

**Bureau of Environmental Health**  
 8930 Stanford Boulevard, Columbia, MD 21045  
 Main: 410-313-2640 | Fax: 410-313-2648  
 TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
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Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 8/20/21      **ONSITE SEWAGE DISPOSAL SYSTEM**      P 570115  
 APPROVAL DATE: 11/2/21 (ST)      **PERMIT:**      **REPAIR**      A \_\_\_\_\_  
 PROPERTY ADDRESS: 1040 Fairlane Road  
 SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ TAX ID: \_\_\_\_\_  
 CONTRACTOR: Legacy Septic and Excavation      EMAIL: \_\_\_\_\_  
 CONTRACTOR ADDRESS: 1538 Manchester Road, Westminster, MD 21157      PHONE: 301-370-4121  
 PROPERTY OWNER: Neeraj and Nalini Harry      EMAIL: \_\_\_\_\_  
 OWNER ADDRESS: 1040 Fairlane Road, Woodbine, MD21797      PHONE: 631-745-4088

SEPTIC TANK SIZE (GALLONS): 2000      PUMP CHAMBER CAPACITY (GALLONS): N/A      PUMP SIZE: \_\_\_\_\_  
 NUMBER OF BEDROOMS: 6      HOUSE SQ. FT. \_\_\_\_\_      APPLICATION RATE: \_\_\_\_\_  
 DISTRIBUTION SYSTEM:    GRAVITY FED       LOW PRESSURE DOSED

TRENCHES:	LINEAR FEET REQUIRED: <u>N/A</u>	INLET DEPTH: _____
	TRENCH WIDTH: _____	MAXIMUM BOTTOM DEPTH: _____
	MINIMUM SPACE BETWEEN TRENCHES: _____	EFFECTIVE AREA BEGINNING DEPTH: _____

LOCATION: **TO BE STAKED BY SANITARIAN DURING PRE-CONSTRUCTION INSPECTION.**

NOTES: Install new 2000 gal septic tank 20' from proposed addition

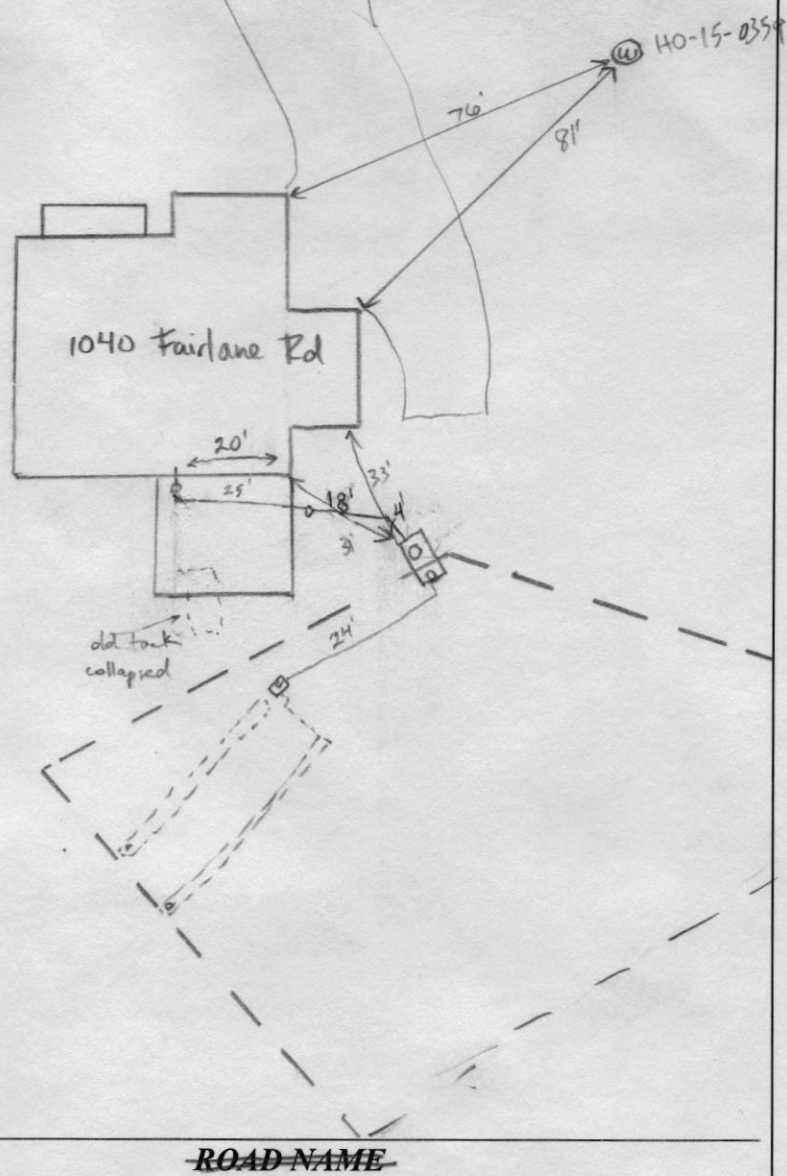
ISSUED BY: Susan Thomas      ISSUE DATE: 10/6/21      EXPIRATION DATE: 10/6/22

