

RECEIVED

PERMIT NUMBER: B21001210

DATE ACCEPTED: MAR 29 2021

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 18415 Hidden Creek Way, Mount Airy, MD 21771
City: Mount Airy
State: MD
Subdivision/Village/Complex Name: Windsor Forest Knolls
Lot: 16
Tax Map: 6, Grid 16
Parcel: 57
Grading Permit #: G21000060

DESCRIPTION OF WORK REQUIRED

Existing Use: vacant
Proposed Use: residential
Estimated Cost: \$247,575.00
Trade Work to Be Completed: Mechanical (HVACR), Electrical, Plumbing

Residential New Single Family Dwelling (Detached)

RECEIVED

MAR 29 2021

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): Sonshine MD, LP
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 464-9060
Email: billb@keystonecustomhome.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Keystone Custom Homes
Contact Name: Gregg Reinsmith
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 719-1362
Email: greinsmith@keystonecustomhome.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Keystone Custom Homes
Licensee's Name:
License #: MHBR# 2937 (exp 12/01/2021)
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 719-1362
Email: greinsmith@keystonecustomhome.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Paul B. Elser, P.E.
Name: Paul Elser
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 719-1370
Email: pels@keystonecustomhome.com

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling
Utilities: Electric, Gas
Water Supply: Private (Well)
Sewage Disposal: Private (Septic)
Heating System: Propane
Sprinkler System: NFPA 13D
Fire Alarm System: Yes

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Parker Farmhouse
of Bedrooms (SF): 4
of efficiency units (MF*):
of 1 BR (MF*):
of 2 BR (MF*):
of 3 BR (MF*):
Rooms: 15
Full Baths: 2
Half Baths: 1
Fireplaces: 1
Garage/Carport Info: Attached Garage
Basement/Foundation Info: Finished Basement: Full
1st Fl Width: 54
1st Fl Depth: 42
2nd Fl Width: 48
2nd Fl Depth: 34
Bsmt Width: 54
Bsmt Depth: 42
Energy Method: Prescriptive
Gross Area: 4,774 sq ft
Occupiable Area: 4,543 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE

3/26/2021
DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR, DPZ, DED, Health, SHA, CID
SUBMITTAL FEES: \$150
PAYMENT: \$150
ACCEPTED BY: drop box

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 06/23/2021

To: Front Desk DILP
(Reviewer/Requestor's Name) (Division)

From: Gregg Reinsmith / Keystone Custom Homes (717) 719-1362
(Your Name, Company Name) (Phone Number)

Subject: Project name Windsor Forest Knolls, Lot 16

Project site address 18415 Hidden Creek Way

Permit # B21001210 SDP # F-07-008

Other information pertinent to this project _____

Approval 7/1/2021

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of Revised BPP (4 copies) (be specific).
 - Health Department Request
 - DPZ/ DED Request
 - Applicant's Request
- Two sets of single-family model plans to be placed on permanent file: Model Name/ # _____
- Other HD requested revised BPP per changes to the SDA. Submitting for department reviews as needed.

Contact Person Information: (Required)

Gregg Reinsmith Telephone No: (717) 682-3320
Please Print Name E-Mail Address: greinsmith@keystonecustomhome.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455 OPTION #4 OR BY VISITING MYHOWARD.INFO. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by *not box*

