

BIDDING INSTRUCTIONS:

- 1.) EACH BIDDING SUBCONTRACTOR SHALL VISIT THE EXISTING RESIDENCE TO VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING BID. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND EXISTING CONDITIONS WHICH WOULD INTERFERE WITH THE INTENT OF THE PLANS AS DRAWN - PRIOR TO SUBMITTING BID.
- 2.) CONTRACTOR AND OWNER SHALL SIGN AN AIA 2005 SHORT FORM AGREEMENT FOR STIPULATED SUM.
- 3.) NO SMOKING INSIDE BUILDING ... CONTRACTORS' EMPLOYEES TO DISPOSE OF CIGARETTE BUTTS IN DESIGNATED CONTAINER. CONTRACTOR TO PROVIDE TEMPORARY PORTABLE TOILETS ON SITE FOR EMPLOYEE USE.
- 4.) EXISTING HOUSE IS ON WELL AND SEPTIC. SEPTIC IN FRONT YARD, WELL IN BACK. ALSO ON GEOTHERMAL - NEW WORK TO TIE INTO SEPTIC AND GEOTHERMAL AND WELL.
- 5.) CONTRACTOR TO MAINTAIN A CLEAN JOB SITE, WITH MATERIALS LIFTED ABOVE GROUND AND IN ORDERLY STACKS, COVERED WITH TARPS AT END OF EACH DAY TO PROTECT THEM FROM WEATHER.
- 6.) INTERIOR OF JOBSITE TO BE BROOM SWEEP AND SHOP VAC'D AT THE END OF EACH DAY.
- 7.) OWNER IS TO CONTRACT WITH SECOND CHANCE FOR DECONSTRUCTION OF EXISTING HOUSE AND POOL.
- 8.) OWNER HAS CONTRACTED WITH 2ND CHANCE TO COMPLETE DECONSTRUCTION OF THE HOUSE AND POOL. CONTRACTOR TO CONTACT 2ND CHANCE AND ARRANGE A MEETING TO MAKE SURE THAT CONTRACTOR UNDERSTANDS ALL CONTRACTOR RESPONSIBILITIES FOR DEMOLITION. CONTRACTOR TO CAP ALL UTILITIES PRIOR TO DECONSTRUCTION AND THEN SHALL REMOVE THE REMAINDER OF THE BUILDING AFTER 2ND CHANCE IS COMPLETE WITH THEIR SALVAGE.

EXCAVATION, MASONRY, CONCRETE:

- 1.) ALL CMU TO BE GROUTED SOLID.
- 2.) CONTRACTOR TO CREATE NEW 5' WALK AS SHOWN ON SITE PLAN, WITH NEW CROWN IN MIDDLE BEHIND POOL PAVILLION. AND NEW BERM AT UPHILL SIDE OF SPORT LAWN.
- 3.) DIG TO VERIFY GEOTHERMAL LOCATION AND ARCHITECT TO INCLUDE ALLOWANCE FOR REDO OF GEOTHERMAL LOOP.
- 4.) PORCH AND BREEZEWAY PATIOS TO BE PENNSYLVANIA BLUE STONE, RANDOM RECTANGULAR PATTERN, MULTI COLOR CLEFT 1.5" THICKNESS, WALL CAPS TO BE 2" THICK THERMAL BLUE STONE X 18" (1" OVERHANG BEYOND WALLS). STONE TO MATCH EXISTING VENEER ON FRONT OF HOUSE. POOL PAVING TO BE STAMPED CONCRETE IN PATTERN TO COORDINATE WITH FLAGSTONE, WITH SMOKE AND COLOR. ALTERNATE OF FLAGSTONE TO MATCH OVER CONC.
- 5.) CONCRETE TO BE 3,500 PSI AND NOT BE POURED IF TEMPERATURE IS TOO LOW.
- 6.) CONCRETE SLABS ON GRADE TO BE MIN. 5" W:6 X 6 W2.1 X W2.1 R/W/ OVER MIN. 4" GRAVEL AND 6 MIL VAPOR BARRIER. PIN EDGES OF SLABS AND SET CONTROL AND EXPANSION JOINTS AS PER CODE. SLAB OVER SUMP AREA TO BE 6" CONC. SLAB WITH 4'S @12" O.C. BOTH WAYS, THE 4'S INTO MASONRY WALLS.
- 7.) NEW FOOTINGS TO BE 12" X 24" CONTINUOUS CONCRETE FOOTINGS ON BUILDING AND SEE RETAINING WALL DETAILS FOR RETAINING WALLS AND PLANTERS, STEP AS REQUIRED TO REMAIN A MINIMUM OF 30" BELOW GRADE AND TO TIE TO EXISTING BASEMENT FOOTING. REIN. WITH 2 CONTINUOUS 4'S. TURN UP ONE #4 INTO BLOCK CELLS @ 48" O.C. TOP COURSE OF BLOCK TO BE A CONTINUOUS BOND BEAM. SECURE PLATES WITH ANCHOR BOLTS AT 48" O.C. CORNERS TO HAVE ONE #4 VERTICAL IN FIRST FOUR CELLS EACH DIRECTION.
- 8.) ASSUMED SOIL BEARING CAPACITY TO BE 1,500 PSF TO BE FIELD VERIFIED BY THE CONTRACTOR.
- 9.) SEE BALLARD MENSULA RETAINING WALL FOOTING GUIDE FOR RETAINING WALL DETAILS AND FOOTINGS OF STONE WALLS. NOTE: SPADOC CONTACT MIKE STIMSON WILL BE POOL CONTRACTOR. AND WILL BE RESPONSIBLE FOR POOL GUNNITE, AND ALL POOL EQUIPMENT AND COPING.