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION**
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM**  
 ELECTRICAL PERMIT ISSUED    E \_\_\_\_\_
- NOTE: THE HCHD DOES NOT WARRANT ANY SYSTEM AND CANNOT GUARANTEE THE PERFORMANCE OF THIS SYSTEM AS DESIGNED. BY ACCEPTING THIS PERMIT, THE OWNER AND/OR APPLICANT ACKNOWLEDGE THAT THE SPECIFICATIONS DETAILED IN THIS DESIGN ARE ONE POSSIBLE OPTION AND THAT THE HCHD WILL REVIEW OTHER PROPOSALS. YOU HAVE THE OPTION TO SEEK THE ADVICE OF A QUALIFIED DESIGN CONSULTANT OR PROFESSIONAL ENGINEER FOR FURTHER GUIDANCE.**
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.  
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.  
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

Fairlane Rd

NOT TO SCALE



existing

**TRENCH/DRAINFIELD DATA**

WIDTH	INLET	BOTTOM
_____	_____	_____
NUMBER OF TRENCHES _____		
TOTAL LENGTH _____		
ABSORPTION AREA _____		
DISTRIBUTION BOX LEVEL _____		
DISTRIBUTION BOX BAFFLE _____		
DISTRIBUTION BOX PORT _____		

**SEPTIC TANK DATA**

**SEPTIC TANK 1 LEVEL** \_\_\_\_\_

MANUFACTURER Babylon

CAPACITY 2000 GAL

SEAM LOC top

TANK LID DEPTH 0'

BAFFLES inlet + outlet

BAFFLE FILTER \_\_\_\_\_

MANHOLE LOC inlet + outlet

6" PORT LOC \_\_\_\_\_

WATERTIGHT TEST \_\_\_\_\_

SLOTTED yes

DATE ON LID 9-20-21

**PUMP/SEPTIC TANK LEVEL** \_\_\_\_\_

MANUFACTURER \_\_\_\_\_

CAPACITY \_\_\_\_\_ GAL

SEAM LOC \_\_\_\_\_

TANK LID DEPTH \_\_\_\_\_

BAFFLES \_\_\_\_\_

BAFFLE FILTER \_\_\_\_\_

MANHOLE LOC \_\_\_\_\_

6" PORT LOC \_\_\_\_\_

WATERTIGHT TEST \_\_\_\_\_

SLOTTED \_\_\_\_\_

DATE ON LID \_\_\_\_\_

**PRE-CONSTRUCTION:**

10/6/21 New patio/screen room addition staked out. New tank location 20' from new addition. Verified sufficient fall to tank and from tank to d-box. Will be about 18" of cover on tank (ST)

**INSTALLATION:**

11/2/21 old tank collapsed and abandoned. New tank set, connected to new sewer line with new cleanout outside of future addition. Connected into existing d-box. (ST)

FINAL INSPECTOR Susan Thomas DATE OF APPROVAL 11/2/21

NOT TO SCALE

1 1/4 - 20'

wall line

Porch

78'

78'

A to tank 24'

B to tank 24'

20'

NEW SCREEN ROOM

1500 Tank 2 computer Topset

20'

45'

D box

31' to A

51' to B

75' to C

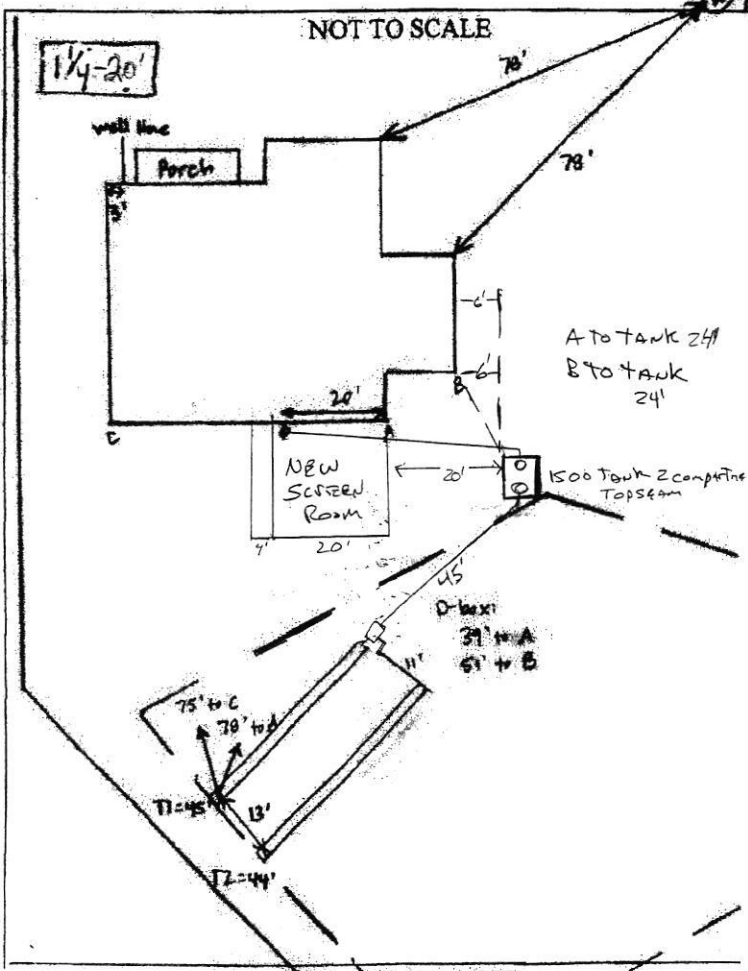
78' to d

T1=45'