JUN 28 2021
LICENSES & PERMITS
DIVISION

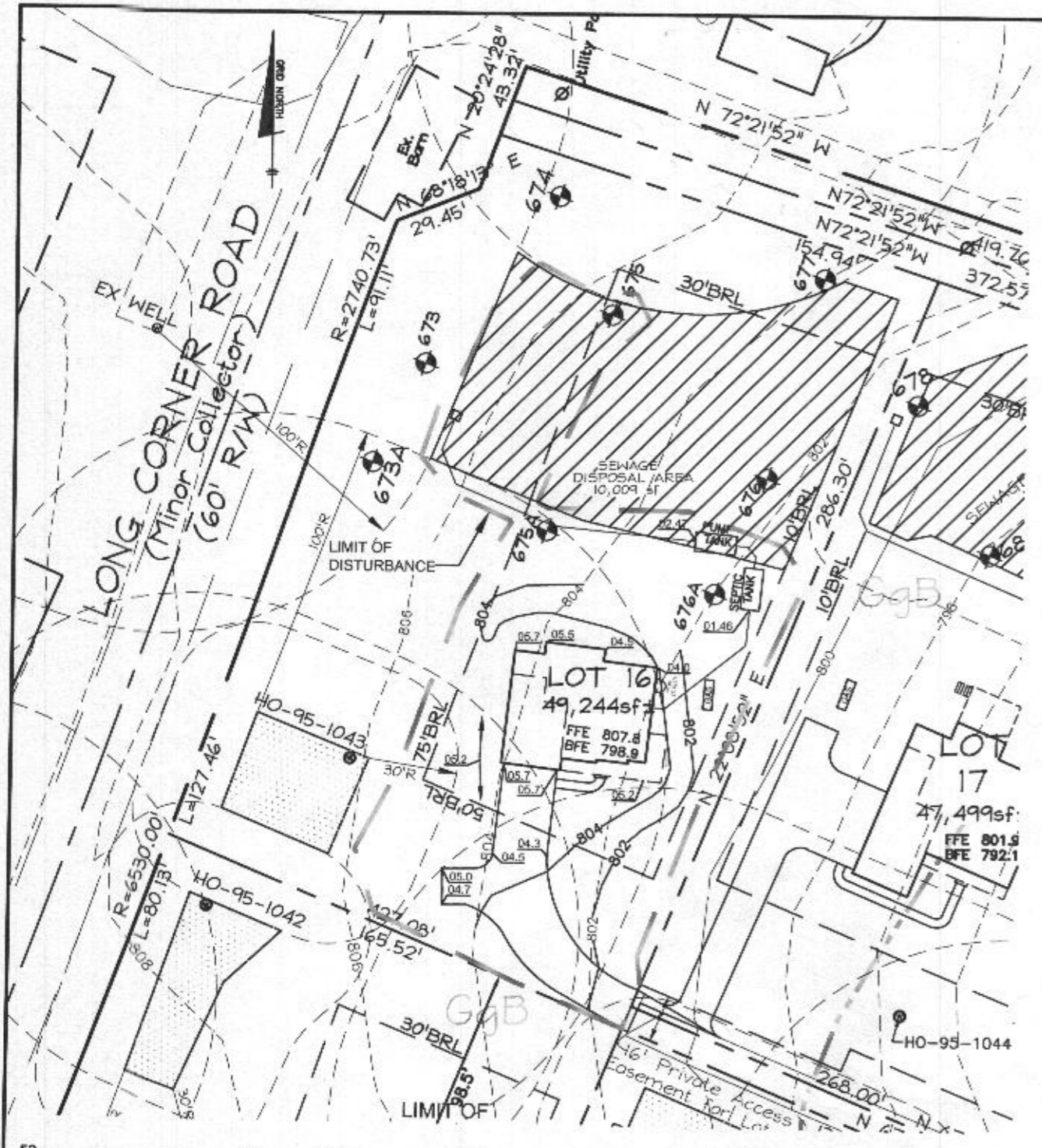
SIMPLIFIED PLAN SET

FOR HEALTH DEPT REVIEW

(No Rough In
In Basement)

4 Total BRs

Proposed



LEGEND

- 400 PROPOSED CONTOURS
- 398 EXISTING CONTOURS
- 400 EXISTING PRIVATE SEWAGE DISPOSAL AREA
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE
- SOILS MAP SYMBOL
- SOILS DELINEATION LINE

GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR WINDSOR FOREST KNOLLS, PLAT NUMBER 19395. REFER TO THE PLAT FOR LOT DIMENSIONS, LOT AREA, ALL EASEMENTS AND CONDITIONS.
2. THE EXISTING WELL SHOWN ON THIS PLAN (HO-95-1043) HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING INC. JULY 2020 AND IS ACCURATELY SHOWN.
3. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
4. TOPOGRAPHY SHOWN WAS BASED ON FIELD RUN TOPOGRAPHY BY C.B. MILLER & ASSOCIATES IN APRIL, 2002, AND WAS SUPPLEMENTED BY FIELD RUN TOPOGRAPHY BY BENCHMARK ENGINEERING, INC. JULY 2020.
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REVISED
 Date: 7/6/21
 Comments: B21-1210

BUILDER'S DATA

FINISHED FLOOR:	807.8
BASEMENT FLOOR:	798.9
TOP OF WALL:	806.6
BASEMENT SUBGRADE:	798.0
GARAGE FLOOR:	806.0
GARAGE LIP:	805.7
SEWER BELOW TOW:	6.4

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376. Expiration Date: 01-01-2023.