ROUGH FRAMING:

- 1.) ALL ROUGH FRAMING LUMBER TO BE NUMBER SPF#2 OR BETTER, UNLESS NOTED OTHERWISE. NEW SHEATHING TO BE ZIP WALL, TAPED AND INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS.
- 2.) ALL WALLS TO BE 2x8 WD STUDS @ 16" O.C. ... INTERIOR WALLS TO BE MIX OF 2x6 AND 2x4 @ 16" O.C. WITH DOUBLE 2x4 PLATES.
- 3.) CONTRACTOR TO INSTALL 3/4" T&G, SCREWED AND GLUED ADVANTECH SUBFLOOR ON LOFT FLOOR.
- 4.) SILL PLATE, ANY LUMBER IN CONTACT WITH MASONRY OR CONCRETE AND ALL EXTERIOR FRAMING LUMBER TO BE PRESSURE AND PRESERVATIVE TREATED LUMBER, WITHOUT ARSENIC. PROVIDE DOUBLE SILL PLATES AT ALL BASEMENT WALLS.
- 5.) FRAMING CONTRACTOR TO COORDINATE CLOSELY WITH MASON FOR LAYOUT OF NEW FOUNDATION, AND NEW SUPPORT STRUCTURE. FRAMING CONTRACTOR TO BE RESPONSIBLE FOR ALL SHORING WITH TEMPORARY PARTITIONS ... AND TO ENSURE THAT SHORING IS COMPLETE PRIOR TO COMMENCING ANY DEMOLITION ON THE PROJECT.
- 6.) CONTRACTOR TO STORE ALL FRAMING MATERIALS LIFTED ABOVE GROUND, TO AVOID GROUND CONTACT, AND SHALL KEEP MATERIALS COVERED BY A TARP, OR IN THE GARAGE TO AVOID WATER DAMAGE.
- 7.) ALL WALL SHEATHING TO BE ZIP WALL AND TO BE TAPED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. ALTERNATE FOR ZIP WALL WITH BUILT IN INSULATION.
- 8.) PAVILLION TO BE A TIMBER FRAME STRUCTURE, KILN DRIED WESTERN RED CEDAR. ARCHITECT TO WORK WITH STREAMLINE TIMBER WORKS FOR TIMBER FRAME PRICING. CONTRACTOR TO INSTALL, INCLUDING DECKING PROVIDED BY TIMBER FRAME CONTRACTOR, CONTRACTOR TO DO ELECTRICAL, FOUNDATION, WIRING AND STAIN TIMBERS.
- 9.) OTHER COLUMNS TO BE BY TYPON - SEE SPEC.
- 10.) CONTRACTOR TO INSTALL TERMITE SHIELDS UNDER ALL PLATES... AND SPRAY TREAT UNDER ALL SLABS AND HOUSE PERIMETER AGAINST TERMITES.
- 10.) ROOF RAFTERS TO BE 2x12S @ 16" O.C. WITH 10" TJS @ 16" O.C. FOR LOFT FLOOR.
- 11.) PROVIDE DOUBLE STUDS UNDER ALL HEADERS WITH BEARING ON MINIMUM OF ONE STUD UNLESS NOTED OTHERWISE.
- 12.) TYPICAL HEADERS FOR WINDOWS & EXTERIOR DOORS: OPENINGS LESS THAN 3 FEET WIDE SHALL BE (2) 2x10S; OPENINGS 3 FT TO 6 FT WIDE SHALL BE (3) 2x10S; OPENINGS GREATER THAN 6 FT WIDE SHALL BE (4) 2x10S (SIZE TO BE DETERMINED). CONTRACTOR TO INSTALL DOUBLE 2x6 WINDOW SILL EVERYWHERE.

WATERPROOFING AND INSULATION

- 1.) CONTRACTOR TO TAPE ZIP WALL AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECS. WINDOWS TO BE INSTALLED USING ZIP-WALL WINDOW TAPE ... ALL WINDOWS TO HAVE BACKER ROD, AND FOAM INSULATION. ROOF SHEATHING TO BE ZIP WALL.
 - 2.) CONTRACTOR TO INSTALL ICE & SNOW GUARD ON FIRST 36" OFF ALL ROOFS WITH GREATER THAN 3:12 SLOPE AND ON ENTIRE ROOFS WITH LESSER SLOPES - INSTALL AS PER MANUFACTURER'S SPECIFICATIONS. ALL ROOFS TO HAVE DRIP EDGE.
 - 3.) CONTRACTOR TO USE MIRA DRAIN WATERPROOFING WHERE GRADE IS HIGHER THAN GARAGE SLAB.
 - 4.) FLASHING TO BE PAINTED ALUMINUM AND TO COORDINATE WITH FINAL TRIM COLOR. CAULK ALL WINDOWS AS PER MANUFACTURER'S RECOMMENDATIONS - WINDOW HEADER FLASHING REQUIRED. FLASH TYPICAL 5/4 X 2 CHAMFERED DRIP CAP OVER ALL WALL CAPS. INSTALL SELF FLASHING SILL PANS FOR ALL DOORS. FLASH ALL DECK LEADERS AS PER CODE.
 - 5.) NEW ROOF TO MATCH EXISTING.
 - 6.) ROOF PAPER UNDER SHINGLES TO BE TITANIUM ROOF PAPER AND INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS.
 - 7.) ALL NEW GUTTERS TO MATCH EXISTING.
 - 8.) BASE PRICE FOR ICYNENE AND HAVE THE FOLLOWING MINIMUM R-VALUES -- WALLS -- R-21; CEILING/ROOFS -- R-49; BASEMENT WALLS R-19; BASEMENT CEILING R-30. CAULK ALL JOINTS AND SEAMS PRIOR TO PAINTING.
 - 9.) SIDING TO MATCH EXISTING.
- WINDOWS AND DOORS, EXTERIOR AND INTERIOR TRIM:**
- 1.) INTERIOR DOORS TO BE SOLID CORE PRIMED MASONITE 6-PANEL WITH SATIN NICKEL HINGES. REFER TO DOOR SCHEDULE IN DRAWINGS.
 - 2.) SEE INTERIOR ELEVATIONS FOR TYPICAL INTERIOR TRIM. CASING TO BE ADAMS CASING.
 - 3.) WINDOWS AND EXTERIOR DOORS TO BE PURCHASED BY OWNER AND INSTALLED BY CONTRACTOR. WINDOWS AND EXTERIOR GLASS DOORS TO BE LOEWEN PRIMED INTERIOR AND ALUMINUM CLAD EXTERIOR. GREAT ROOM WINDOWS AND DOORS TO BE MAHOGANY INTERIOR. SANDERS COMPANY TO INSTALL WINDOWS.
 - 4.) EXTERIOR TRIM -- TO BE BORAL OR AZEK (CONTRACTOR CHOICE). INSTALL, SCREW AND GLUE AND USE SCARF JOINTS AS PER MANUFACTURER'S SPECIFICATIONS. FREEZE TO HAVE AZEK 3-1/2" CROWN, OVER LAYERS OF 1/2" AZEK, PADDED OUT TO BE 1" PAST CORNER BOARDS WHERE THEY APPLY, OR 1/2" PAST PLANE OF SIDING CORNERS. NO BUTT JOINTS AT CORNERS -- METRE ALL CORNERS.
 - 5.) GARAGE DOORS TO BE PURCHASED BY OWNER AND INSTALLED BY CONTRACTOR.
 - 6.) ALL WINDOW AND DOOR CASING TO MATCH EXISTING FROM ORIGINAL HOUSE.
 - 7.) BASE BOARD TO MATCH EXISTING FROM ORIGINAL HOUSE.