T2=44'

13'

11'



## Jenny Walsh

---

**From:** Neil Harry <neilharry629@gmail.com>  
**Sent:** Tuesday, July 13, 2021 9:54 AM  
**To:** Jenny Walsh  
**Subject:** Fairlane Project  
**Attachments:** Neil Plot - Modified.pdf



Good morning Jenny,

Here is the email we received from HoCo:

**I have reviewed your permit for your proposed addition is close to the septic tank and septic area. This distance is not within our required setbacks. Your septic system must be 20 feet away from your proposed addition. Please revise your plan and resubmit. If you need any additional assistance please don't hesitate to send me an e-mail regarding setback requirements.**

**Dana Bernard**

**Well and Septic Program**

**Environmental Health**

Attached, you will find a diagram of the proposed deck.

Please contact me via this email or at 631-745-4088 if you need any further information.

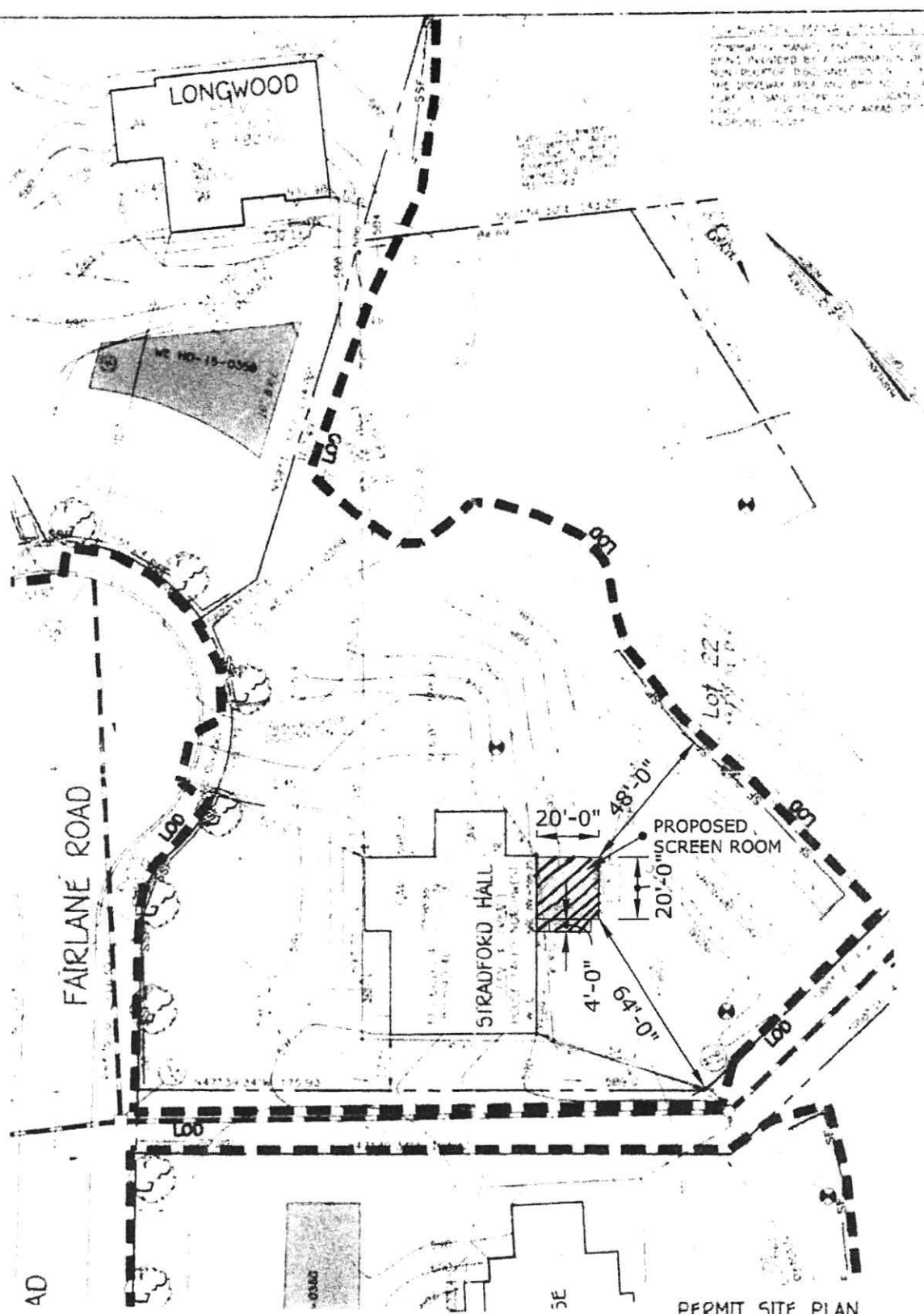
Thank you!



