

PERMIT NUMBER: B

22000228

DATE ACCEPTED:

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 3297 ROSEMARY LANE Unit:
City: WEST FRIENDSHIP State: MD Zip Code: 21794
Subdivision/Village/Complex Name: WILDFLOWER WOODS SDP/WP/BA #:
Lot: 3 Tax Map: 22 Parcel: Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: SFH Proposed Use: SUN ROOMY DECK Estimated Cost: \$ 75,000
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVAC) Electrical Plumbing None
Relocating existing hvac unit to new deck (CONDITIONED)
\* DECK 24 X 24 AND CONVERT 14' X 24' DECK TO SUN ROOM

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): JOHN H. HOWARD Primary Residence: Yes No
Owner's Street Address: 3297 ROSEMARY LANE
City: WEST FRIENDSHIP State: MARYLAND Zip Code: 21794
Phone: Email:

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: GREEN LEAF BUSINESS Contact Name: STEPHEN FORNEY
Street Address: 2368 BRANTLEY COURT
City: GLENWOOD State: MARYLAND Zip Code: 21738
Phone: 410-977-1328 Email: hrbuilder@comcast.net

CONTRACTOR INFORMATION REQUIRED

Business Name: GREEN LEAF BUSINESS, LLC
Licensee's Name: STEPHEN FORNEY License #:
Street Address: 2368 BRANTLEY COURT
City: GLENWOOD State: MARYLAND Zip Code: 21738
Phone: 410-977-1328 Email: hrbuilder@comcast.net

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Name:
Street Address:
City: State: Zip Code:
Phone: Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF\*) Condo: Yes No
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:
# of Bedrooms (SF): # of efficiency units (MF\*): # of 1 BR (MF\*): # of 2 BR (MF\*): # of 3 BR (MF\*):
# Rooms: # Full Baths: # Half Baths: # Fireplaces:
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 24 1st Fl Depth: 14 2nd Fl Width: 24 2nd Fl Depth: 14 Bsmt Width: 22 Bsmt Depth: 40
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 576 sq ft Occupiable Area: 336 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

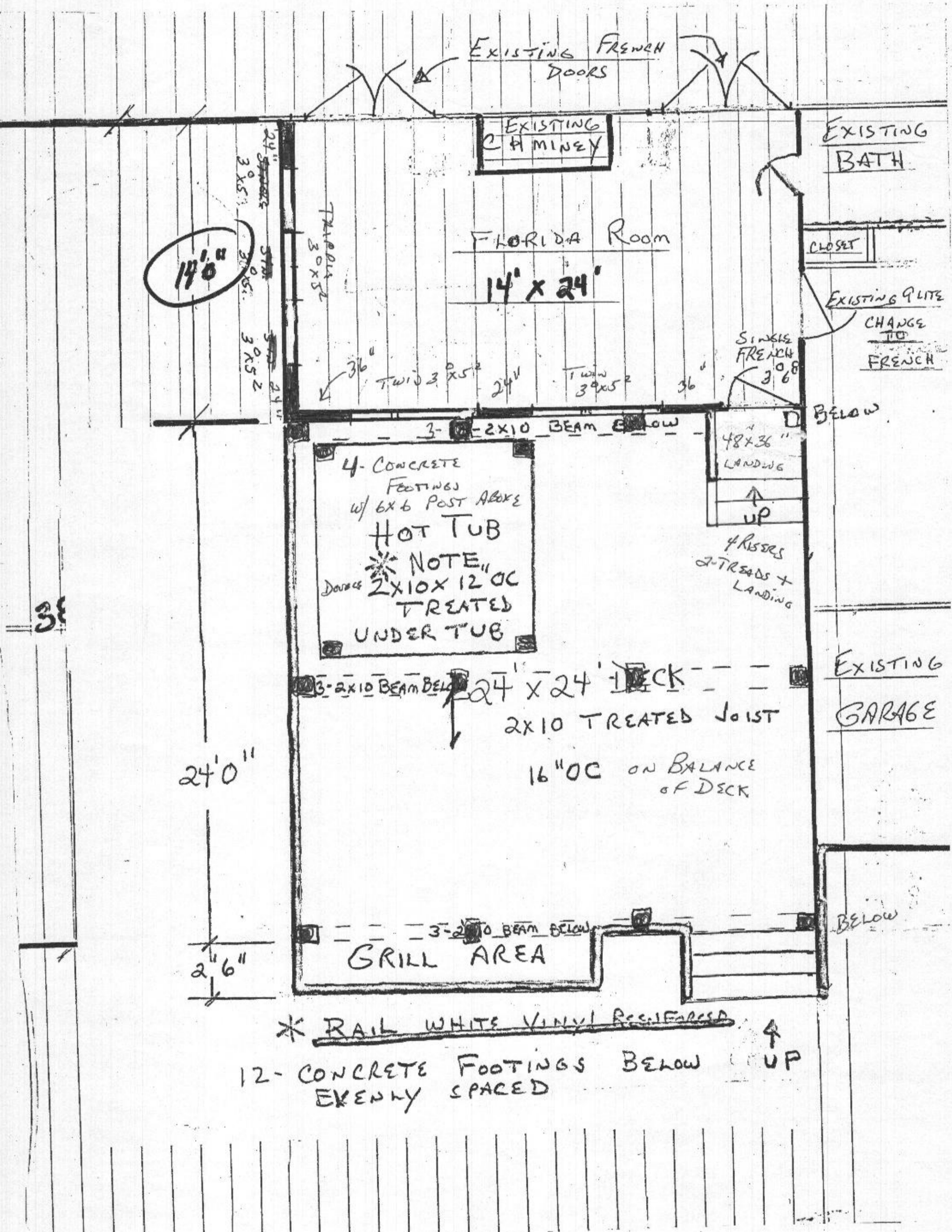
Signature: Stephen Forney DATE SIGNED: 1-18-2022
APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:
PR DPZ DED Health 9/6 1/3/22 SHA CID
SUBMITTAL FEES: \$25.00 PAYMENT: ACCEPTED BY:





14'6"

38

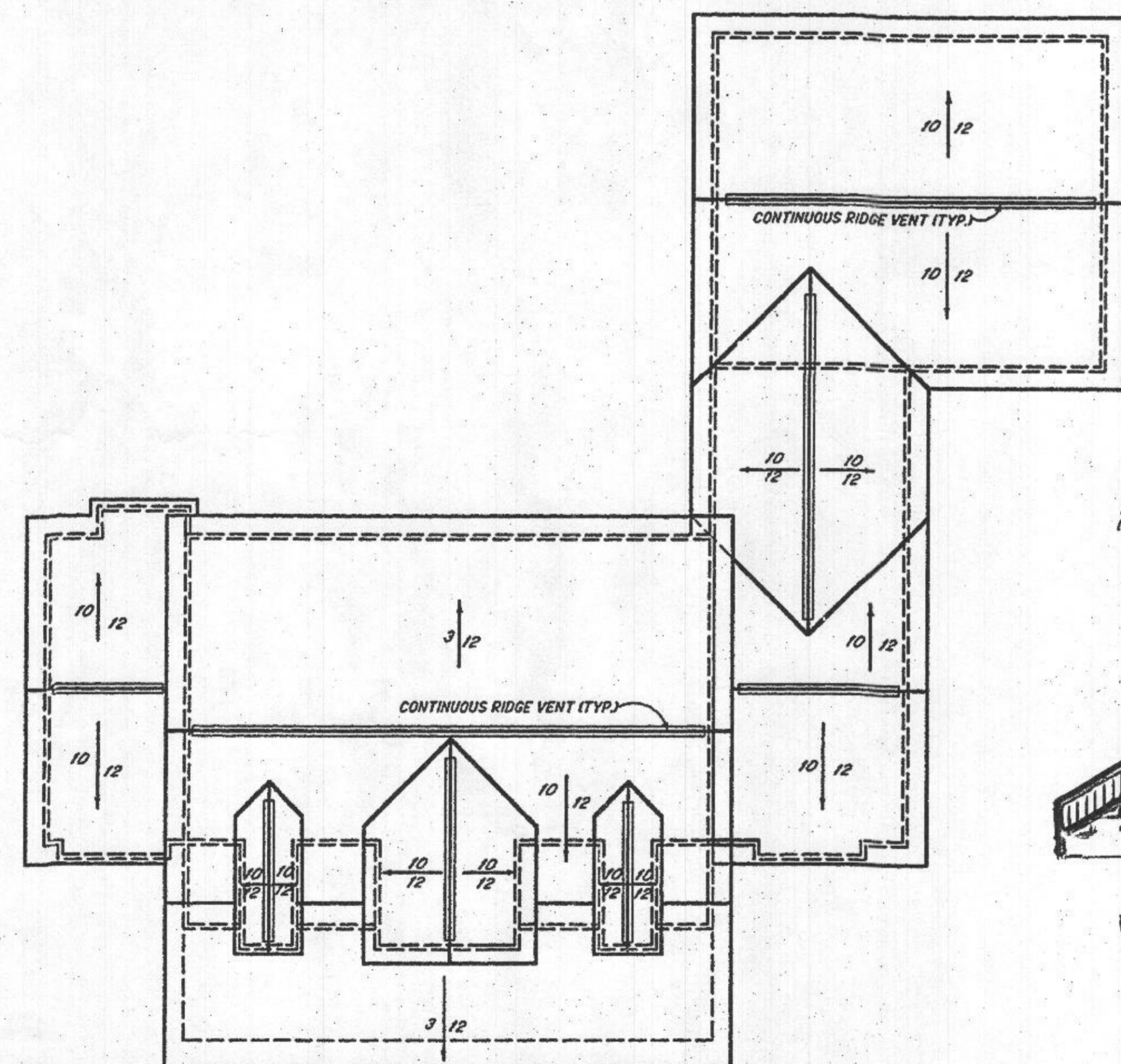
24'0"

2'6"