DRYWALL, PRIMING AND PAINTING:

- 1.) CONTRACTOR TO USE 1/2" GYP. BOARD - TYP. - INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS - STAGGER JOINTS, SCREW AND GLUE - NO NAILS. LEVEL 4 FINISH. USE 1/2" TYPE 'X' GYP. BOARD ON CEILINGS AND NON-VERTICAL SURFACES AND ON ALL WALL & CEILING SURFACES IN GARAGE.
- 2.) TAPE AS PER MANUFACTURER'S RECOMMENDATIONS - USE 10' LEVEL TO ASSURE ALL FINISH WORK IS PLUMB, LEVEL AND SQUARE.
- 3.) CONTRACTOR TO SAND, WASH, CAULK AND PROPERLY PREP ALL AREAS PRIOR TO PAINTING/ STAINING. ALL PAINT AND PRIMER TO BE BENJAMIN MOORE PREMIUM LATEX. COLORS TO BE DETERMINED, BUT MOST LIKELY TO BE IN MIDDOTONE COLOR RANGES AND WILL REQUIRE A MINIMUM OF 2 COATS, WITH WHITE CEILINGS AND TRIM. PAINT ENTIRE HOUSE... WALLS, TRIM, & NEW CIG.
- 4.) CAULK ALL JOINTS AND SEAMS PRIOR TO PAINTING.

FLOORING, MILLWORK, CTOPS, APPLIANCES AND TILE

- 1.) MILLWORK (KITCHEN AND BATHS) TO BE PURCHASED BY OWNER, AND PROVIDED AND INSTALLED BY CONTRACTOR.
- 2.) COUNTERTOPS - FOR BUDGET PURPOSES, COUNTERTOP COSTS SHALL BE CARRIED UNDER OWNER PROVIDED (OPCI). HOWEVER, CONTRACTOR WILL BE GIVEN CHANCE TO PROVIDE A BID FOR PROVIDING THE SLAB WORK ONCE SELECTED.
- 3.) VANITIES, MIRRORS AND MEDICINE CABINETS FOR BATHS TO BE PURCHASED BY OWNER AND INSTALLED BY CONTRACTOR. CONTRACTOR TO PROVIDE BLOCKING IN ALL WALLS TO RECEIVE MILLWORK. CONTRACTOR TO INSTALL MILLWORK AND ACCESSORIES IN BATHS.
- 4.) ARCHITECT WILL PROVIDE SPREADSHEET FOR LIST OF ALTERNATES AND OPCI ITEMS.
- 5.) CONTRACTOR TO INCLUDE COST OF ALL TILE LABOR AND SETTING MATERIALS IN BASE PRICE. OWNERS TO PURCHASE TILE MATERIALS.
- 6.) CONTRACTOR TO INSTALL ALL OTHER BUILTINS SHOWN ON PLANS AND TO PRICE ACCORDING TO BID FORM WITH SEPARATE PRICES PER UNIT SO THAT OWNER CAN DECIDE WHICH UNITS WILL BE BUILT.
- 7.) POOL PAVILLION TIMBERS TO BE BY STREAMLINE TIMBERWORKS, INSTALLED BY CONTRACTOR.
- 8.) TILE MATERIALS AND GROUT TO BE PURCHASED BY OWNER TO BE NATURAL STONES, WITH SOME ACCENT WORK. TILE TO CEILING IN ALL SHOWER AREAS, WAINSCOT TILE BEHIND ALL TOILETS AND ON ALL WALLS IN MASTER. CONTRACTOR TO INCLUDE ALL SETTING MATERIAL AND LABOR.
- 9.) SETTING MATERIALS AND DUROCK PROVIDED BY CONTRACTOR. ALL AREAS TO RECEIVE TILE TO HAVE DUROCK.
- 10.) LOFT FLOOR TO BE 22' EASTERN WHITE PINE \$6.50 PSF. FIRST FLOOR CHANGING ROOM TO BE LUXURY VINYL TILE AND MUDROOM, BATH TO BE TILE.

ELECTRICAL

- 1.) ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING THE ELECTRICAL PERMIT FOR THE PROJECT. ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR ENGINEERING AND FOLLOW UP WITH DOMINION TO OBTAIN DOMINION'S ENGINEERING AND FEE. OWNER TO PAY DOMINION'S ENGINEERING FEE OUTSIDE OF CONTRACT. ELECTRICAL CONTRACTOR/ GENERAL CONTRACTOR TO BE RESPONSIBLE FOR FOLLOW UP AND SCHEDULING OF DOMINION FOR THEIR PORTION OF THE WORK. PROVIDE 600 AMP SERVICE.
- 3.) CONTRACTOR TO INCLUDE COST OF RUNNING TEMPORARY POWER AND COORDINATING WITH DEMO OF HOUSE.
- 4.) OWNER TO PURCHASE SURFACE MOUNTED LIGHT FIXTURES, CEILING FANS, AND SCONCES FOR PROJECT. ELECTRICAL CONTRACTOR TO PROVIDE ALL RECESSED LIGHT FIXTURES AND IC HOUSINGS, ALL UNDER CABINET LIGHTS (LED PUCKS TO MATCH CURRENT CLIENT'S KITCHEN), BATH FANS (PANASONIC 80CTM ULTRA QUIET), AND FLUORESCENT CLOSET LIGHTING WHERE SHOWN.
- 5.) ALL RECESSED LIGHT FIXTURES AND SURFACE FIXTURES TO BE ON DIMMER SWITCHES - SLIDE LEVER TYPE.
- 6.) OUTLETS AND SWITCHES TO BE WHITE - PLATES TO BE PAINTABLE AND PAINTED THE COLOR OF THE WALL IN WHICH THEY OCCUR.
- 7.) COORDINATE FINAL INDOOR AND OUTDOOR LOW VOLTAGE LIGHT TRANSFORMER LOCATIONS - WITH OWNER AND ARCHITECT IN FIELD PRIOR TO ROUGH-IN.
- 8.) ELECTRICAL CONTRACTOR TO DO PRELIMINARY LAYOUT OF RECESSED HOUSINGS PRIOR TO PULLING ANY WIRES, AND TO WALK JOB WITH OWNER TO VERIFY ALL OUTLETS AND FIXTURE LOCATIONS FOR APPROVAL, PRIOR TO PULLING ANY WIRES.
- 9.) ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR WALKING JOB TO DETERMINE ALL ENGINEERING AND DEMOLITION REQUIRED ... INCLUDING AT PERIMETER OF HOUSE WHERE STUDS ARE ADDED AND WIRES WILL HAVE TO BE RE-RUN THROUGH THESE WALLS. WHERE REMOVING CIRCUITS AND POSSIBLE, PULL WIRES BACK TO SOURCE, RATHER THAN PROVIDING JUNCTION BOXES. IN WALLS WHERE DOUBLING STUDS. REPLACE EXISTING NON GROUNDED OUTLETS WITH GROUNDED OUTLETS.
- 10.) ALL CIRCUITS IN BATHS TO BE GFCI AS PER ELECTRICAL CODE. ALL BEDROOM CIRCUITS TO BE ARC FAULT INTERRUPTER. PROVIDE HARD WIRED SMOKE DETECTORS AS SHOWN.
- 12.) ALL SMOKE DETECTORS TO BE HARD WIRED AND TO BE TYPE WITH LITHIUM BATTERY BACK UP.
- 13.) ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR COORDINATING WITH MECHANICAL CONTRACTOR FOR ALL HVAC ELECTRICAL NEEDS.