Sender notified by  
[Mailtrack](#)



THIS PLAN IS THE PROPERTY OF FISHER, COLLINS & CARTER, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FISHER, COLLINS & CARTER, INC.



OWNER/DEVELOPER  
 FISHER, COLLINS & CARTER, INC.  
 1045 FAIRLANE ROAD  
 FAIRLANE, VA 22030

PERMIT SITE PLAN  
 LOT 22  
 1045 FAIRLANE ROAD  
 FAIRLANE FARMS

FISHER, COLLINS & CARTER, INC.  
 1045 FAIRLANE ROAD  
 FAIRLANE, VA 22030  
 541-861-1111

PLAN

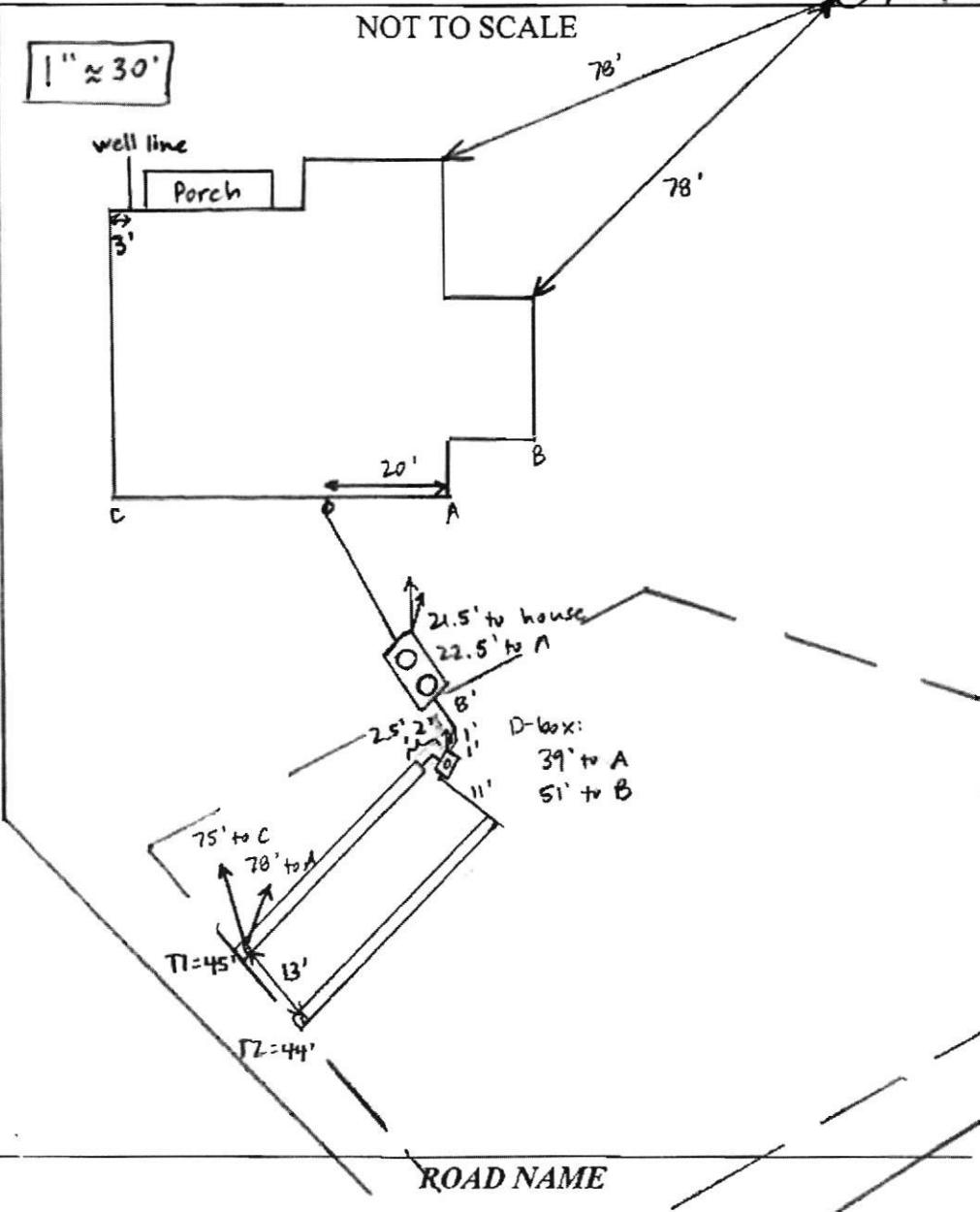
NOTE: THE EXISTING WELL IS LOCATED ON THE SOUTH SIDE OF LOT 22 AND HAS BEEN FIELD LOCATED BY THE ENGINEER AND IS SHOWN ON THIS PLAN. THE EXISTING WELL IS LOCATED ON THE SOUTH SIDE OF LOT 22 AND HAS BEEN FIELD LOCATED BY THE ENGINEER AND IS SHOWN ON THIS PLAN.

