

PERMIT NUMBER: B 2000 2844

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED
Street Address: 1040 Henryton Road
City: Marriottsville
State: MD
Zip Code: 21104
Subdivision/Village/Complex Name:
SDP/WP/BA #:
Lot:
Tax Map:
Parcel:
Grading Permit #:

DESCRIPTION OF WORK REQUIRED
Existing Use: 12'x20' covered deck
Proposed Use:
Estimated Cost: \$
Trade Work to Be Completed (Separate Permits Required):
Mechanical (HVACR)
Electrical
Plumbing
None

PROPERTY OWNER INFORMATION REQUIRED
Owner(s) Name(s) (As it appears on tax records): Jeffrey David & Sarah Beth Hensley
Primary Residence: Yes No
Owner's Street Address: 1040 Henryton Road
City: Marriottsville
State: MD
Zip Code: 21104
Phone: (443) 266-8987
Email: hensleyfej@yahoo.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION
Business Name: n/a
Contact Name: Jeff Hensley
Street Address: 1040 Henryton Road
City: Marriottsville
State: MD
Zip Code: 21104
Phone: (443) 266-8987
Email: Hensleyfej@yahoo.com

CONTRACTOR INFORMATION REQUIRED
Business Name: Homeowner
Licensee's Name:
License #:
Street Address:
City:
State:
Zip Code:
Phone:
Email:

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE
Business Name: Mark Mobley Architecture
Name: Mark Mobley
Street Address: 5115 Roland Avenue
City: Baltimore
State: MD
Zip Code: 21210
Phone: (410) 385-8570
Email: mark@mmarchitecture.com

BUILDING CHARACTERISTICS REQUIRED
Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

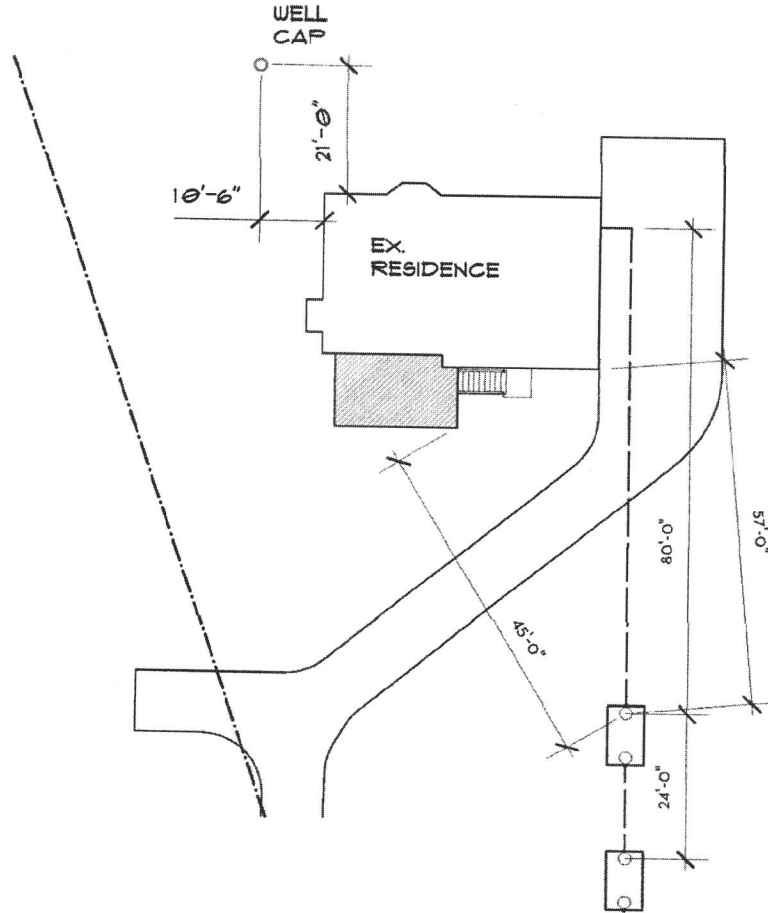
ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)
Model Name & Options:
of Bedrooms (SF): # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
Rooms: # Full Baths: # Half Baths: # Fireplaces:
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 1st Fl Depth: 2nd Fl Width: 2nd Fl Depth: Bsmt Width: Bsmt Depth:
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: sq ft Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.
APPLICANT'S ORIGINAL SIGNATURE: [Signature] DATE SIGNED: 8/21/20