PLUMBING:

- 1.) PLUMBING CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING THE PLUMBING PERMIT FOR THE PROJECT.
- 2.) ALL WASTE LINES TO BE PVC.
- 3.) ALL WATER LINES TO BE PEX.
- 4.) PLUMBING CONTRACTOR TO VISIT SITE TO DETERMINE BEST MANNER TO TIE INTO EXISTING SEPTIC SYSTEM AND COORDINATE WITH CONTRACTOR FOR COST OF THIS EFFORT ... INCLUDING ANY PUMPS REQUIRED TO GET THERE.
- 5.) PLUMBING CONTRACTOR AND CONTRACTOR TO COORDINATE WITH WELL CONTRACTOR TO DETERMINE IF WELL AND EXISTING WELL EQUIPMENT CAN SUPPORT THE ADDITION AND THE POOL, OR IF A NEW WELL IS NEEDED (2ND WELL) TO SUPPORT THE NEW WORK, OR NEW PUMP EQUIPMENT.



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Project

TONY AND CRYSTAL
PULSIRISAROTH
RESIDENCE

PROPOSED GARAGE
ADDITION,
BREEZEWAY AND
POOL AREA

14148 HOWARD ROAD
DAYTON, MD. 21036

Drawing Title

BID INSTRUCTIONS &
GENERAL SPECIFICATIONS

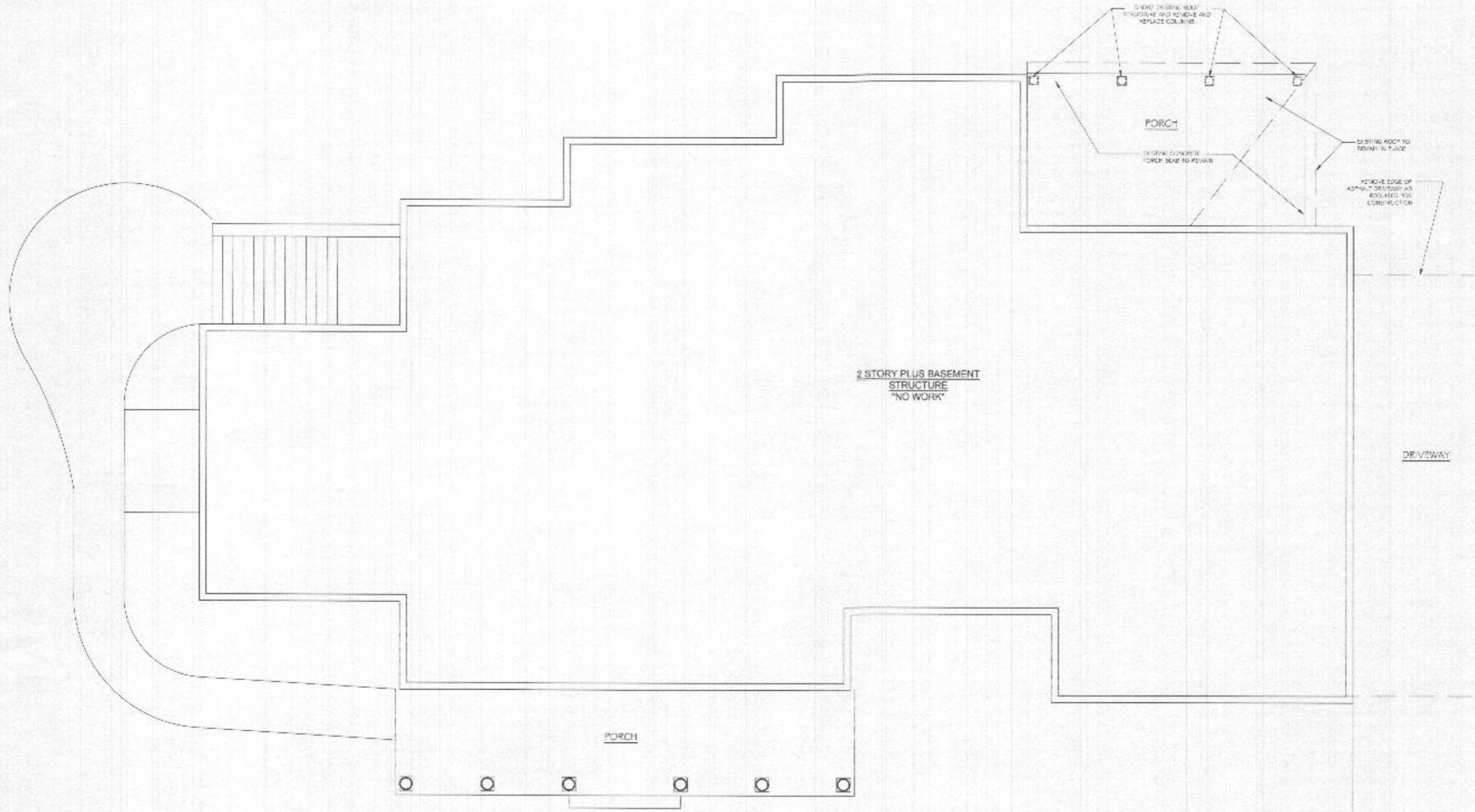
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FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