PHASE TWO  
 SHEET 1 OF 1

DATE: 10/15/14  
 DRAWN BY: J. H. HARRIS  
 CHECKED BY: J. H. HARRIS  
 SCALE: AS SHOWN

NOT TO SCALE

1" ≈ 30'



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	3'	8'
NUMBER OF TRENCHES		2
TOTAL LENGTH		89'
ABSORPTION AREA		267' + SIDEWALK
DISTRIBUTION BOX LEVEL		YES
DISTRIBUTION BOX BAFFLE		YES
DISTRIBUTION BOX PORT		YES

SEPTIC TANK DATA	
SEPTIC TANK I LEVEL	YES
MANUFACTURER	BABYLON
CAPACITY	2000 GAL
SEAM LOC	TOP
TANK LID DEPTH	0.5 - 2'
BAFFLES	YES
BAFFLE FILTER	NO
MANHOLE LOC	FRONT + REAR
6" PORT LOC	NONE
WATERTIGHT TEST	NO
SLOTTED	YES
DATE ON LID	5-8-18
<del>PUMP/SEPTIC TANK LEVEL</del>	
<del>MANUFACTURER</del>	
<del>CAPACITY</del> GAL	
<del>SEAM LOC</del>	
<del>TANK LID DEPTH</del>	
<del>BAFFLES</del>	
<del>BAFFLE FILTER</del>	
<del>MANHOLE LOC</del>	
<del>6" PORT LOC</del>	
<del>WATERTIGHT TEST</del>	
<del>SLOTTED</del>	
<del>DATE ON LID</del>	

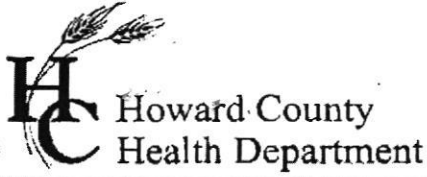
PRE-CONSTRUCTION:

7/12/18 Met S. Carroll on site for layout. Tank + SDA corners staked. Shot contour + laid out 2x44' trenches on contour. Found house connection under footer - will make fall to tank with < 3' cover and 3' trench inlet. (SC)

INSTALLATION: 7/13/18 House connection made. Tank + D-box set, connected with pipe. (SC)

7/26/18 T1 complete. left open at ends for inspection. 3' wide, 2.5' to stone. S. Carroll adding stone to T2, 3' wide + 3' inlet. leveled speed levelers in D-box. (SC)

FINAL INSPECTOR Sarah Collins DATE OF APPROVAL 7/26/18



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Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 7/5/18 **ONSITE SEWAGE DISPOSAL SYSTEM** P 563048

APPROVAL DATE: 7/26/18 SEC **PERMIT: CONSTRUCTION** A \_\_\_\_\_

PROPERTY ADDRESS: 1040 Fairlane Road

SUBDIVISION: Fairlane Farms LOT: 22 TAX ID: \_\_\_\_\_

CONTRACTOR: South Carroll Backhoe EMAIL: sbackhoe@comcast.com

CONTRACTOR ADDRESS: 4410 Salem Bottom Road, Westminster, MD 21157 PHONE: 410-596-3618

PROPERTY OWNER: NV Homes EMAIL: \_\_\_\_\_

OWNER ADDRESS: 9720 Patuxent Woods Drive, Columbia, MD 21046 PHONE: 410-379-5956

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Babylon Vault or equivalent

PUMP MODEL: N/A PUMP SIZE: N/A PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM:  GRAVITY  PRESSURE DOSED BEDROOMS: 6 APPLICATION RATE 1.2

TRENCHES:	LINEAR FEET REQUIRED: <u>87.50</u>	INLET DEPTH: <u>3</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>3</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:		

ISSUED BY: Hank Oswald ISSUE DATE: 7/5/18 EXPIRATION DATE: 7/5/19

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
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- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM  
 ELECTRICAL PERMIT ISSUED E \_\_\_\_\_
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

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 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.  
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

## Oswald, Hank

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**From:** Oswald, Hank  
**Sent:** Monday, April 02, 2018 9:52 AM  
**To:** 'Tony Fertitta'  
**Subject:** OSDS Plan\_1040 Fairlane Road\_Storwater Management Device  
**Attachments:** OSDS Plan\_1040 Fairlane Road\_Storm Water Outflow Line.pdf

Hi Tony:

For the future storm water management pond next to Lot 22, we would like to see the 25 foot setback from the 580 line because that's where the outflow is located (See attachment). As a reminder, if you have to revise the SDA, then a revised perc cert will be required.

Let me know if you have any questions.

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)

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Maura J. Rossman, M.D., Health Officer

**MEMORANDUM**

**TO:** Fisher, Collins & Carter, Inc.  
10272 Baltimore National Pike  
Ellicott City, MD 21042

**FROM:** Hank Oswald, L.E.H.S.  
Well & Septic Program

**RE:** 1040 Fairlane Road  
Fairlane Farms, Lot 22

**Date:** March 13, 2018

---

The OSDS Plan for 1040 Fairlane Road has been reviewed with the following comments:

- 1.) For 5 foot of side wall credit, raise invert up to 3 feet, and change trench data plus trench detail to reflect.
- 2.) Change trench layout for 1<sup>st</sup> and 2<sup>nd</sup> replacement to reflect proper lengths on plan

**Oswald, Hank**

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**From:** Oswald, Hank  
**Sent:** Tuesday, March 13, 2018 11:51 AM  
**To:** 'Tony Fertitta'  
**Subject:** OSDS Plan\_1040 Fairlane Road  
**Attachments:** OSDS Memo\_\_2018.pdf

Hi Tony:

Please see attached memo for OSDS Plan - 1040 Fairlane Road.