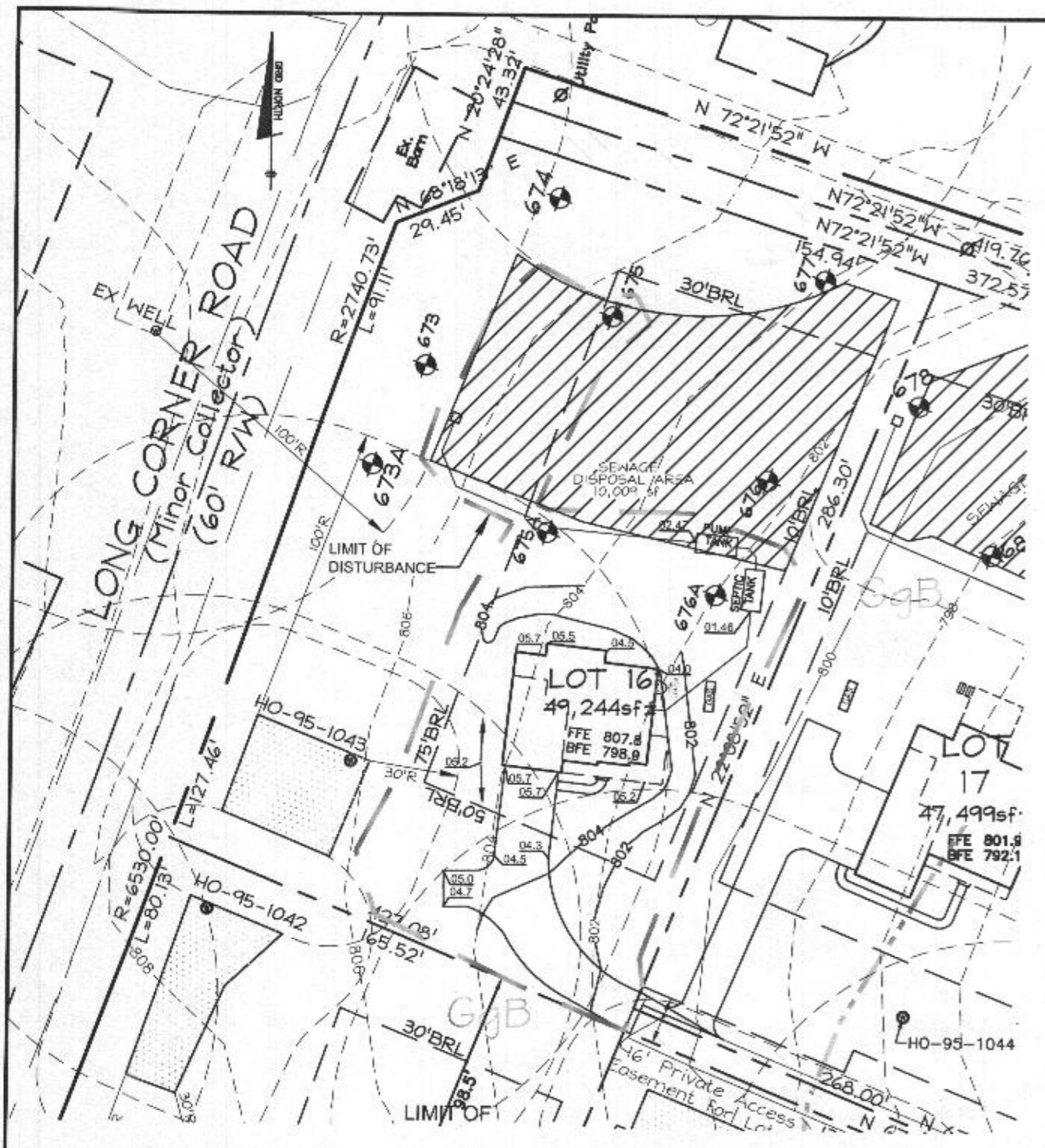
AAM-BEI

2021.06.16 12:02:55 -04'00

PROJECT:	WINDSOR FOREST KNOLLS LOT 16		
LOCATION:	TAX MAP: 6 - GRID: 16 - PARCEL: 57 18415 HIDDEN CREEK WAY, TAX ID# 04-373324 ELECTION DISTRICT NO. 4 - HOWARD COUNTY, MARYLAND		
TITLE:	BUILDING PERMIT PLAN		
HOUSE TYPE:	CUSTOM - KEYSTONE HOMES		
DATE:	JUNE 2021	PROJECT NO.	2986
SCALE:	AS SHOWN	DRAWING	1 OF 1