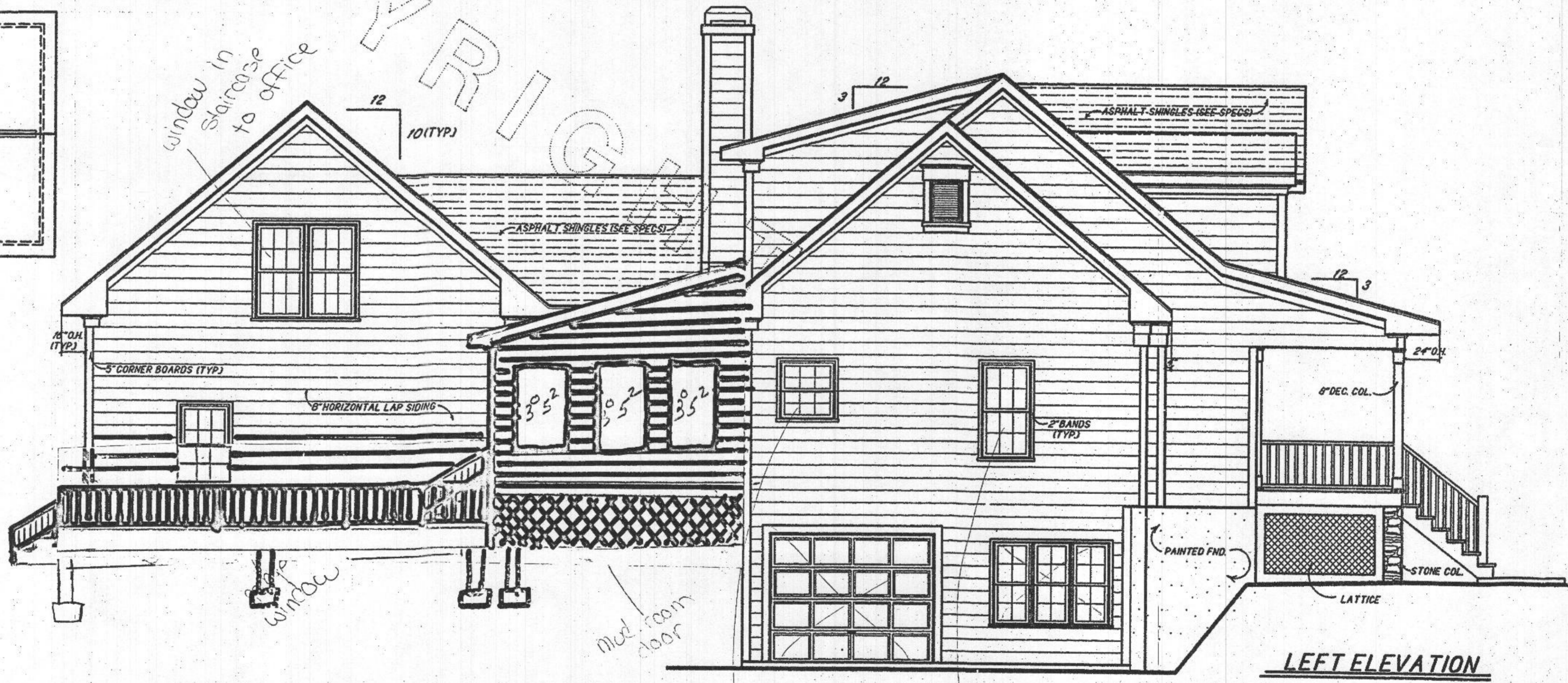
\* RAIL WHITE VINYL REINFORCED  
12- CONCRETE FOOTINGS BELOW  
EVENLY SPACED



**FRONT ELEVATION PLAN NO. 2636-389**  
SCALE: 1/4" = 1'-0"



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**