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)

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# Transmittal

Via:  Fax  Mail  Messenger  E-Mail  To Be Picked Up  
 Fax (original to follow via U.S. Mail)

To: <b>Bureau of Environmental Health</b> <b>8930 Stanford Blvd.</b> <b>Columbia, Maryland 21046-4544</b>	Attn: <b>Hank</b> Fax: Phone: <b>410-313-2640</b>
---	---

From: <b>Dave Harward</b>	CC:
---------------------------	-----

Re: <b>Fairlane Farms, Lot 22</b>	W.O.# <b>05106-3003</b>
Date: <b>March 8, 2018</b>	Pages: <b>0</b> Page(s) Including this cover

We are forwarding: <input checked="" type="checkbox"/> Prints <input type="checkbox"/> Copy of Letter <input type="checkbox"/> Specifications <input type="checkbox"/> Shop drawings <input type="checkbox"/> Other <input type="checkbox"/> Urgent <input type="checkbox"/> For your use <input type="checkbox"/> As requested <input checked="" type="checkbox"/> For Review & Comment
---

Remarks:

Re: Fairlane Farm, Lot 22, 1040 Fairlane Rd.

Here are 3 new copies of the OSDS for Lot 22. Please let me know if you have any questions.

If approved as is, please leave a copy up front for pickup.

Thank You !

Dave.

Fisher, Collins, & Carter, Inc. Ph. 410-461-2855

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To: <b>Bureau of Environmental Health</b> 8930 Stanford Blvd. Columbia, Maryland 21046-4544	Attn: <b>Hank</b> Fax: Phone: <b>410-313-2640</b>
---	---

From: <b>Tony Fertitta</b>	CC:
----------------------------	-----

Re: <b>Fairlane Farms, Lot 22</b>	W.D.# <b>05106-3003</b>
Date: <b>March 20, 2018</b>	Pages: <b>0</b> Page(s) Including this cover

We are forwarding: <input checked="" type="checkbox"/> Prints <input type="checkbox"/> Copy of Letter <input type="checkbox"/> Specifications <input type="checkbox"/> Shop drawings <input type="checkbox"/> Other <input type="checkbox"/> Urgent <input type="checkbox"/> For your use <input type="checkbox"/> As requested <input checked="" type="checkbox"/> For Review & Comment
---

Remarks:

Re: Fairlane Farm, Lot 22, 1040 Fairlane Rd.

Here are 3 new copies of the OSDS for Lot 22 with comments addressed, and ready for your approval. Please let me know if you have any questions.

Please leave a copy up front for pickup.

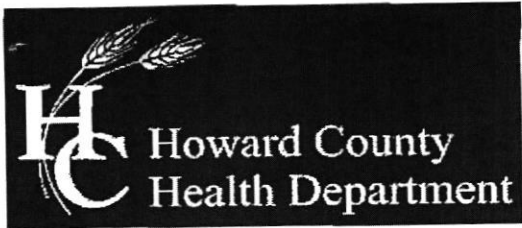
Thank You!

Tony.

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Maura J. Rossman, M.D., Health Officer

SEWAGE DISPOSAL SYSTEM SPECIFICATIONS WORKSHEET

Address: \_\_\_\_\_

Subdivision: Fairlane Farm Lot: 22

Initial system: Application rate: 1.2 Effective area beginning depth: 3 Bottom maximum depth: 8  
 1<sup>st</sup> Replacement: Application rate: 0.8 Effective area beginning depth: 5 Bottom maximum depth: 8  
 2<sup>nd</sup> Replacement: Application rate: 0.8 Effective area beginning depth: 5 Bottom maximum depth: 8

Design Flow = 150 gallons per day per bedroom

Design flow ÷ application rate = square footage of drainfield required

Linear length of trench required = drainfield square footage x sidewall reduction percentage ÷ trench width

Sidewall reduction credit formula:

$$\frac{W + 2}{W + 1 + 2D} \times 100 = \text{Percent of length of standard trench where } W = \text{trench width and } D = \text{depth between effective area beginning depth and trench bottom.}$$

