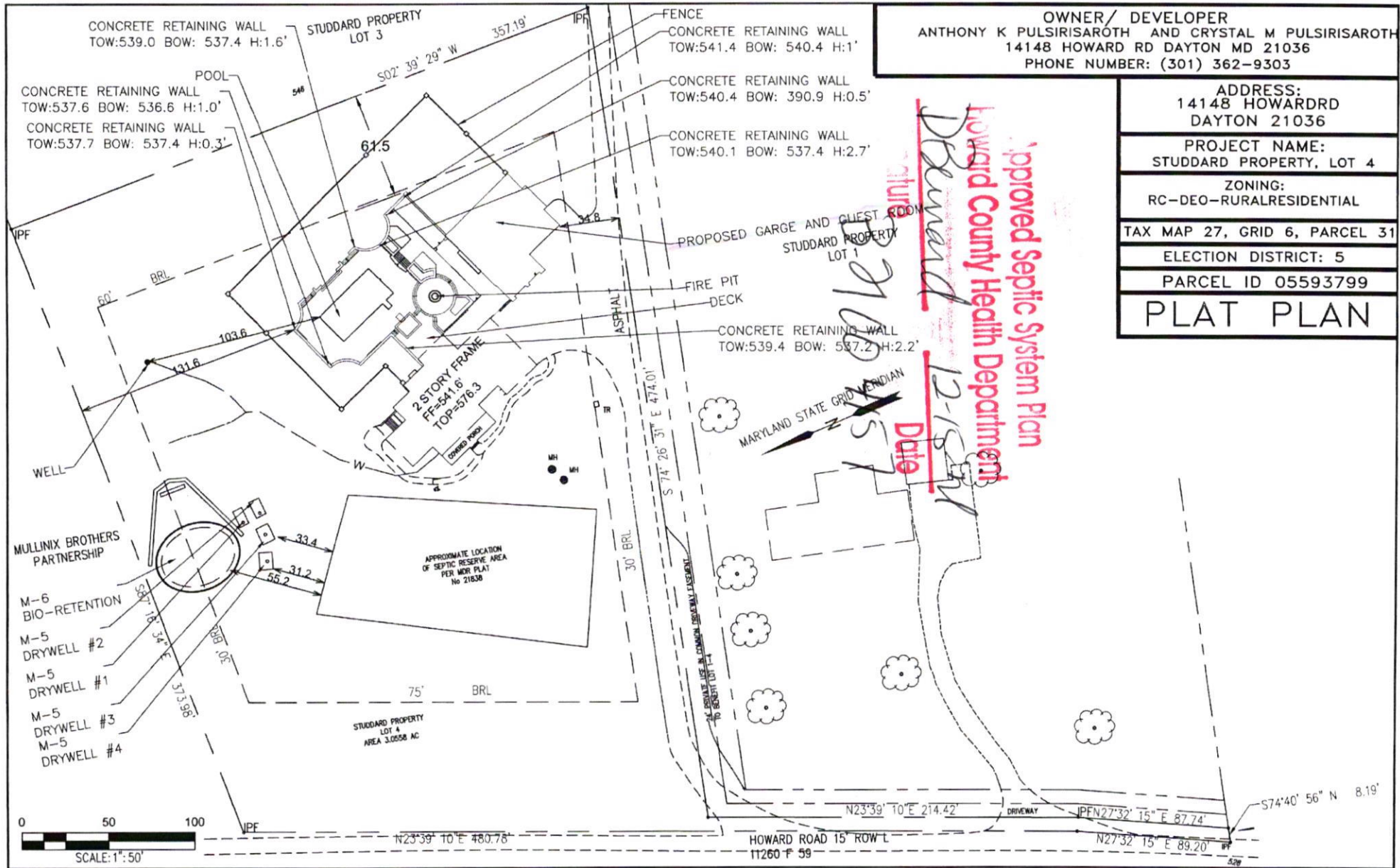


B21004151



OWNER/ DEVELOPER
 ANTHONY K PULSIRISAROTH AND CRYSTAL M PULSIRISAROTH
 14148 HOWARD RD DAYTON MD 21036
 PHONE NUMBER: (301) 362-9303

ADDRESS:
 14148 HOWARD RD
 DAYTON 21036

PROJECT NAME:
 STUDDARD PROPERTY, LOT 4

ZONING:
 RC-DEO-RURALRESIDENTIAL

TAX MAP 27, GRID 6, PARCEL 31

ELECTION DISTRICT: 5

PARCEL ID 05593799

PLAT PLAN

Approved Septic System Plan
 Howard County Health Department
 Date: 12-15-17

Menu Refine Search GIS Help Data Filter: Filter TMP's My Filters

Showing 1 of 1

<input type="checkbox"/> <u>Permit #</u>	<u>Status</u>	<u>Record Type Alias</u>	<u>Street #</u>	<u>Street Name</u>	<u>Type</u>	<u>Unit Type</u>	<u>Unit #</u>	<u>City</u>
<input type="checkbox"/> B21004157	Pending Review	Residential Attached Garage Permit	14148	HOWARD	RD			DAYTON

Page of 1

Maura J. Rossman, M.D., Health Officer

DATE: December 7, 2021

TO: Roger Ray
Via E-mail: roger@ballardmensua.com

RE: **Building Permit # B21004157**
14148 Howard Drive
Dayton, MD 21036

Mr. Ray,

Our department has reviewed your building permit B21004157 and based on your proposal, your septic system must be upgraded, and trenches established and/or extended. In addition, floor plans for the existing house must be submitted for review. The number of bedrooms could change the extent of the trench extension after final review of your current floor plans. Your trenches must be upgraded prior to building permit approval.