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 ADDITION,
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 POOL AREA
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Drawing Title
 FIRST FLOOR
 DEMOLITION PLAN

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PROPOSED GARAGE
ADDITION,
BREEZEWAY AND
POOL AREA

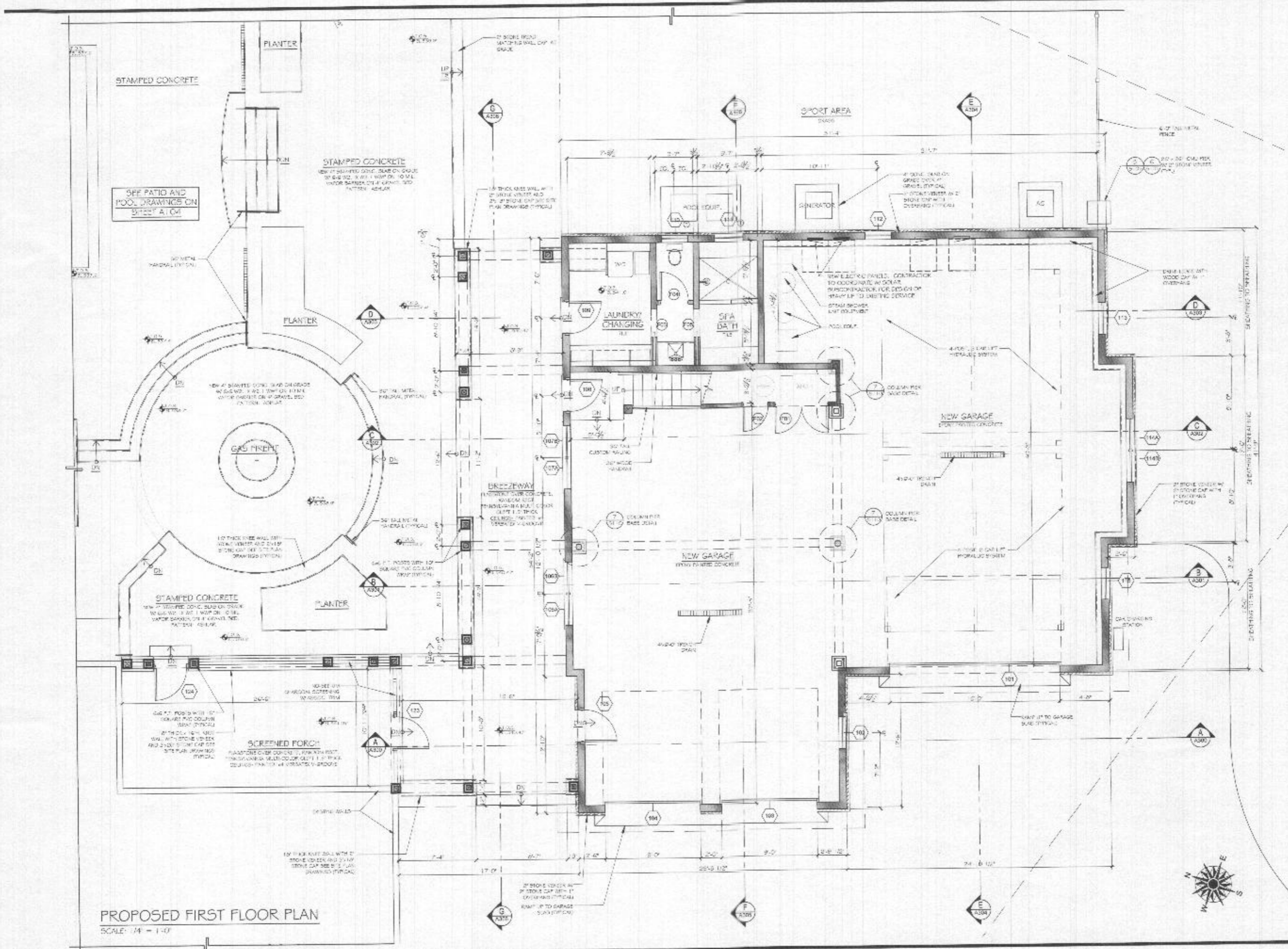
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PROPOSED FIRST
FLOOR PLAN

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PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"