FOR OFFICE USE ONLY
CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY
AGENCIES REQUIRED/APPROVALS:
PR DPZ DED Health SHA CID
9/17/2020 [Signature]
SUBMITTAL FEES: PAYMENT: ACCEPTED BY:

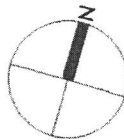
REVISÉ
Date: 9/16/20
Comments: B20-2844
WELL + SEPTIC SHOWN

Approved
P.M.
9/17/2020



1 SITE PLAN
SCALE: 1" = 30'-0"

HENRYTON..
ACCT # 285103
MAP 0010. PARCEL: 133. LOT: 03.
NEIGHBORHOOD: 3010102.14.
DEED REFERENCE: 18539/00033.
EXISTING BUILT AREA: 1194 SQ. FT.
LOT: 4.93 A. ZONING...RR-DEO.
YEAR BUILT: 1978.



**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 9/16/2020

To: ROBERT FREEMON, HEALTH DEPT
(Person's Name and Division)

From: UNKNOWN ()
(Your Name, Company Name and Telephone Number)

Subject: Project name HENSLEY RESIDENCE
Project site address 1040 HENRYTON RD
Permit # B20002844 SDP # _____
Other information pertinent to this project _____

***NO
TRANSMITTAL
SUBMITTED**

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of PLOT PLAN (be specific).
 Health Department Request DPZ/ DED Request Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- Other _____

*** WELL + SEPTIC
LOCATION SHOWN**

Contact Person Information: (Required)

Please Print Name

Telephone No:

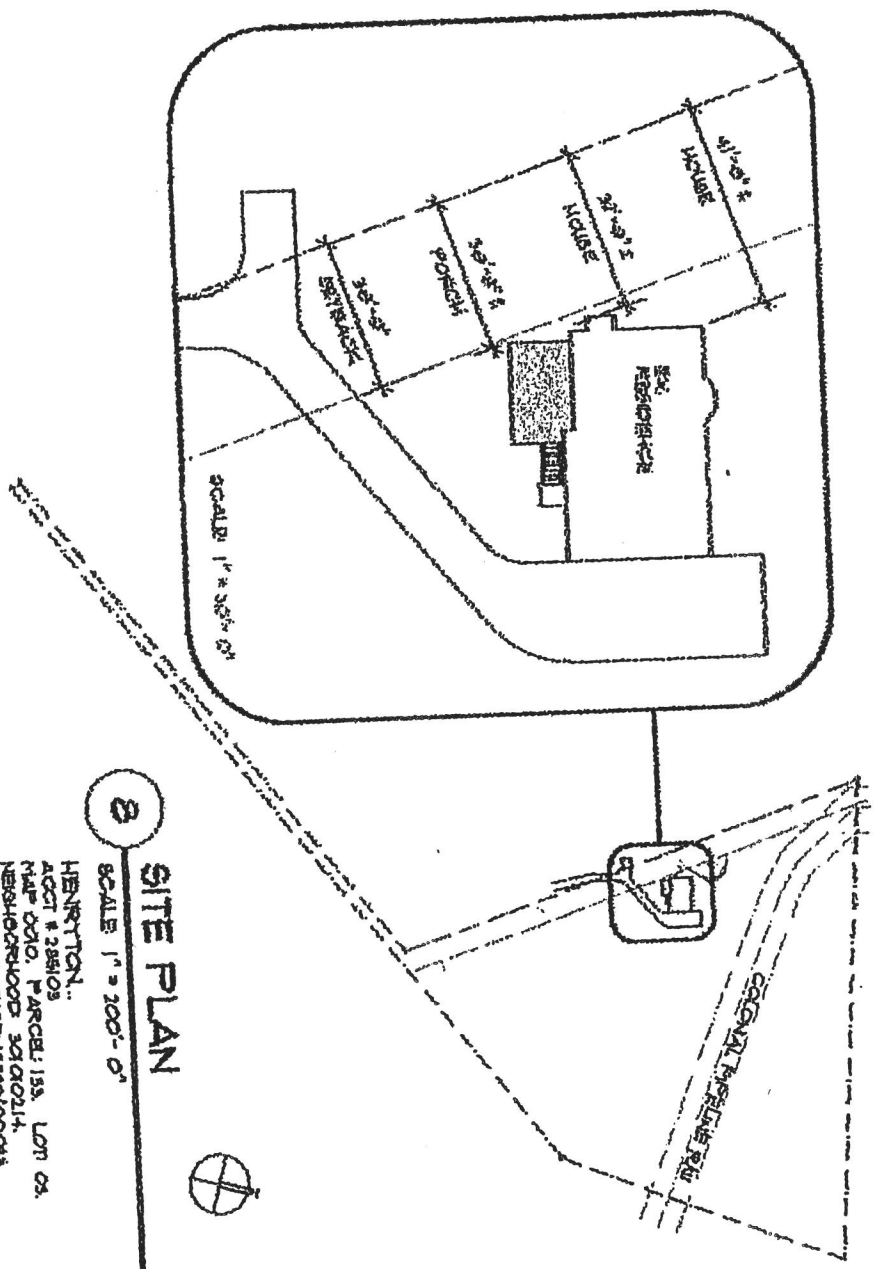
E-Mail Address:

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

RECEIVED

Received by DROPBOX

SEP 16 2020



3

SITE PLAN

SCALE 1" = 200'-0"

HENRYTON,
 ACCT # 288103
 MAP 0010, PARCEL 153, LOT 03,
 NEIGHBORHOOD 30100214,
 DEED REFERENCE 1888100003,
 EXISTING BUILT AREA 1184 SQ. FT.,
 LOT 493 A, ZONING, RR-CBO,
 YEAR BUILT 1978.

DESIGN ELEMENTS - PARAMETERS OF LOCAL CODE AND 2018 IRC.

| DECK LIVE LOAD DESIGN | DECK DEAD LOAD DESIGN | ROOF LIVE LOAD DESIGN | ROOF DEAD LOAD DESIGN |
|-----------------------|------------------------|-----------------------|-----------------------|
| 40 LBS. PSF. | 10 LBS. PSF. | 40 LBS. PSF. | 10 LBS. PSF. |
| UNIFORM SNOW LOAD | SOL. BEARING (ASSUMED) | FROST LINE DEPTH | TEMPERATURE |
| 36 LBS. | 3000 LBS./IN. | 60 INCHES | MODERATE HEAVY |
| ICE SHEET UNDERLAY | WIND DESIGN | WEATHERING | WIND SPEED |
| YES | CATEGORY A | SEVERE | 85 MPH |

* LATERAL BRACING FOR NEW CONSTRUCTION SHALL MEET THE REQUIREMENTS OF IRC 602 FOR RIGID DIAPHRAGMS. SEE PLAN FOR CONSTRUCTION AND ATTACHMENT REQUIREMENTS.
 * UNLESS REQUIRED TO BE DETERMINED BY A SOLE ENGINEER.