Your building permit will be placed “on hold” until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard

Dana Bernard, REHS/RS
Environmental Specialist II
Well and Septic Program
Phone (410) 313-2775
E-mail: dbernard@howardcountymd.gov

DB

**HOWARD COUNTY DEPARTMENT OF INSPECTIONS,
LICENSES AND PERMITS
ON-LINE PLAN DROP OFF**

RECEIVED

NOV 01 2021

LICENSES & PERMITS
DIVISION

To: Plan Review Division

From: Gaetano DiZebba D. Zebba & Sons, inc
(Name) (Company)

Telephone #: 410-923-6022 Email address dizebbandsons@gmail.com

Permit Site Address 1448 Howard Rd, Dayton MD 21036

Permit Number: B21004157

Application On-Line File Date: _____

The above referenced permit was applied for on line and the drawings are being dropped off for review and approval. These drawings represent the proposed work as outlined on the on-line application. I understand that this Department will not be responsible for any lost plans or documents. It is understood that if any changes to the design or construction of this project is made, revised plans will be submitted prior to any work commencement.

Gaetano D. Zebba jr
Signature of Authorized Agent

COPY

For Office Use Only

Accepted by (initials): AKH on 11/2/2021
(Date)

Received by Plan Review (initials):

CC: HEALTH

AC/E/A DOWN AKH

Overall Gravel and Stone shall be extracted from the proposed location of the Driveway to maintain construction of the hole.

2. Concrete the driveway to the proposed location, excavated materials shall be placed over the trench. The trench shall be backfilled with concrete. The concrete shall be placed in layers of 4" to 6" and shall be finished with a broom finish. The concrete shall be placed in layers of 4" to 6" and shall be finished with a broom finish. The concrete shall be placed in layers of 4" to 6" and shall be finished with a broom finish.

3. The trench shall be backfilled with concrete. The concrete shall be placed in layers of 4" to 6" and shall be finished with a broom finish. The concrete shall be placed in layers of 4" to 6" and shall be finished with a broom finish. The concrete shall be placed in layers of 4" to 6" and shall be finished with a broom finish.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED BRY WELLS (4-51)

1. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY RAINFALL EVENT TO DETERMINE THE WATER LEVELS AND SENSORS. THE DATE AT WHICH THE FACILITY SHALL BE INSPECTED SHALL BE RECORDED IN THE FACILITY RECORDS. THE FACILITY RECORDS SHALL BE MAINTAINED IN THE FACILITY RECORDS. THE FACILITY RECORDS SHALL BE MAINTAINED IN THE FACILITY RECORDS.

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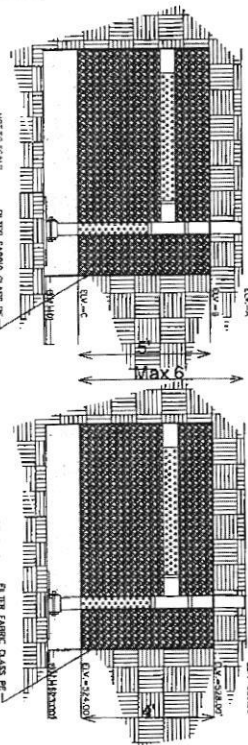
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED BRY WELLS (4-51)

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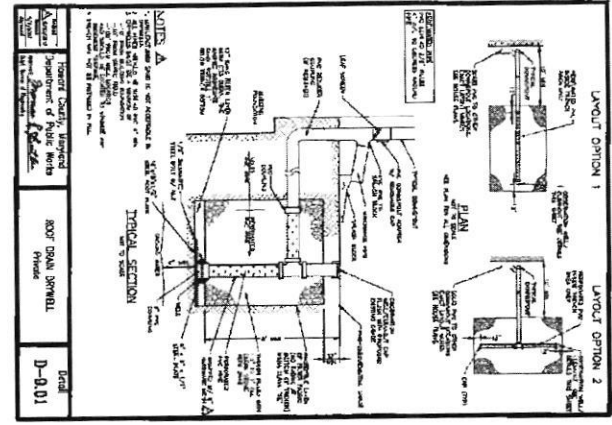
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NO.	DESCRIPTION	DATE	BY
1	CONCRETE DRIVEWAY	10/20/20	JK
2	CONCRETE DRIVEWAY	10/20/20	JK
3	CONCRETE DRIVEWAY	10/20/20	JK
4	CONCRETE DRIVEWAY	10/20/20	JK
5	CONCRETE DRIVEWAY	10/20/20	JK
6	CONCRETE DRIVEWAY	10/20/20	JK
7	CONCRETE DRIVEWAY	10/20/20	JK
8	CONCRETE DRIVEWAY	10/20/20	JK
9	CONCRETE DRIVEWAY	10/20/20	JK
10	CONCRETE DRIVEWAY	10/20/20	JK



NO.	DESCRIPTION	DATE	BY
1	CONCRETE DRIVEWAY	10/20/20	JK
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6	CONCRETE DRIVEWAY	10/20/20	JK
7	CONCRETE DRIVEWAY	10/20/20	JK
8	CONCRETE DRIVEWAY	10/20/20	JK
9	CONCRETE DRIVEWAY	10/20/20	JK
10	CONCRETE DRIVEWAY	10/20/20	JK



NO.	DATE	COMMENTS	BY
03	8/13/21	CONCRETE DRIVEWAY	JK
02	8/24/21	CONCRETE DRIVEWAY	JK
01	7/27/21	CONCRETE DRIVEWAY	JK
10		CONCRETE DRIVEWAY	JK