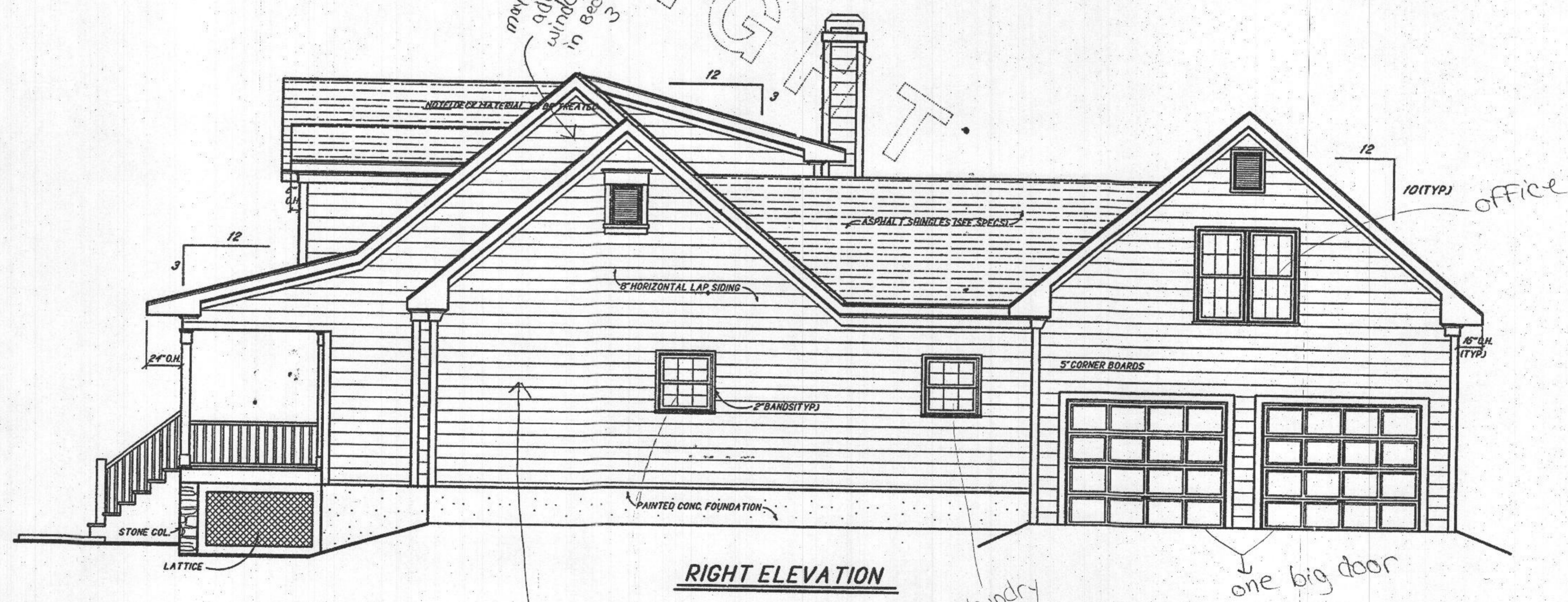
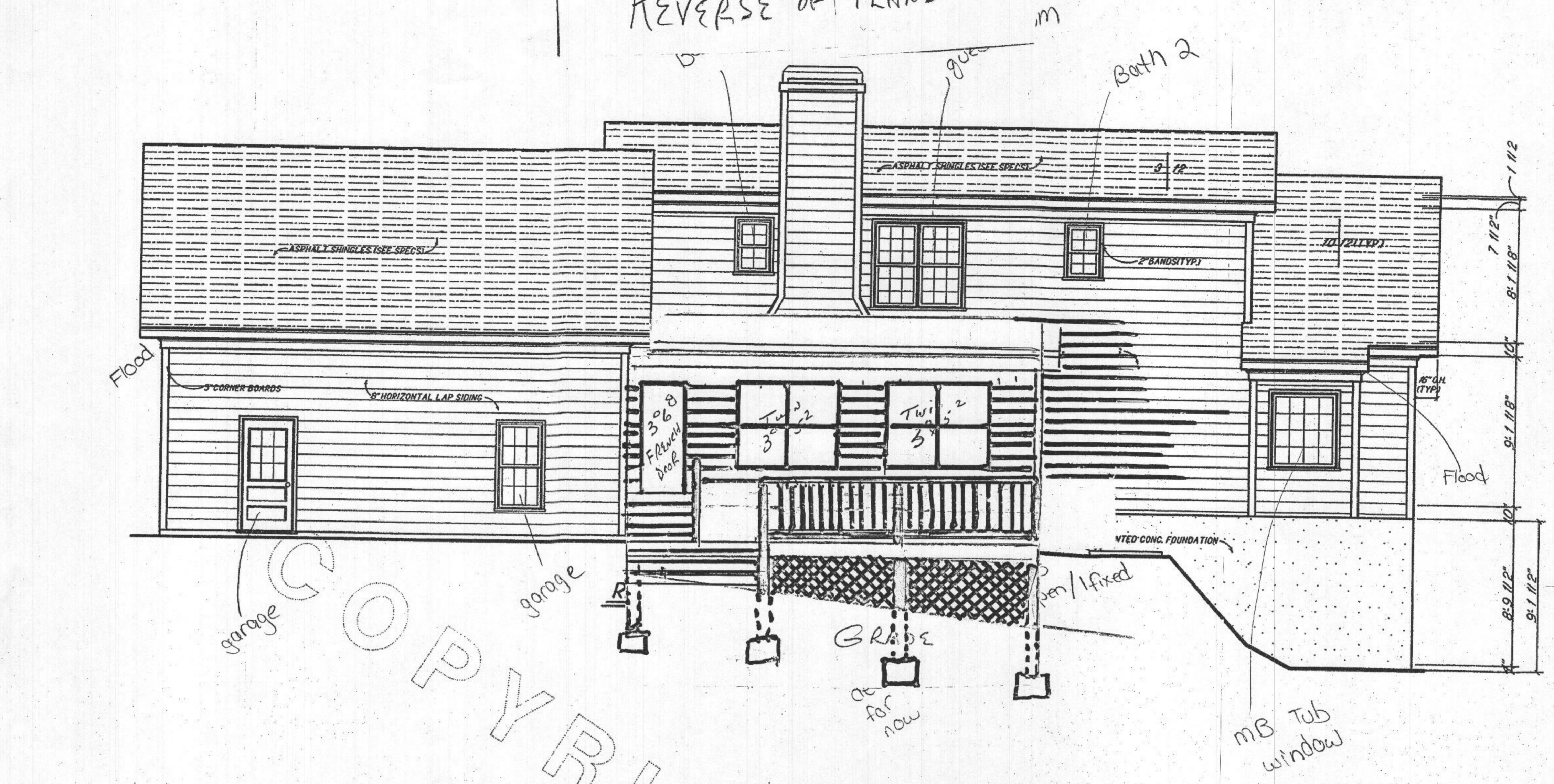
**HOME DESIGN ALTERNATIVES**  
DESIGN NO. **0600**  
THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ACCOMPANYING GENERAL BUILDING SPECIFICATIONS PREPARED BY HOME DESIGN ALTERNATIVES, INC.