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 RESIDENCE

PROPOSED GARAGE
 ADDITION,
 BREEZEWAY AND
 POOL AREA

14148 HOWARD ROAD
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Drawing Title

PROPOSED
 ROOF PLAN

Date

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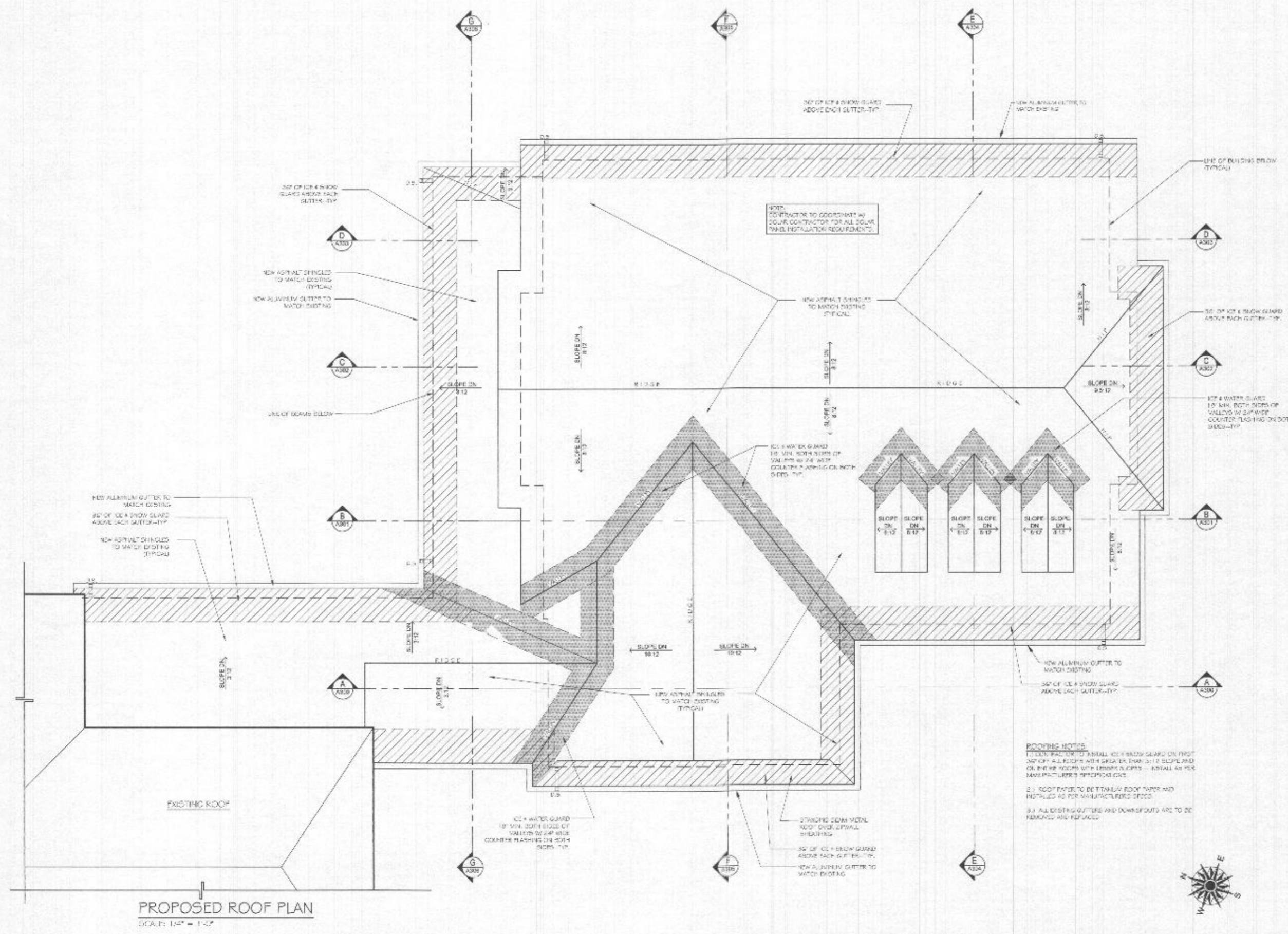
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PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"

ROOFING NOTES
 1. DOWN SLOPE TO BE INSTALLED ICE & SNOW GUARD ON FIRST SET OF ALL ROOFS WITH 8:12 OR STEEPER SLOPE AND ON END ROOFS WITH LESSER SLOPES - INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.
 2. ROOF PAPER TO BE TYPICAL ROOF TAPE AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
 3. ALL EXISTING GUTTERS AND DOWNSPOUTS ARE TO BE REMOVED AND REPLACED.



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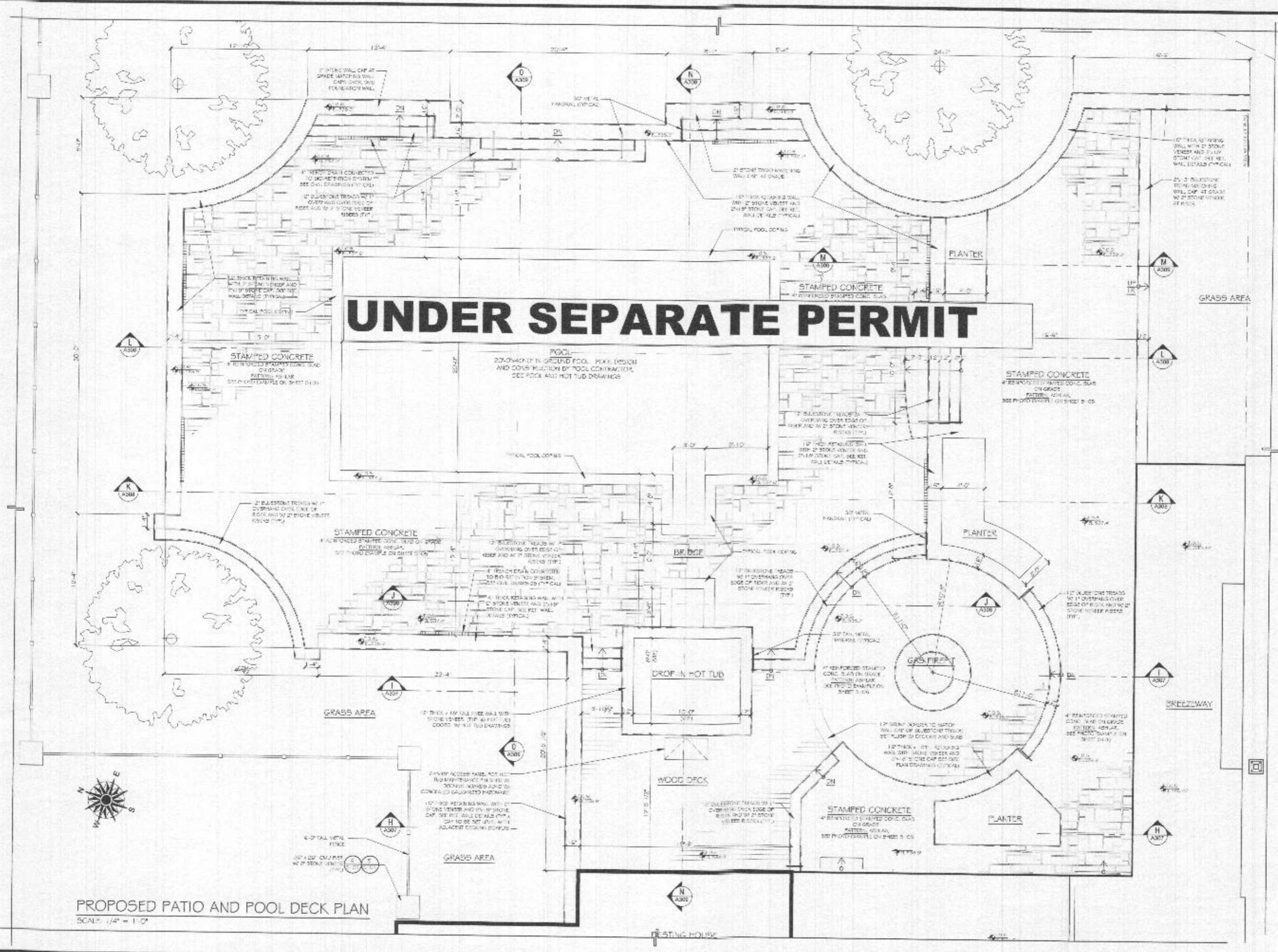