NO.	DESCRIPTION	DATE	BY
1	CONCRETE DRIVEWAY	10/20/20	JK
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8	CONCRETE DRIVEWAY	10/20/20	JK
9	CONCRETE DRIVEWAY	10/20/20	JK
10	CONCRETE DRIVEWAY	10/20/20	JK

APPROVED

DATE: 7-5-2021

SCALE: NTS

SECP 005

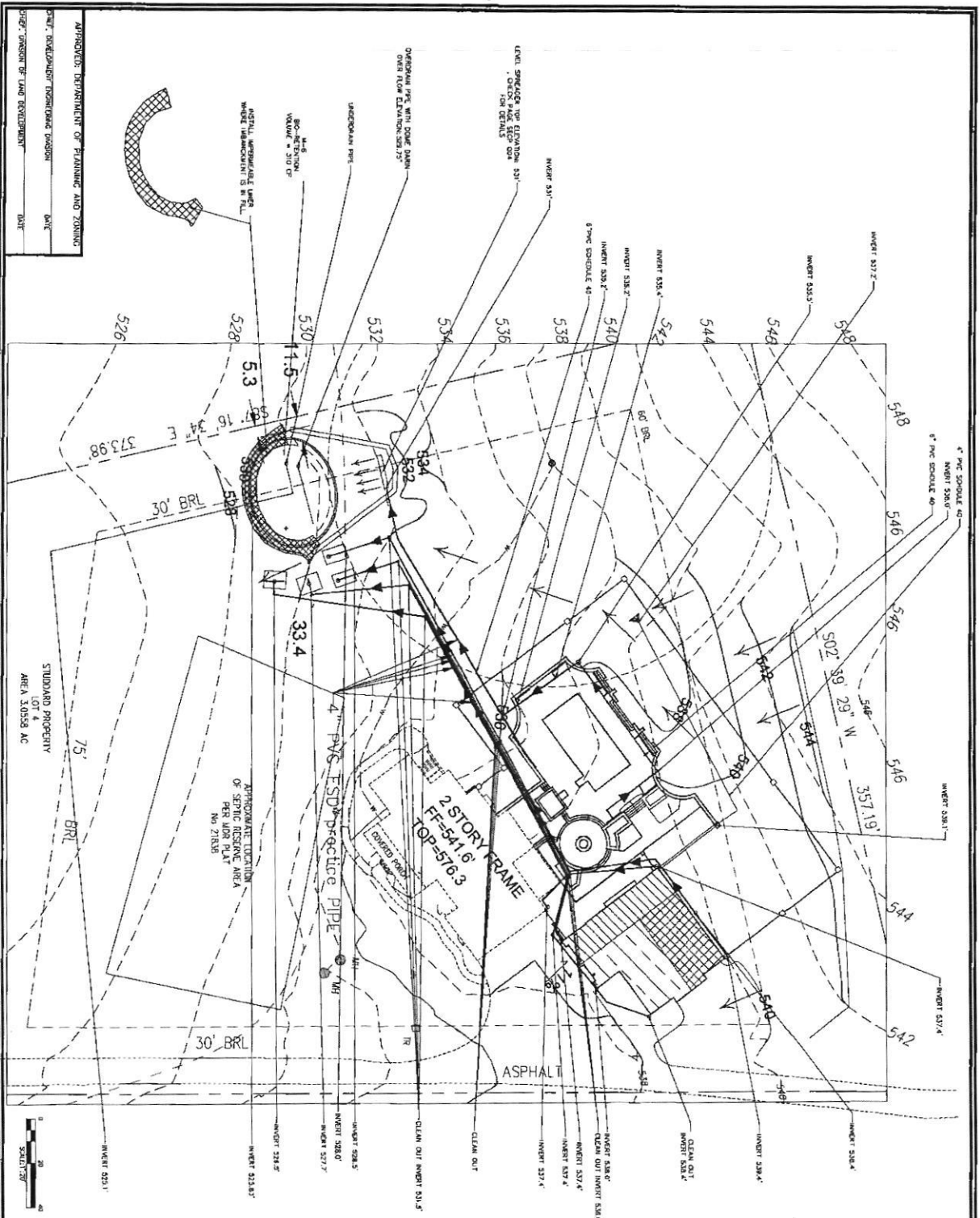
PROJECT: 14145 HOWARD RD DANFORTH 21038

CLIENT: 14145 HOWARD RD DANFORTH 21038

PHONE NUMBER: (907) 382-9303

DESIGNER: ANTHONY A. HALL

DATE: 10/20/20



REVISIONS:	NO.	DATE	DESCRIPTION
01	9/13/21		COMMENTS
02	9/24/21		COMMENTS
03	7/27/21		DISCREPANCY
04			BY

<p>OWNER / DEVELOPER: ANTHONY K. PUGHEN, M. PUGHEN & ASSOCIATES 1414 BROADWAY, NE DARTON, MD 21025 PHONE NUMBER: (410) 282-2823</p> <p>DESIGNER: EQUAGERS ENGINEERS 121 BRIDGEMAN SQUARE, DM 700 3RD FLOOR CARY, NC 27511</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>PROJECT NAME: STUDIOS PROPERTY, LOT 4</p> <p>PARCEL ID: 06593799</p> <p>DATE: 7-9-2021</p> <p>SCALE: 1" = 20'</p>
---	--

