



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



3 TRUSS TYPE "A"
SCALE: NONE



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Ph: 301 . 490 . 9066 Fax: 301 . 490 . 3211

GARAGE ADDITION AT
5108 ADAMS WAY
CLARKSVILLE, MARYLAND 21029

| | | | | |
|-------------------|-----------|----------------|--------------|-------|
| FOUNDATION PLAN | DRAWN BY: | DATE: | REVISION NO. | DATE: |
| ROOF FRAMING PLAN | | 01 / 29 / 2022 | | |
| TRUSS TYPES | | | | |
| A.100 | | | | |

I CERTIFY THAT THESE DRAWINGS WERE PREPARED OR APPROVED BY ME AND THAT I AM A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 10118 EXPIRATION DATE 11/14/2023