ENERGY CODE COMPLIANCE CHART		SQ. FT. CHART	
The percentages shown comply with the G.A. Energy Code using 2500-3000 degree days, type 3 walls & type D windows.		FIRST FLR.	1798
Main House w/o Bsm. Total Sq. Ft. of Opening		SECOND FLR.	838
Sq. Ft. of Perimeter Wall		TOTAL HEATED	2636
Main House w/ Bsm. Total Sq. Ft. of Opening		BONUS	389
Sq. Ft. of Perimeter Wall		GARAGE	634
To convert to your area verify wall and window types needed for the opening percentage shown using the degree days for your city & state. You may omit windows to comply if you do not want to upgrade wall & window types used.		FUTURE FIN. BSMT.	665

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RESIDENTIAL BUILDING DESIGNERS  
**Jannis Vann & Associates, Inc.**  
6952 MAIN STREET SUITE 100 WOODSTOCK, GA 30188 770-928-0456

REVERSE OF PLANS



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maybe add window in Bedroom 3  
 maybe add window breath area sink

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PLAN NO. 0600-017  
 DATE 11.2.95  
 SHEET 2 OF 2

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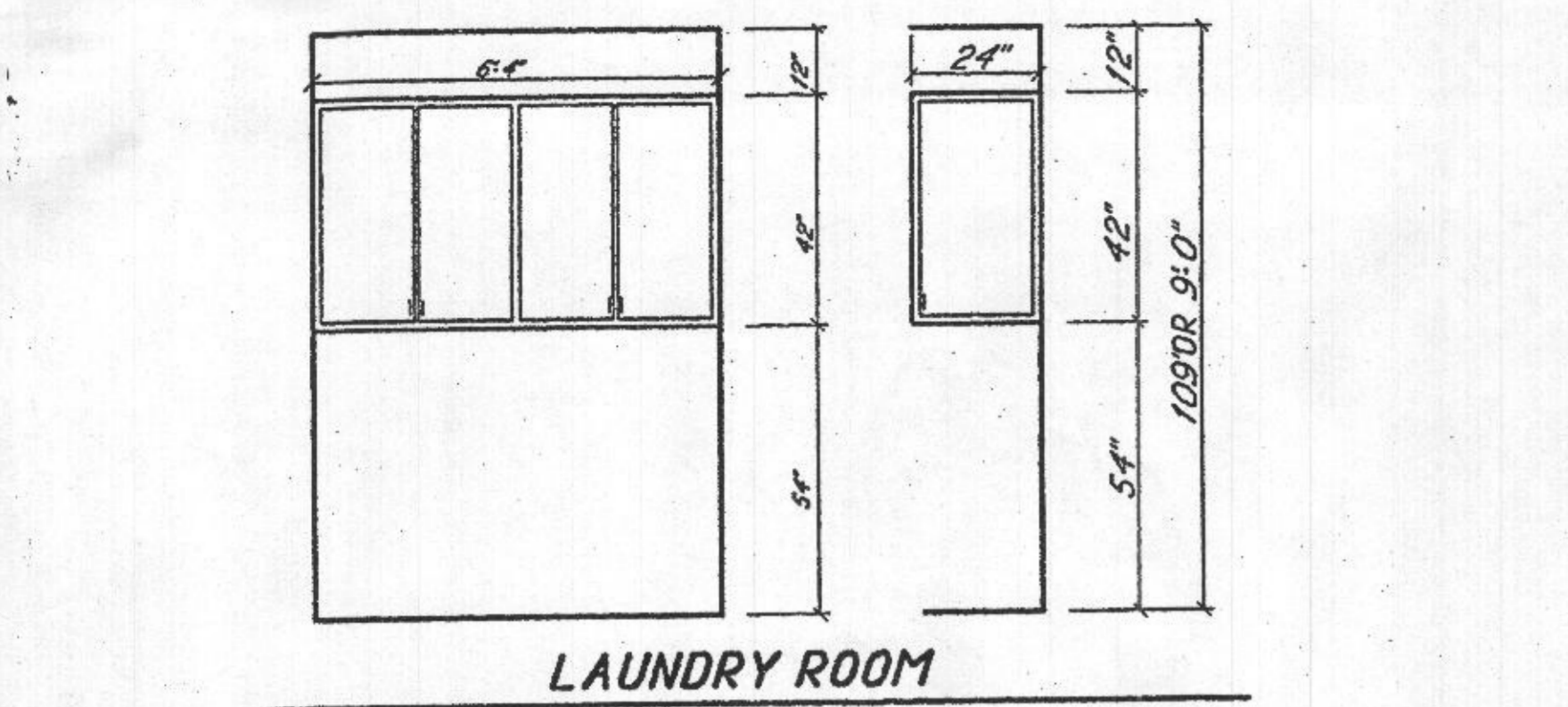
JANNIS VANN & ASSOCIATES, INC.  
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 WOODSTOCK, GA 30186 770-928-0456

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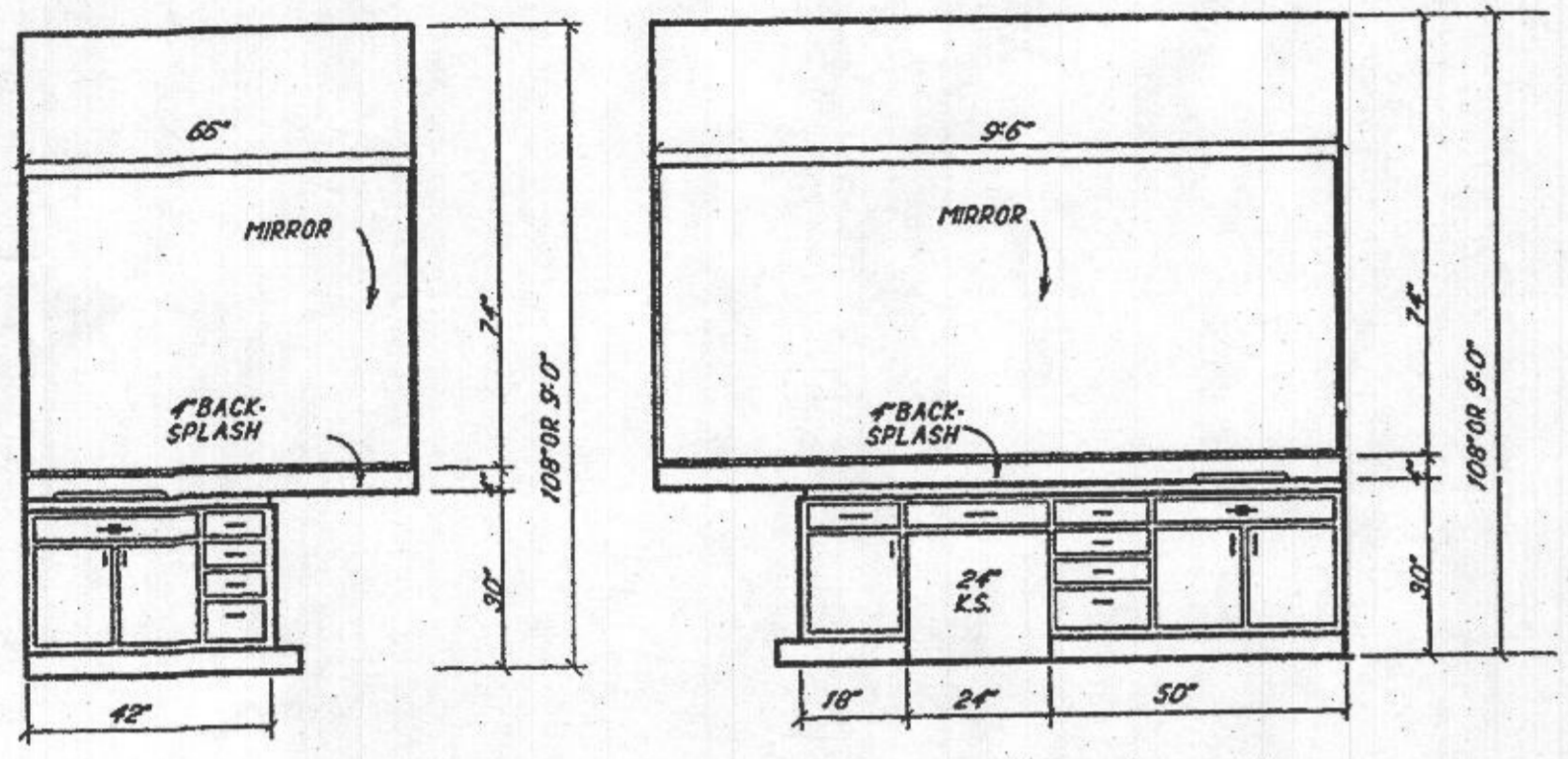
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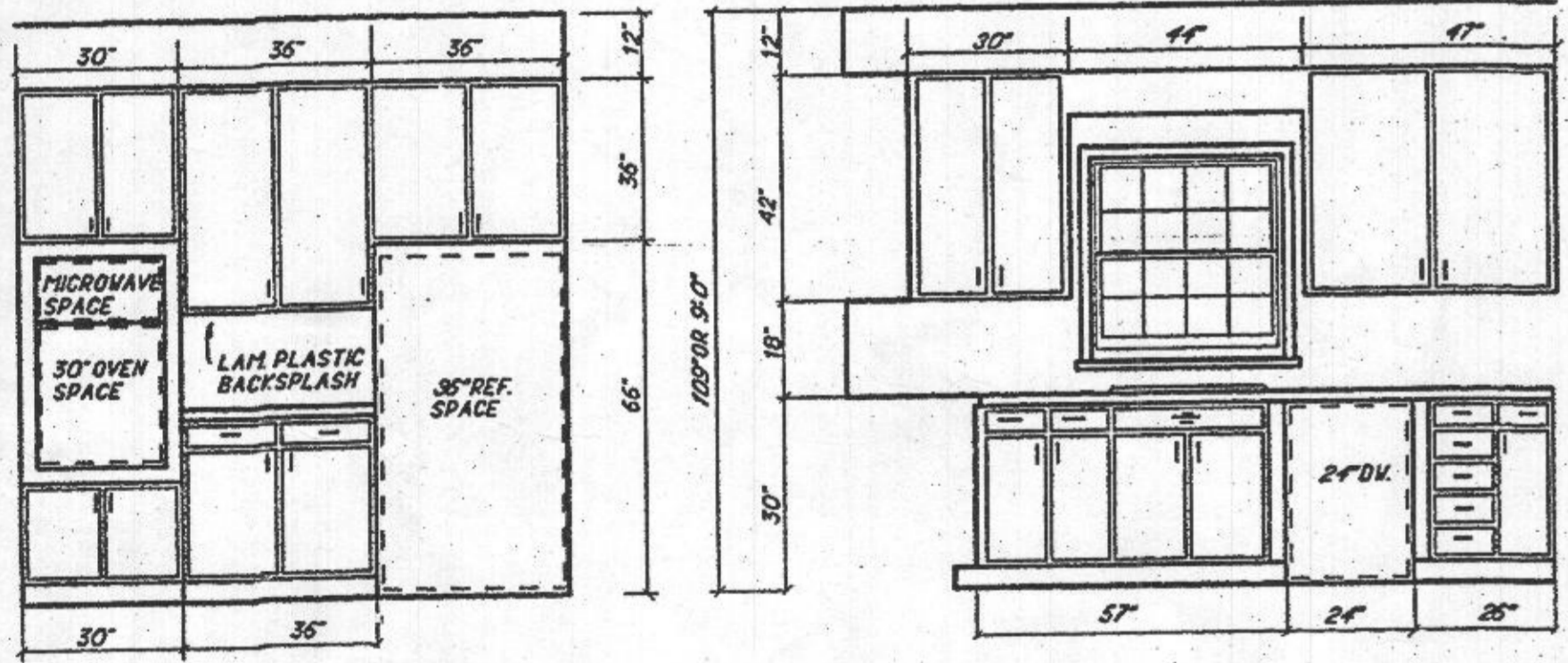
\* REVERSE OF PLANS