APPROVED

3/9/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DATE: _____

BY: _____

STUDIOS PROPERTY
LOT 4
AREA 3.0538 AC

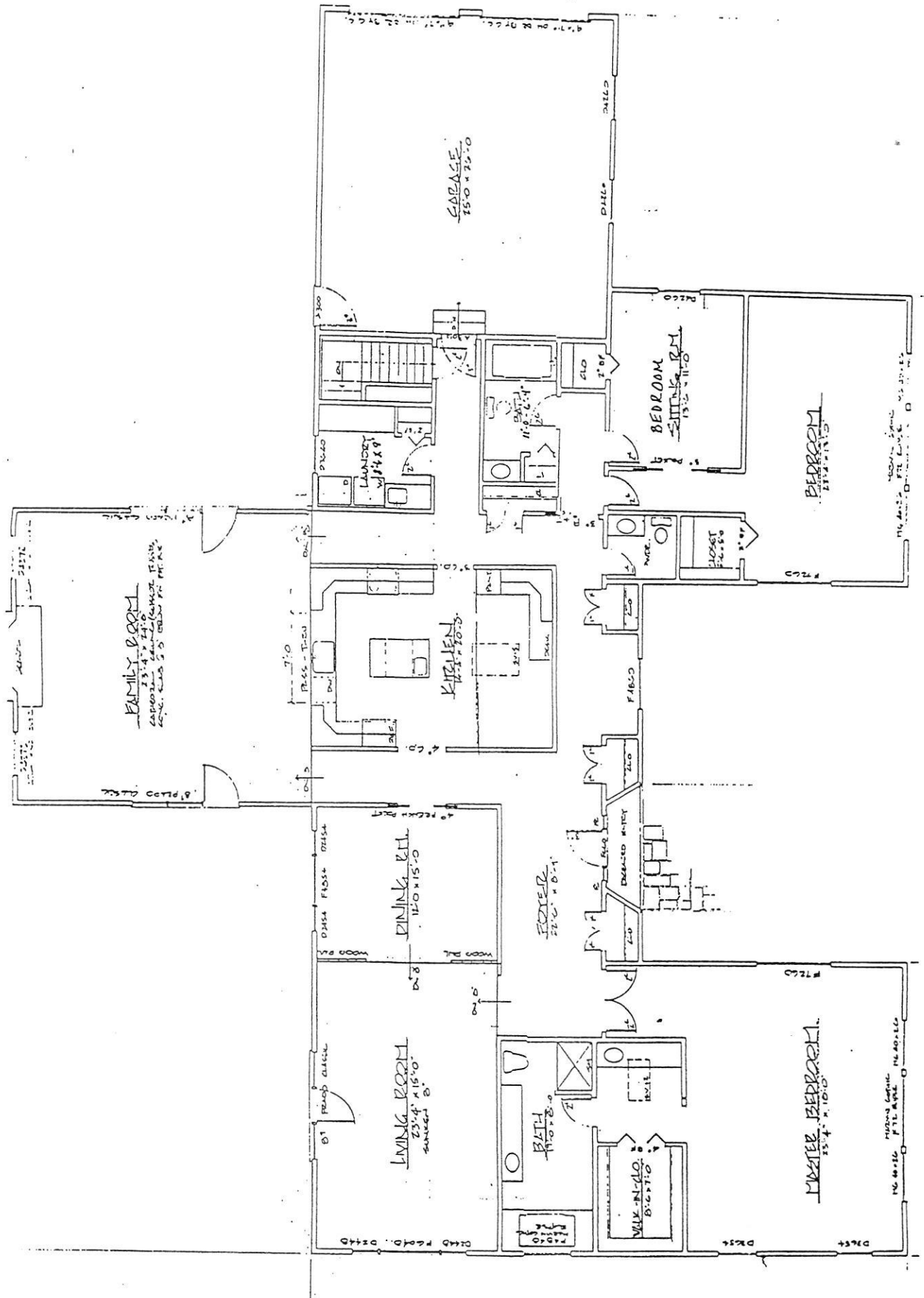
APPROPRIATE TREATMENT
OF SEPTIC RESERVATION
PER MDR PLAT
NO. 2783B