OWNER/BUILDER:
 KEYSTONE CUSTOM HOMES, INC.
 227 GRANITE RUN DR.
 SUITE 100
 LANCASTER, PA 17601
 717-464-9060

BENCHMARK
 ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
 8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 (P) 410-465-6105 ▲ (F) 410-465-6644
 WWW.BEI-CIVILENGINEERING.COM



PLAN VIEW
1" = 50'

LEGEND

- 400 PROPOSED CONTOURS
- 398 EXISTING CONTOURS
- 400 EXISTING PRIVATE SEWAGE DISPOSAL AREA
- SUPER SILT FENCE
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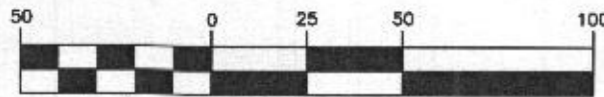
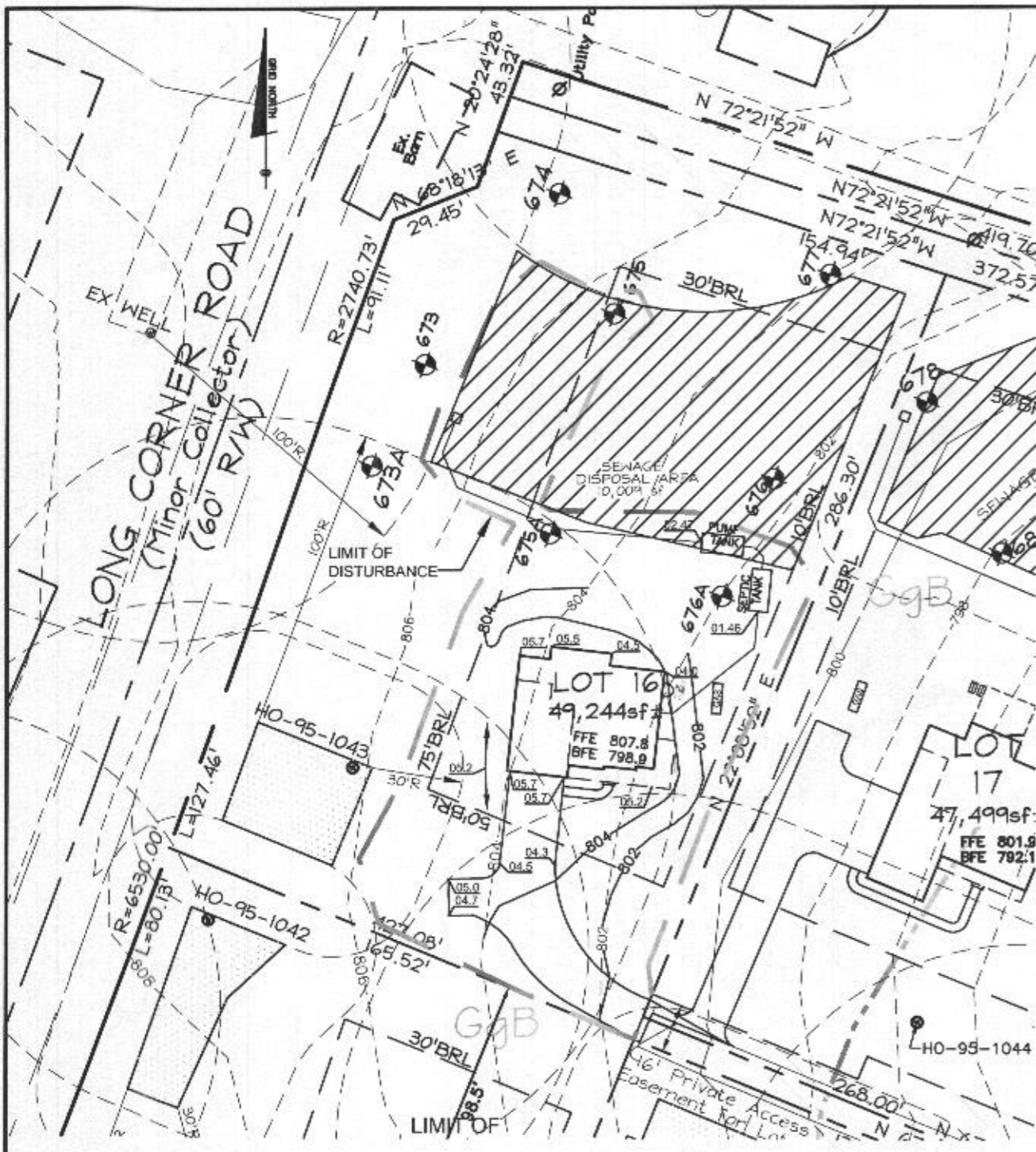
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(IN FEET)
1 inch = 50 ft.