Project
 TONY AND CRYSTAL PULSIRISAROTH RESIDENCE
 PROPOSED GARAGE ADDITION, BREEZEWAY AND POOL AREA
 14148 HOWARD ROAD DAYTON, MD. 21036

Drawing Title
 PATIO AND POOL DECK PLAN
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PROPOSED PATIO AND POOL DECK PLAN
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Project
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 PROPOSED GARAGE
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 BREEZEWAY AND
 POOL AREA
 14148 HOWARD ROAD
 DAYTON, MD. 21036

Drawing Title
 SCHEDULES

Date Issue
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 A105

WINDOW AND EXTERIOR DOOR SCHEDULE

LEVEL	LOCATION	REF.	SIZE (WxH OR D.)	TYPE	MANUFACTURER	JAMB	HEADER HGT.	REMARKS
FIRST FLOOR	CAR BARN	101	192 x 94	GARAGE DOOR	-	-	-	MATCH EXISTING
	CAR BARN	102	36 x 54	CASEMENT	-	-	-	
	CAR BARN	103	108 x 94	GARAGE DOOR	-	-	-	MATCH EXISTING
	CAR BARN	104	08 x 94	GARAGE DOOR	-	-	-	MATCH EXISTING
	CAR BARN	105	36 x 36	EXTERIOR DOOR	-	-	-	
	CAR BARN	106	72 x 48	CASEMENT	-	-	-	
	CAR BARN	107	72 x 48	CASEMENT	-	-	-	
	CAR BARN	108	36 x 36	EXTERIOR DOOR	-	-	-	
	LAUNDRY/CHANGING	109	36 x 36	EXTERIOR DOOR	-	-	-	
	SPA / TOILET	110	30 x 48	CASEMENT	-	-	-	TEMPERED
	SPA / BATH	111	32 x 48	CASEMENT	-	-	-	TEMPERED
	CAR BARN	112	30 x 48	CASEMENT	-	-	-	
	CAR BARN	113	36 x 48	CASEMENT	-	-	-	
	CAR BARN	114	72 x 48	CASEMENT	-	-	-	
	CAR BARN	115	36 x 48	CASEMENT	-	-	-	
LOFT	GUEST BEDROOM	201	28 x 51	DBL. HUNG	-	-	-	
	GUEST BEDROOM	202	28 x 51	DBL. HUNG	-	-	-	
	GUEST BEDROOM	203	28 x 51	DBL. HUNG	-	-	-	
	GUEST BEDROOM	204	72 x 31	HALF ROUND	-	-	-	
	LOFT	205A	08 x 36	CASEMENT	-	-	-	
	LOFT	205B	108 x 36	FIXED	-	-	-	
	LOFT	205C		CASEMENT	-	-	-	
	LOFT	205D		FIXED	-	-	-	
	LOFT	205E		FIXED	-	-	-	BOW STRING ARCH
	LOFT	205F		FIXED	-	-	-	
GUEST BEDROOM	206A						TEMPERED	
GUEST BEDROOM	206B	08 x 55	CASEMENT'S MULTIPLD TOGETHER				TEMPERED	

INTERIOR DOOR SCHEDULE

LEVEL	LOCATION	REF.	SIZE (WxH)	TYPE	MANUFACTURER	JAMB	HEADER HGT.	HARDWARE TYPE	FRONT FINISH MATCH EXISTING	REMARKS
FIRST FLOOR	UTILITY	F01	56 x 50	3X PANEL SOLID CORE	MASONITE			TBD	MATCH EXISTING	
	UTILITY	F02	28 x 20							POCKET DOOR
	LAUNDRY/CHANGING	F03	52 x 50							
	SPA/TOILET	F04	32 x 50							POCKET DOOR
	SPA/BATH	F05	32 x 50							
LOFT		L01	32 x 20	3X PANEL SOLID CORE	MASONITE			TBD	MATCH EXISTING	1-1/2" RATED STORAGE DOOR
	CLST.	L02	32 x 20							
	GUEST BATH	L03	32 x 20							
	GUEST BEDROOM	L04	32 x 20							
	MECH.	L05	32 x 20							

GENERAL NOTES:
 1. ALL DOORS TO BE SOLID CORE DOORS AND ARE TO MATCH EXISTING.


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PRISM

PRISM



Model: 1000 Capacity: 6-7 Adults Dimensions: 70" x 70" x 60" Weight: 1,200 lbs Warranty: 5 Year Limited Material: Acrylic Color: White Options: LED Lighting, Waterfall, etc.	Features: 1000 Series Capacity: 6-7 Adults Dimensions: 70" x 70" x 60" Weight: 1,200 lbs Warranty: 5 Year Limited Material: Acrylic Color: White Options: LED Lighting, Waterfall, etc.	Features: 1000 Series Capacity: 6-7 Adults Dimensions: 70" x 70" x 60" Weight: 1,200 lbs Warranty: 5 Year Limited Material: Acrylic Color: White Options: LED Lighting, Waterfall, etc.
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Design By:	MS
Revision Dates:	
Drawing:	9-10-21
Apprv'd:	
REV. A:	
REV. B:	

FOR: Pulsirisaroth Residence

ADDRESS: 14148 Howard Rd.

CITY: Dayton MD. 21086

HOME PHONE: _____

CELL PHONE: _____

WORK PHONE: _____

PROJECT RESIDENCE

UNDER SEPARATE PERMIT

BALLARD MENSUA



ARCHITECTURE

BALLARD MENSUA LLC
 3147 MacArthur Boulevard NW
 Suite 570
 Washington, DC 20016
 P: 202-414-6995
 www.ballardmensua.com

Notes **Consultants**

PROFESSIONAL CERTIFICATION
 I hereby certify that these drawings were prepared or supervised by me or a duly licensed architect under the laws of the State of Maryland.
 License No. 12087
 Expiration Date 09/30/2021