APPROVED FOR THE
OWNER

DATE: _____

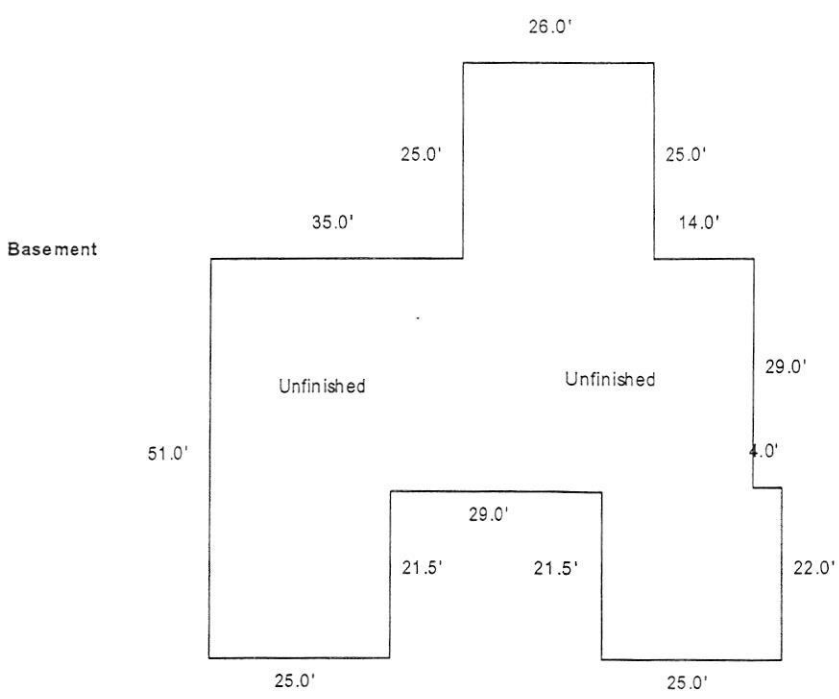
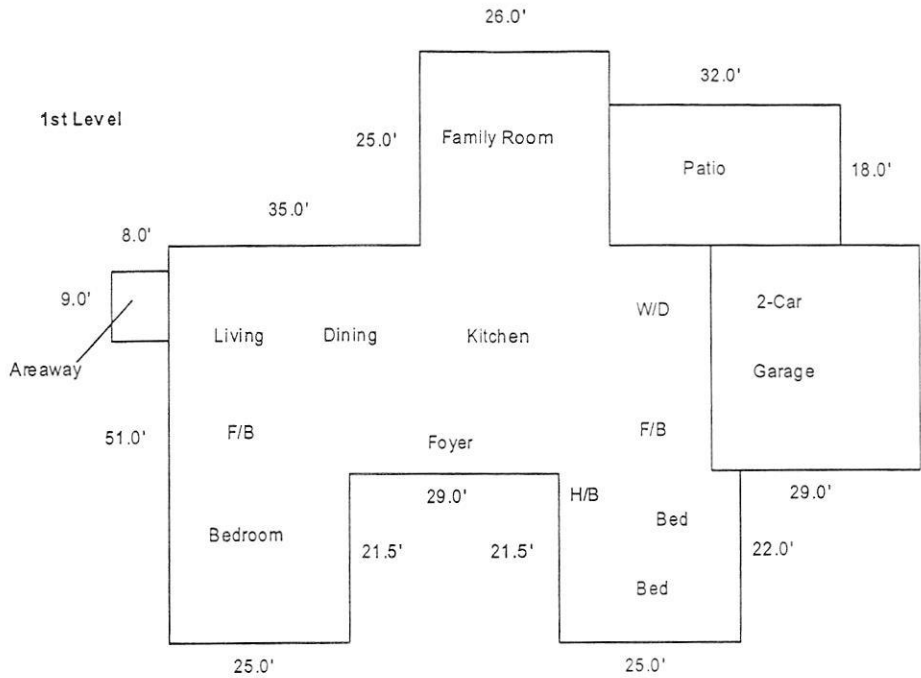
BY: _____