PLAN VIEW
1" = 50'

LEGEND	
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	EXISTING CONTOURS
	EXISTING PRIVATE SEWAGE DISPOSAL AREA
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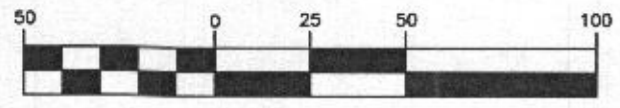
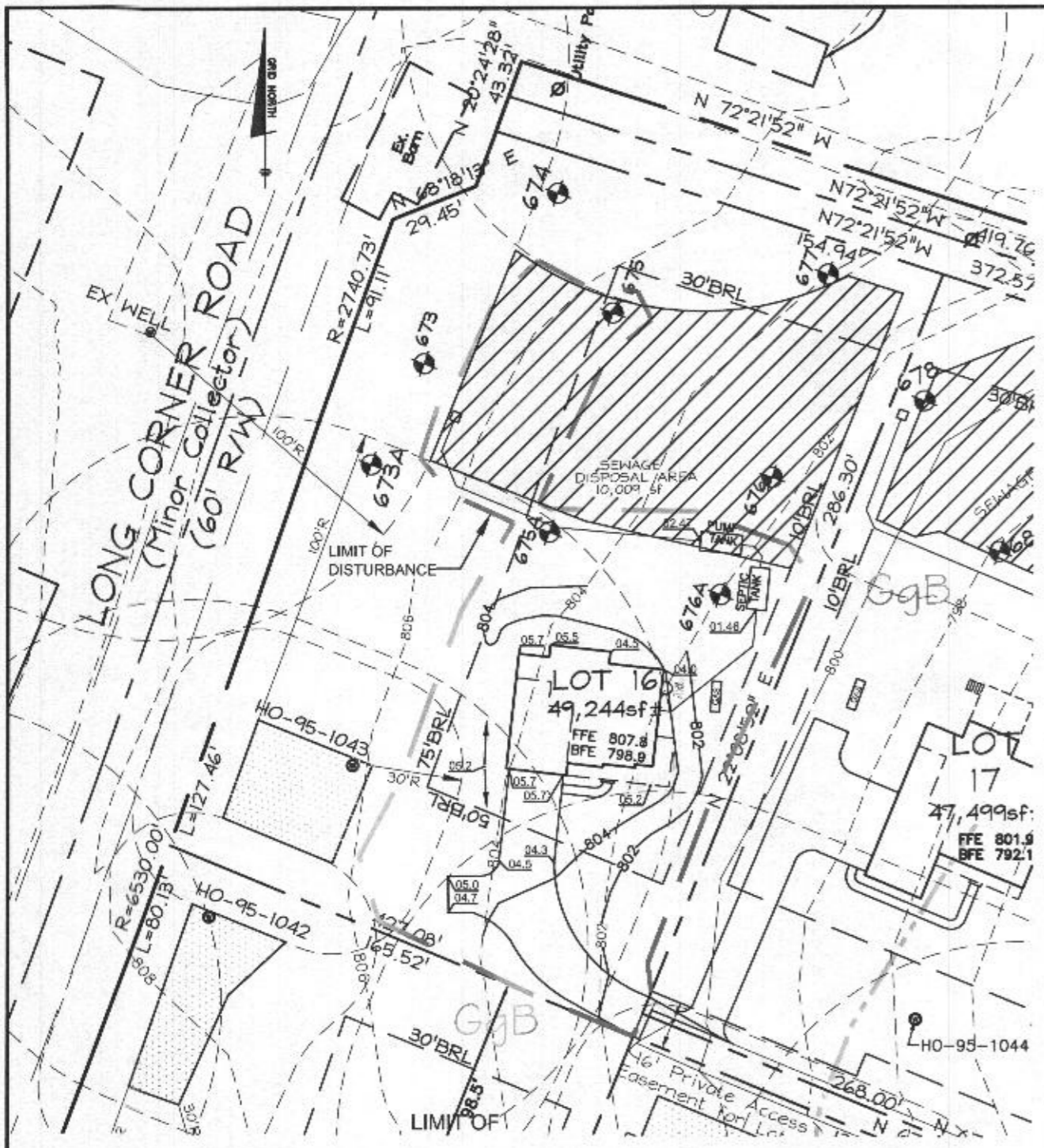
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DATE:	JUNE 2021	PROJECT NO.	2986
SCALE:	AS SHOWN	DRAWING	1 OF 1