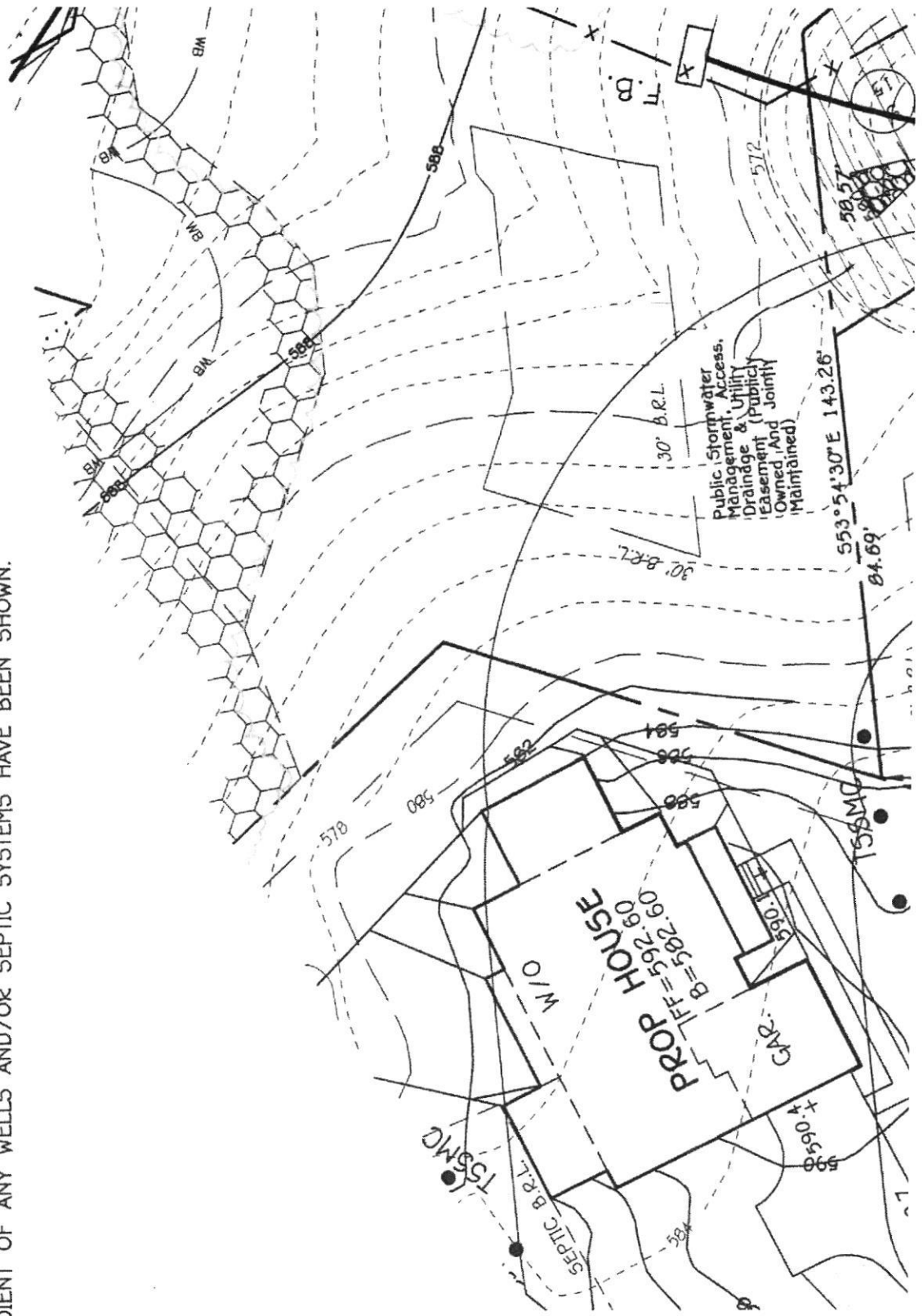
Standard design requirements:

- All trenches must be equal length unless low pressure dosed
- All trenches must be on contour
- Minimum trench spacing: 10' for all trenches utilizing sidewall reduction credit. Additional spacing may be necessary for any trench using over 3.5' of effective sidewall. In those cases, the spacing formula is 2D + W up to a maximum spacing of 18'.
- Minimum trench spacing for trenches with no sidewall credit (bottom area only) is 6' for a 2' wide trench and 9' for a 3' wide trench (spacing is measured edge to edge)
- Maximum trench length is 100'
- Maximum pipe depth is 4'