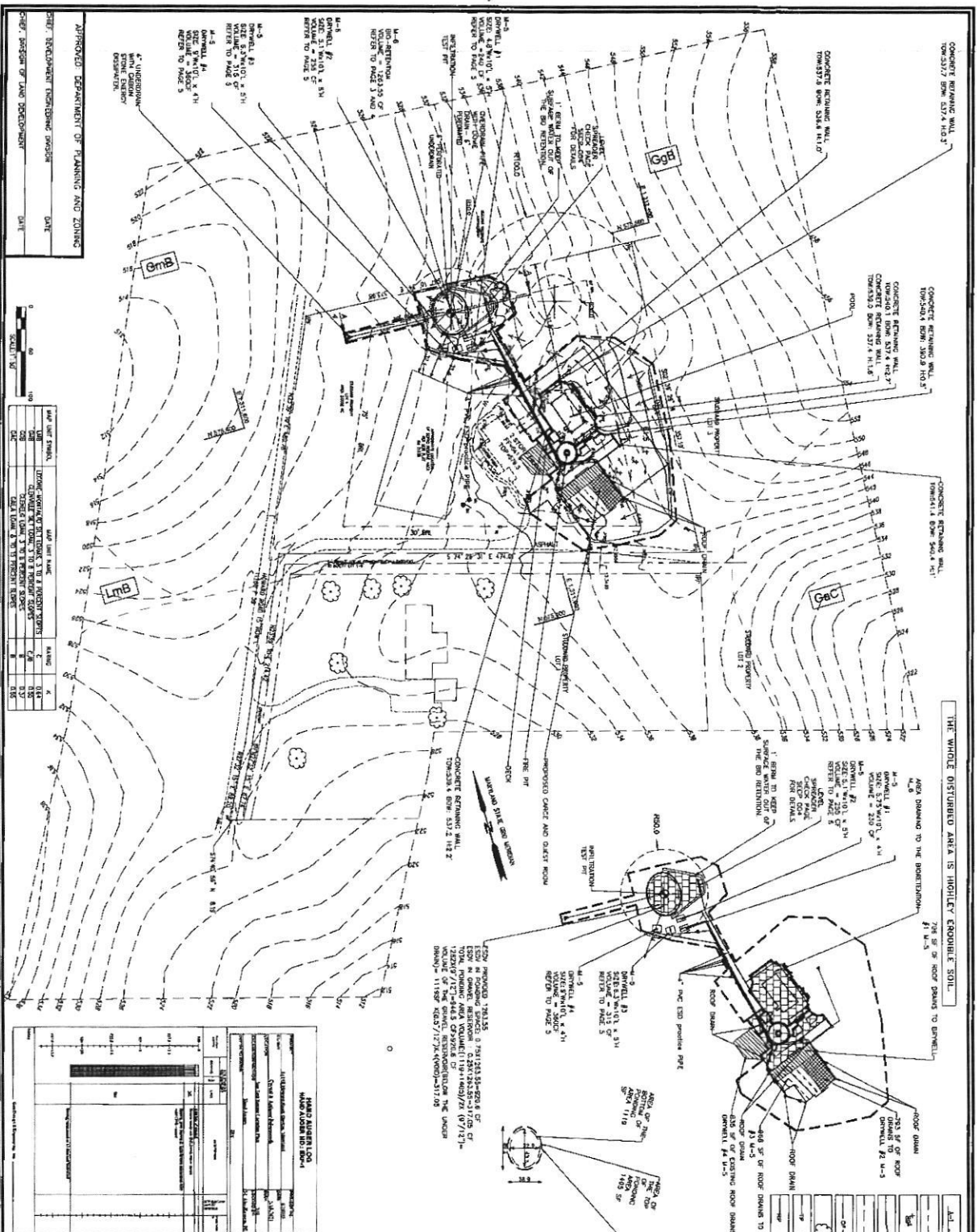
SECP 006



FLOORPLAN

Borrower: Steven Dibert & Holly Mentzer-Dibert	File No.: 0003679280
Property Address: 12300 ERICOLE COURT	Case No.:
City: ELLICOTT CITY	State: MD
Lender: FNMC ROCKVILLE	Zip: 21042-1100





THE WHOLE DISTURBED AREA IS HIGHLEY ERODIBLE SOIL.

NO.	DATE	REVISIONS	DESCRIPTION	BY
01	8/13/21	ADD	ADD COMMENTS	MM
02	8/24/21	ADD	ADD COMMENTS	MM
03	7/27/21	ADD	ADD COMMENTS	MM

NO.	DATE	REVISIONS	DESCRIPTION	BY
01	8/13/21	ADD	ADD COMMENTS	MM
02	8/24/21	ADD	ADD COMMENTS	MM
03	7/27/21	ADD	ADD COMMENTS	MM

NO.	DATE	REVISIONS	DESCRIPTION	BY
01	8/13/21	ADD	ADD COMMENTS	MM
02	8/24/21	ADD	ADD COMMENTS	MM
03	7/27/21	ADD	ADD COMMENTS	MM

NO.	DATE	REVISIONS	DESCRIPTION	BY
01	8/13/21	ADD	ADD COMMENTS	MM
02	8/24/21	ADD	ADD COMMENTS	MM
03	7/27/21	ADD	ADD COMMENTS	MM

APPROVED
8/11/21

POST DEVELOPMENT / PROPOSED CONDITION

PROFESSIONAL DEVELOPMENT

OWNER / DEVELOPER: ANTHONY K. PALERAKI, AND DIMITRI M. PATERAKI, INC. PROJECT NUMBER: (801) 287-8833

DESIGNER: EQUAGEN ENGINEERS, INC. 181 EAST 500 SOUTH ST. SUITE 200, SALT LAKE CITY, UT 84143. PHONE: (801) 287-8833

PROJECT NAME: 1414 S. 1000 EAST, DAYTON 21038

PROFESSIONAL SEAL: [Seal]

DATE: 7-5-2021

SCALE: 1"=50'

SECP 002

SIMPLIFIED ECP COMMENT LETTER

DATE: September 15, 2021
TO: Archill Engineering
Attn: Abbas Rouhani, P.E.
FROM: Philip M. Thompson, P.E.
Development Engineering Division ✍
RE: Simplified ECP for Studdard Property, Lot 4

Based on a revised submission addressing our previous comments dated September 8, 2020, we revise our comments as follows:

Approved subject to the following comments:

DPZ/DED Comments:

1. Submit a copy of this letter and stamped "Approved" SECP with submission of the redline revision, grading permit or building permit.
2. **The required Declaration of Covenants (DOC) shall be executed prior to the submission of the building permit. Include verification of execution at the time of building permit submission.**

DPZ/DLD Comments:

DLD Reviewer: Derrick Jones

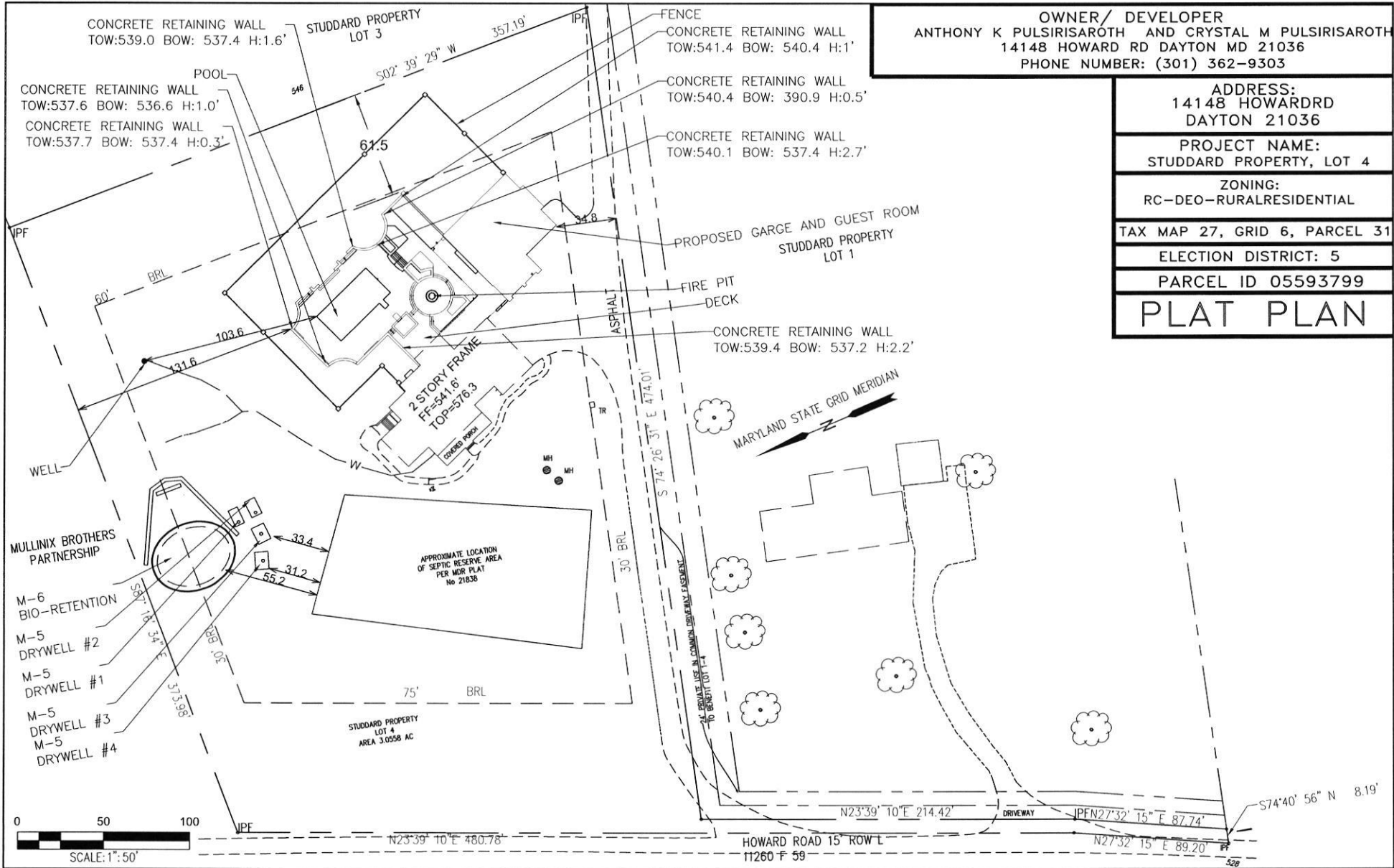
1. No addition comments.

HSCD Comments:

1. No additional comments.

Standard Requirements:

1. **All comments associated with the conditions of this SECP approval must be addressed prior to or with the submission of grading and building permit submittal. If the required information is not provided with the grading and building permit, it may not be accepted by the DPZ staff.**
2. **Attach a signed and notarized copy of the approved Forest Conservation Declaration of Intent (DOI) form with submission of the grading permit application to satisfy the forest conservation requirements, if applicable.**
3. **Attach a copy of the receipt from DPW, Real Estate Services verifying execution of a Deed of Forest Conservation Easement to satisfy the forest conservation requirements, if applicable. Also, attach a copy of the executed Deed of FCE with plat exhibit attached with submission of the grading permit application.**





TONY AND CRISTAL
PULSISAROTH
RESIDENCE

PROPOSED GARAGE
ADDITION,
BREEZEWAY AND
POOL AREA

14148 HOWARD ROAD
DAYTON, MD. 21036

Drawing Title
EXISTING FLOOR
PLANS

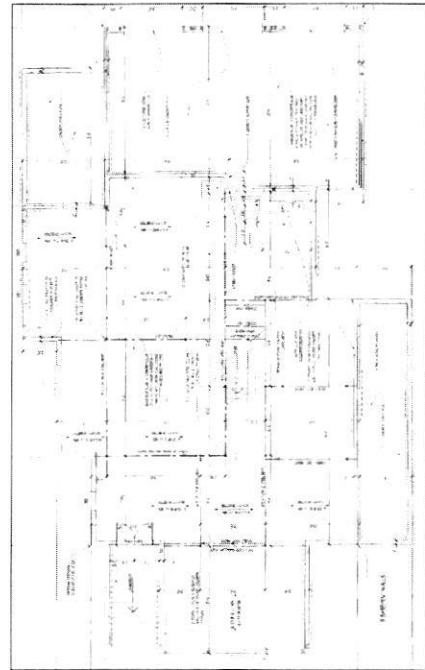
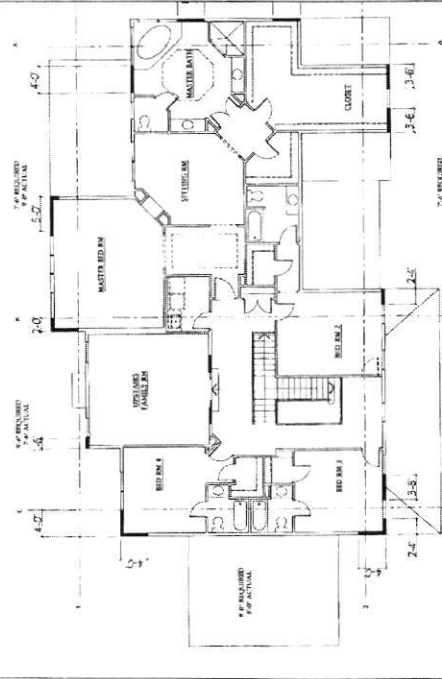
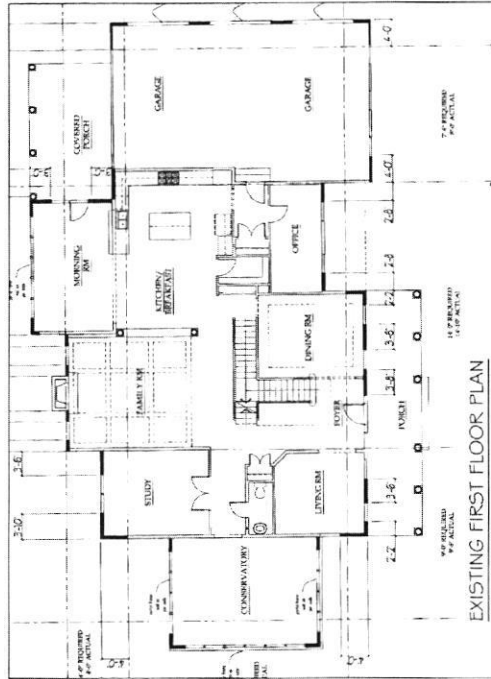
Date
SEPT. 27, 2021 PERMIT DRAWINGS