(IN FEET)
1 inch = 50 ft.

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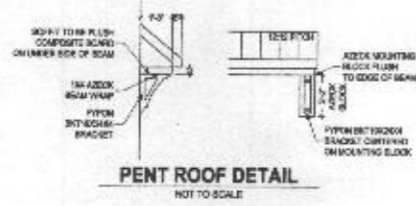
AAM-BEI

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HOUSE TYPE:	CUSTOM - KEYSTONE HOMES	
DATE:	JUNE 2021	PROJECT NO. 2986
SCALE:	AS SHOWN	DRAWING 1 OF 1



FRONT ELEVATION
SCALE 3/16" = 1'-0"

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227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PI: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhomes.com



KEYSTONE CUSTOM HOMES, INC.



"Professional Certification I hereby certify that these drawings were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland License No. 35473, Expiration Date 06-10-2027"

PROJECT DESCRIPTION	FRONT ELEVATION
MODEL	EAS016 BICHER
DATE	MAR 15 2021
SCALE	AS NOTED
DRAWN BY	C.FOX
SHEET NO.	A1.0
PLAT	ap k 80

18415 MIDDEN CREEK WAY, MT AIRY, MD 21771

HEALTH DEPT

B21001210

Handwritten notes: "Approved by Health Dept" and "APPROVED BY" with a signature.



REAR ELEVATION
SCALE 3/16" = 1'-0"



I, Paul B. Elser, No. 35479, a duly licensed professional engineer, under the law of the State of Maryland, License No. 35479, Expiration Date 06-15-2027, certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the law of the State of Maryland.