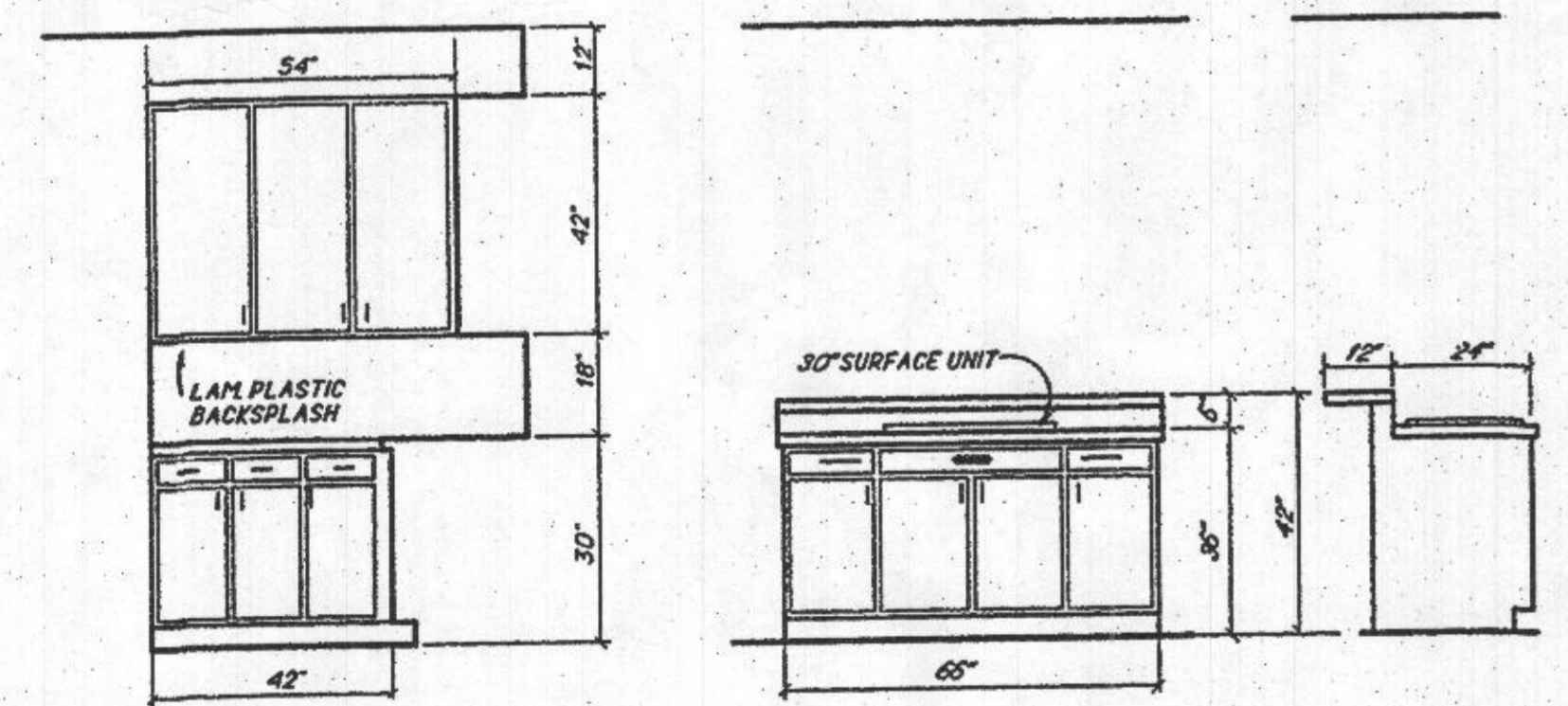
LAUNDRY ROOM



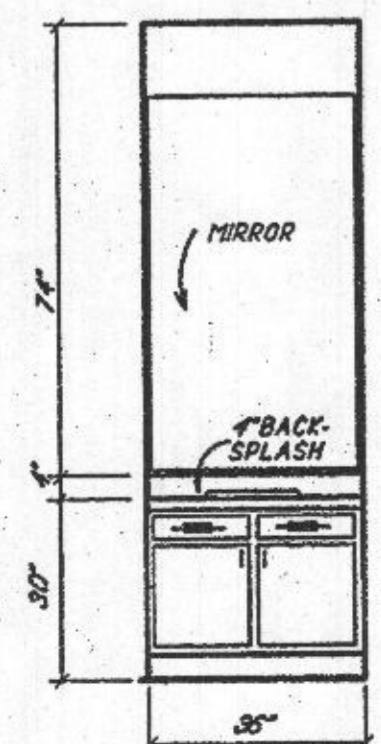
MASTER BATHROOM



KITCHEN



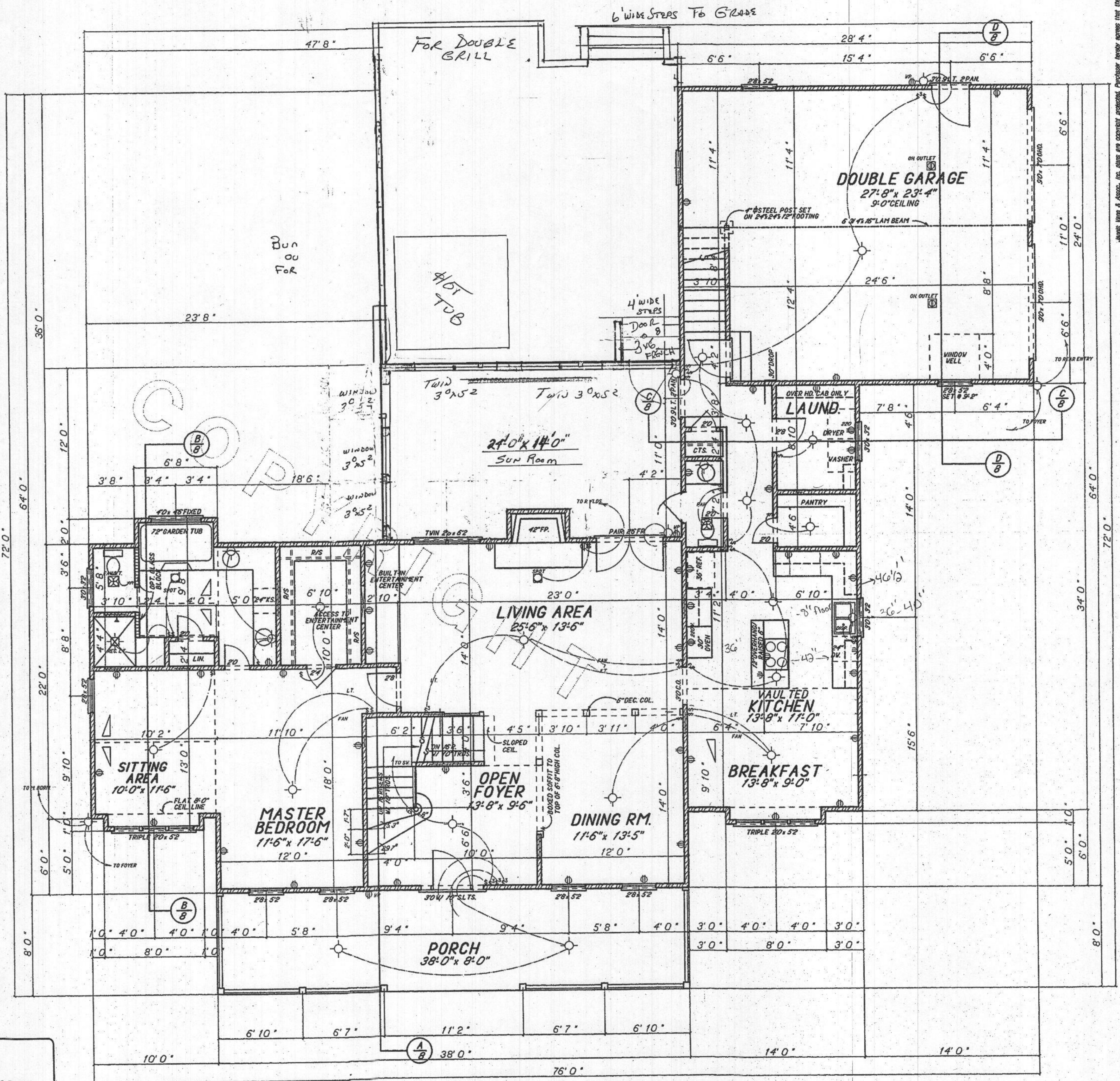
KITCHEN



LAV

CABINET DETAILS  
SCALE: 3/8" = 1'-0"