Drawn By
CNS/BJ

Checked By
JAO/BO

Sheet No

EX001



OWNER/ DEVELOPER
 ANTHONY K PULSIRISAROTH AND CRYSTAL M PULSIRIS
 14148 HOWARD RD DAYTON MD 21036
 PHONE NUMBER: (301) 362-9303

ADDRESS:
 14148 HOWARD RD
 DAYTON 21036

PROJECT NAME:
 STUDDARD PROPERTY, LOT 1

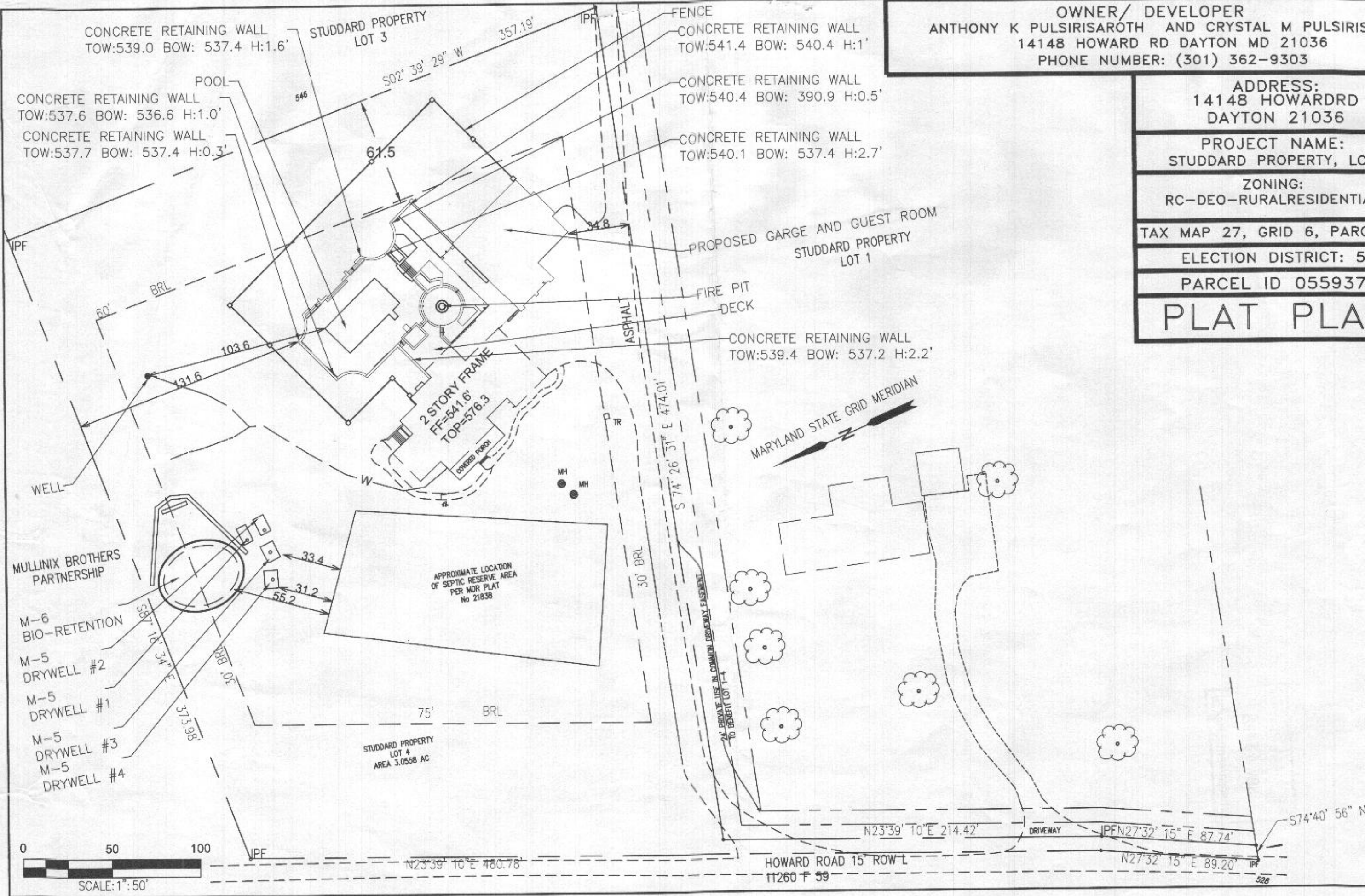
ZONING:
 RC-DEO-RURALRESIDENTIAL

TAX MAP 27, GRID 6, PARC

ELECTION DISTRICT: 5

PARCEL ID 0559379

PLAT PLAN



- MULLINIX BROTHERS PARTNERSHIP
- M-6 BIO-RETENTION
- M-5 DRYWELL #2
- M-5 DRYWELL #1
- M-5 DRYWELL #3
- M-5 DRYWELL #4