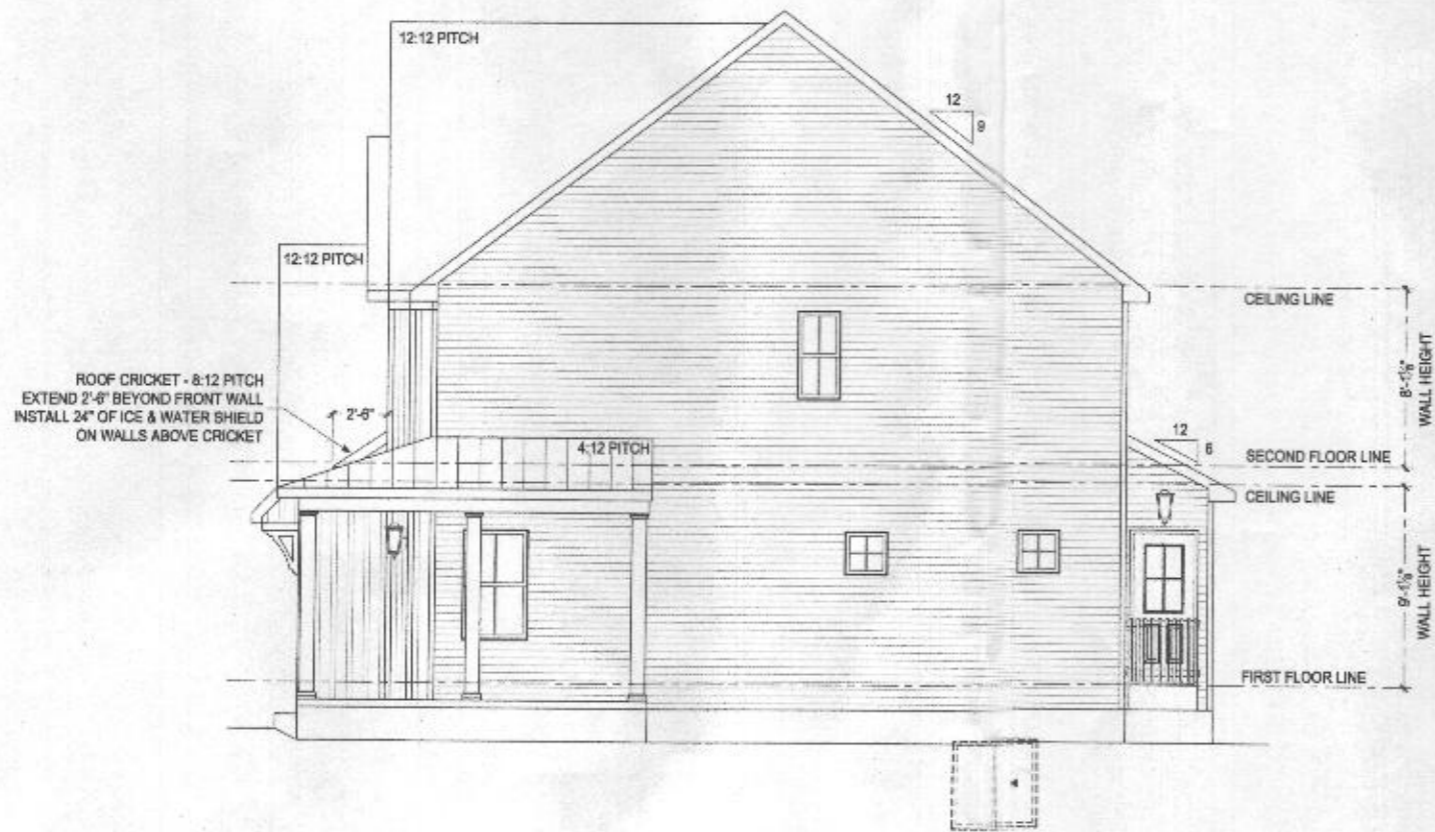
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LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonemecustomhomes.com



KEYSTONE CUSTOM HOMES, INC.

REAR ELEVATION	FAs016
BICHER	
DATE	MAR 15 2021
SCALE	AS NOTED
DRAWN BY	G.FOX
PROJECT NO.	AL2
DATE	ap k 80



LIVING SIDE ELEVATION
SCALE: 1/8" = 1'-0"



Professional Certification: I hereby certify that these drawings were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 35478, Expiration Date 04-14-2022

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www.keystonemcustomhomes.com



KEYSTONE CUSTOM HOMES, INC.

PROJECT: 227GRANITE	DATE: MAR 15 2021
LIVING SIDE ELEVATION	SCALE: AS NOTED
MODEL: EA016	DRAWN BY: C.FCX
BICHLER	SHEET NO. A1.1
	PLANT: apk80

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PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhomes.com