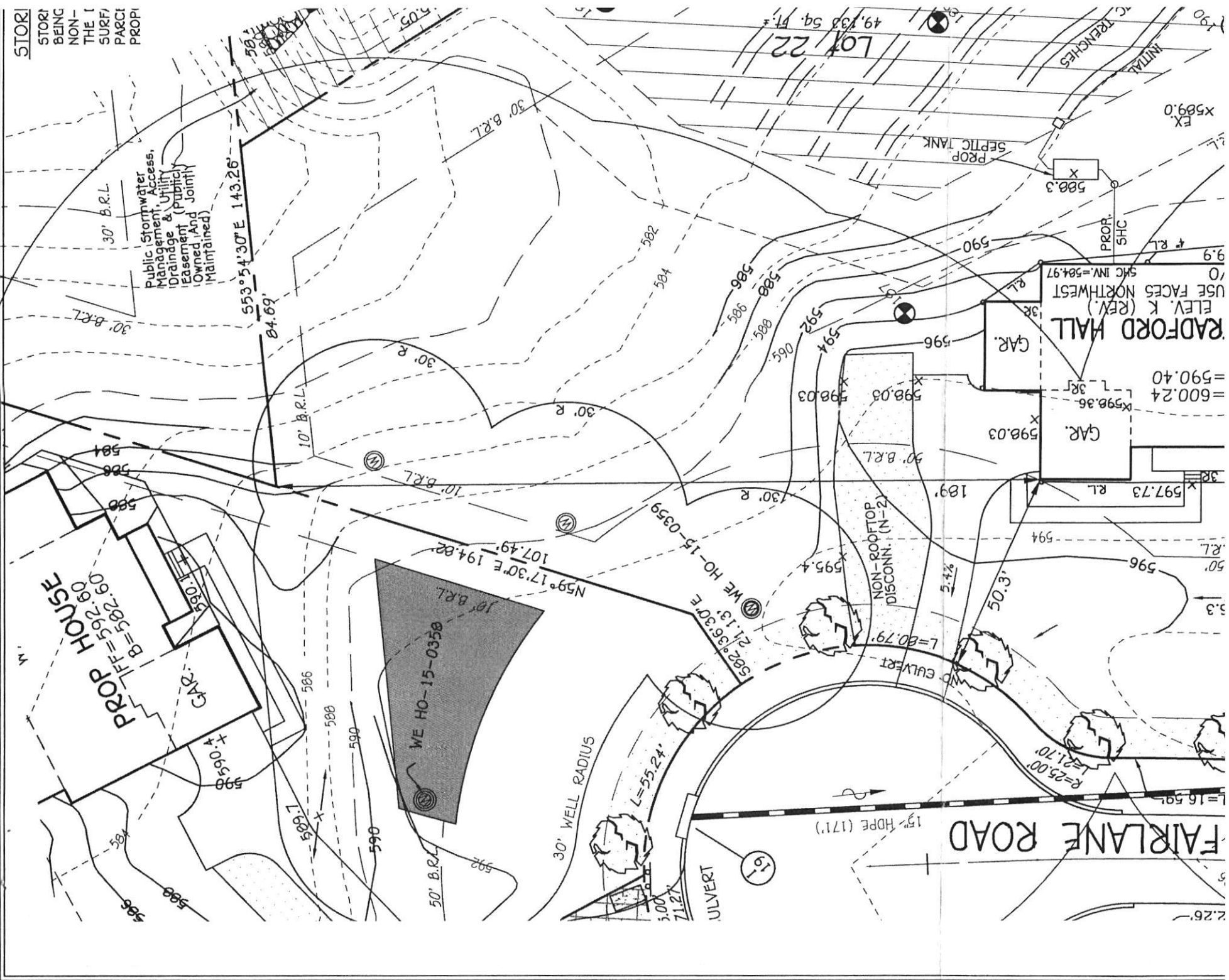
Additional requirements:

Approved: Hank Oswald Date: 12/14/17

1. ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
2. THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
3. ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
4. THE WELL HO-15-0359 HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
5. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.



STOR  
BEING  
NON-  
THE I  
SURF/  
PARCE  
PROPI



FAIRLANE ROAD

RADFORD HALL  
ELEV. K (REV.)  
USE FACES NORTHWEST

PROP HOUSE

Public Stormwater  
Management, Access,  
Drainage & Utility  
Easement (Publicly  
Owned And Jointly  
Maintained)

15" HDPE (171)

CULVERT

SEPTIC TANK

PROPR. SHC

WE HO-15-0350

WE HO-15-0359

N59°17'30"E 194.82'

553°54'30"E 143.26'

LOT 22

M

19

EX. x589.0

=600.24  
=590.40

50' R.L.

5.3

L=16.59'

L=2.26'

R=25.00'

50' R.L.

SHC INV.=584.97

588.3

589.0

INITIAL

C. TRENCHES

49.33 54. 01.

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# GENERAL NOTES:

- 1) THIS LOCATION DRAWING IS PREPARED FOR THE BENEFIT OF THE CLIENT SIGNING THE HOUSE LOCATION SURVEY API. IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATION OR REFINANCING OF THE PROPERTY SHOWN HEREON. UNLESS INDICATED AS BEING A BOUNDARY SURVEY, THIS LOCATION DRAWING IS INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES AND IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. AS A RESULT, THIS LOCATION DRAWING PROVIDES AN ACCURATE IDENTIFICATION OF PROPERTY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF FINANCING FOR RE-FINANCING.
- 2) SUBJECT PROPERTY IS SHOWN IN ZONE X ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR BALTIMORE COUNTY, MARYLAND, COMMUNITY PANEL No. 24027C00350 EFFECTIVE 11-06-2013.
- 3) THE OFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THE PLAT HEREON ARE TO AN ACCURACY OF  $\pm 0.01$ .
- 4) NO TITLE REPORT FURNISHED. SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD.
- 5) THE EXISTING WELL(S) SHOWN ON THIS PLAN (IDENTIFIED WITH THE ATTACHED WELL TAG NUMBER HO-15-0359 BY FISHER, COLLINS AND CARTER, INC. PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.
- 6) PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 10/04/2018.
- 7) BUILDING PERMIT #B-18000834

## Legend

-  10' Public Tree Maintenance Easement
-  Public Stormwater Management, Access, Drainage & Utility Easement