Project

TONY AND CRYSTAL
 PULSIRISAROTH
 RESIDENCE

PROPOSED GARAGE
 ADDITION,
 BREEZEWAY AND
 POOL AREA

14148 HOWARD ROAD
 DAYTON, MD. 21036

Drawing Title

HOT TUB
 SPECIFICATIONS

Date	Issue
SEPT. 27, 2021	PERMIT DRAWINGS

Drawn By _____
Checked By _____
Job No. _____

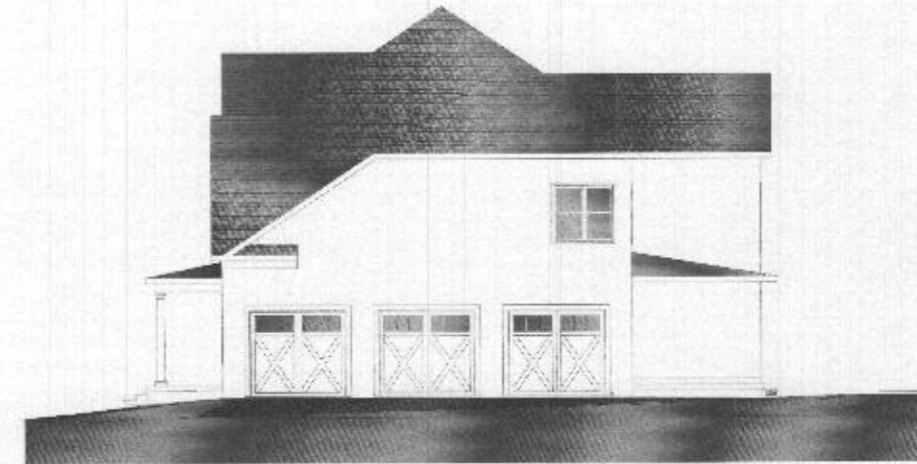
Sheet No.

A107



EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



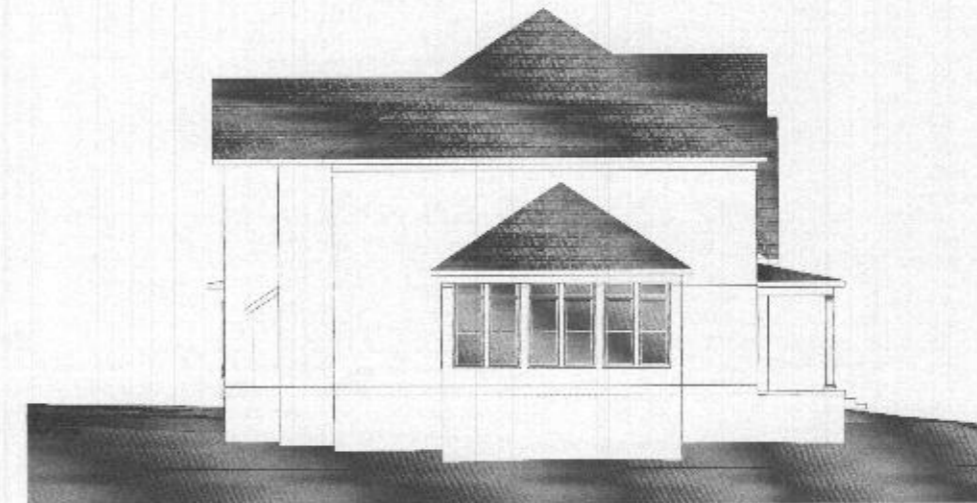
EXISTING RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



ARCHITECTURE
 BALLARD + MENSULA, LLC.
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 Washington, DC 20016
 PH: 202.410.6555
 www.ballardmensula.com

Notes Consultants

PROFESSIONAL CERTIFICATION
 I hereby certify that these documents were prepared
 approved by me, and that I am a duly licensed architect in the
 State of Maryland.

License No. 16007
 Expiration Date 01/01/2023



Project

TONY AND CRYSTAL
 PULSIRISAROTH
 RESIDENCE

PROPOSED GARAGE
 ADDITION,
 BREZZEWAY AND
 POOL AREA

14148 HOWARD ROAD
 DAYTON, MD. 21036

Drawing Title

EXISTING
 ELEVATIONS

Date

SEPT. 27, 2021

Issue

PERMIT DRAWINGS

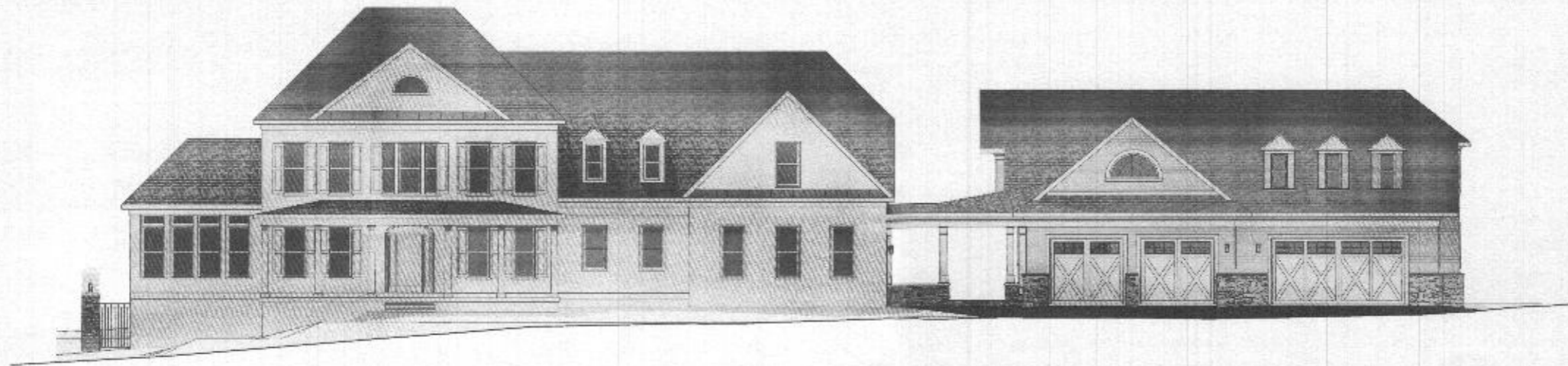
Dwn By

Chkd By

Job No.

Sheet No.

A200



FRONT ELEVATION - ALL
SCALE: 1/8" = 1'-0"



REAR ELEVATION - ALL
SCALE: 1/8" = 1'-0"



ARCHITECTURE
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Notes Consultants

PROFESSIONAL CERTIFICATION
This document and the documents it references are prepared or
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License No. 16097
Expiration Date 07/31/2023



Project

TONY AND CRYSTAL
PULSIRISAROTH
RESIDENCE

PROPOSED GARAGE
ADDITION,
BREEZEWAY AND
POOL AREA

14145 HOWARD ROAD
DAYTON, MD. 21036

Drawing Title

PROPOSED
ELEVATIONS

Date

SEPT. 27, 2021

Issue

PERMIT DRAWINGS

Drawn By

Checked By

Job No.

Sheet No.

A201