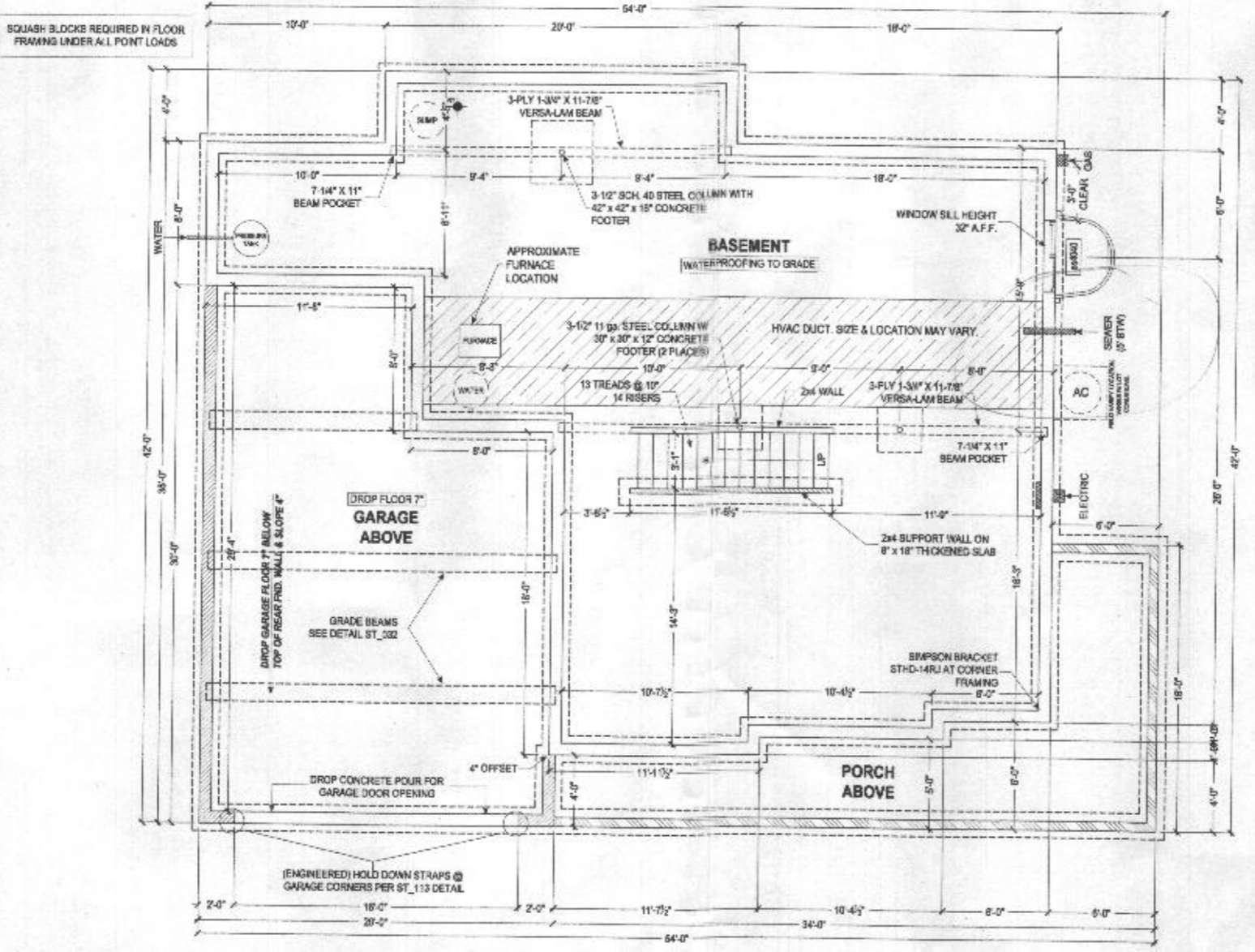


KEYSTONE CUSTOM HOMES, INC.



"Professional Certification. I hereby certify that these drawings were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 35478, Expiration 03/31/2022."

8" THICK Poured Concrete Walls
8" HIGH MAin HOUSE BASEMENT WALLS STANDARD
8" THICK Poured Concrete Walls
CHECK P.O. FOR WALL HEIGHT OF CRAWL SPACE AND GARAGE WALLS
8" THICK Poured Concrete Walls
CHECK P.O. FOR WALL HEIGHT OF FRONT PORCH WALLS



7'x20" CONTINUOUS CONCRETE FOOTER @ 2000 P.S.I.

FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

NOTE TO HOMEOWNERS:
LOCATIONS SHOWN FOR HVAC, PLUMBING, AND OTHER MECHANICAL ITEMS WILL BE, AS FAR AS POSSIBLE, ACTUAL. PLACEMENT OF FURNACE, WATER HEATER, SUMP PUMP, ETC. MAY VARY DUE TO INDIVIDUAL SITE REQUIREMENTS.

FOUNDATION PLAN	EAS016
BICINER	
DATE: MAR 15 2021	
SCALE: AS NOTED	
DRAWN BY: C.FOX	
SHEET NO. P1.2	
PLAN: a p k 80	