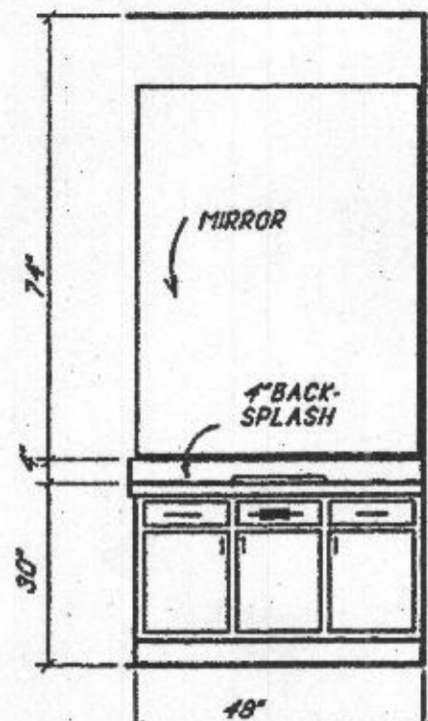
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 DESIGN NO. **0600**  
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FIRST FLOOR PLAN NO. 2636-389  
SCALE: 1/4" = 1'-0"

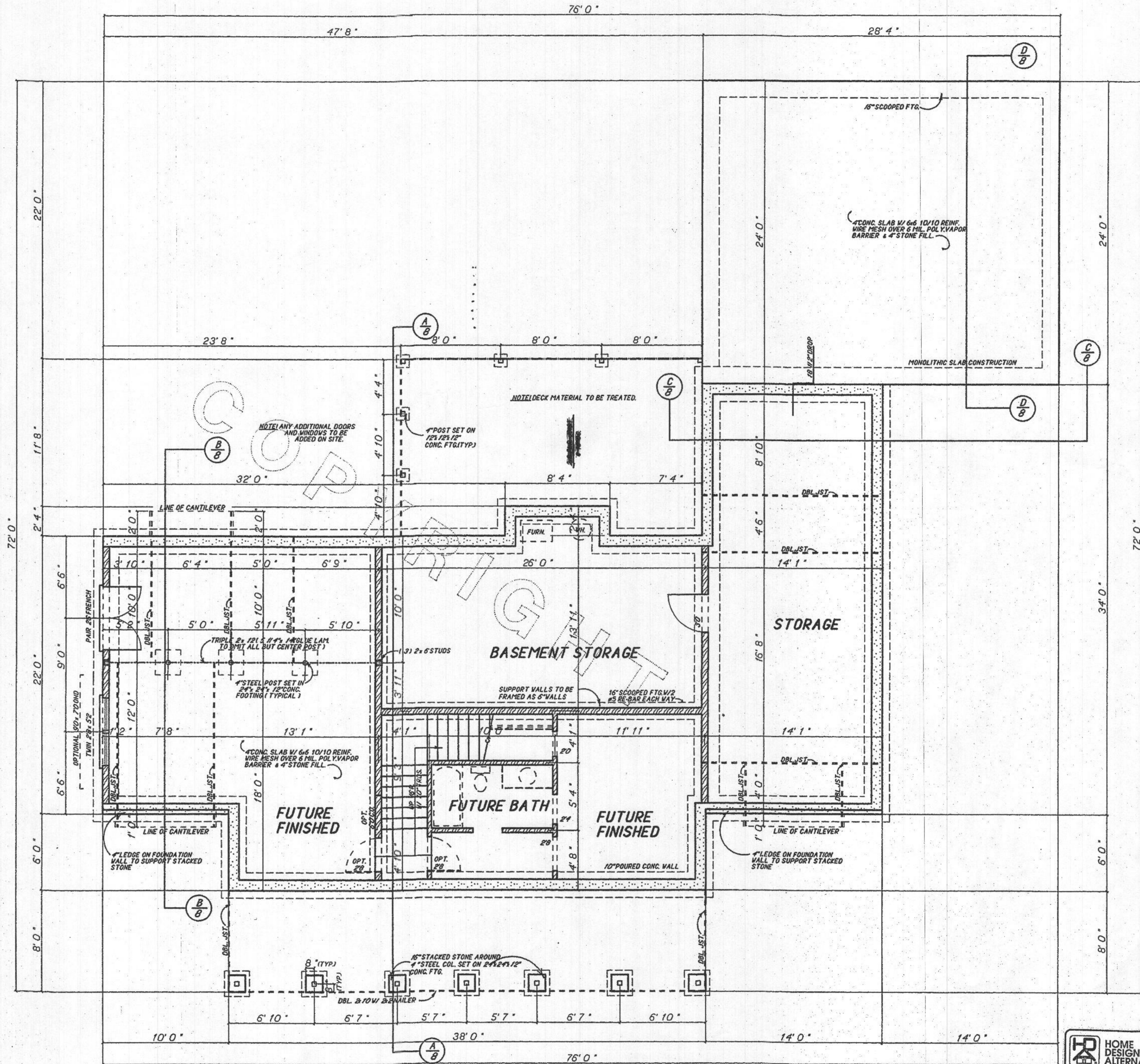
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PLAN NO. 0600  
 DESIGNER: JAMES VAIN & ASSOCIATES, INC.  
 DATE: 11/23/95  
 SHEET 1 OF 2



**FUTURE BATH**

**CABINET DETAILS**  
SCALE: 3/8" = 1'-0"



**FOUNDATION PLAN NO. 2636-389**  
SCALE: 1/4" = 1'-0"

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PLAN NO. 2636-389  
DESIGNER: JANNIS VANN  
DATE: 12/3/95  
REVISED: 12/3/95  
SHEET 3 OF 3