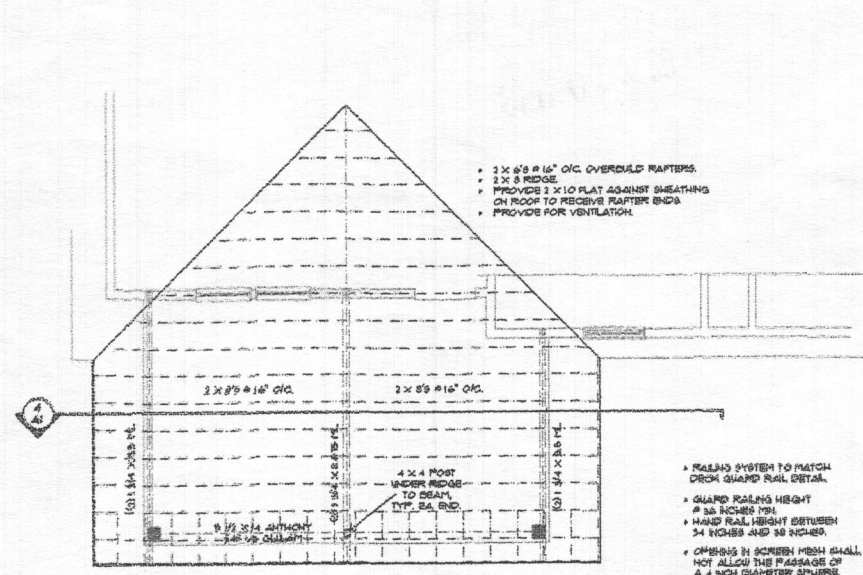
GENERAL SECTION NOTES...

- TYPICAL ROOFING NOTES**
- ROOFING SHALL BE A 30 YEAR COMPOSITE CLASS "A" GAF SHINGLES (OR EQUAL) AND A 1/2" INS. SHINGLE ROOFING UNDERLAYMENT. SHINGLES TO BE FASTENED WITH STICKY COATED NAILS, AND INSTALLED TO THE MANUFACTURER'S INSTRUCTIONS. CO-ORDINATE ALL REQUIREMENTS WITH IRC 905 REGARDING APPLICATION METHODS.
 - ICE SHEET UNDERLAYMENT: 1/2" INS. SHINGLE-OVER RIDGE VENT, NET VENT AREA OF 18 SQ. IN. PER 100 SQ. FT. USED FLUSH.
 - ICE BARRIERS: ROOFING UNDERLAYMENT ICE BARRIER SHALL BE INSTALLED UP SLOPE FROM EAVE EDGE AND SHALL EXTEND FROM THE EAVE LOUSET BEARS TO A POINT NOT LESS THAN 24 INCHES INSIDE THE EXTERIOR WALL LINE (PLUMB LINE UP TO SHEATHING) OF THE BUILDING (AT VALLEYS).
 - ADVANTAGE ROOF SHEATHING: 3/4" THICKNESS, FASTENERS USING #8 @ 6" O.C. @ RIDGE, 12" O.C. FIELD.
 - SIMPSON RAFTER HANGERS.
 - 2 X 8 RAFTERS @ 16" O.C. 2 X 4 OUTSPOORS @ 16" O.C. (EXP. OVER 8' OVERHANG, USE VISUALLY ACCEPTABLE WOOD W/ LIMITED DEFECTS).
 - DECKBOARD PANEL AT OVERHANG HOLD OUTSPOORS DOWN TO ACCOMMODATE PANEL THICKNESS.
 - PROVIDE RAFTER BOTTOM CLOSURE BLOCKING AS NECESSARY.
 - 2 ROUND OPEN SCREEN VENT @ 18" DIA. BLACK, IN RAFTER BOTTOM CLOSURE CENTER HORIZONTALLY IN RAFTER SPACE.
 - SIMPSON 2 MAX "M" CONNECTION TO EACH RAFTER TO WALL BEARING, EQUAL TO 1/2" FROM TOP. NAILING @ 12" X 12" RAFTER, 14" @ 16" PLATE, IN ACCORDANCE WITH IRC R SC103.
 - PREPARED ROOF CRIP EDGES, PAINTED FASCIA, SOFT, TRIM PIECES, GUTTER STYLE AND DOWNPOUTS TO MATCH EXISTING LEAF GUARDS ON ALL NEW GUTTERS. PROVIDE SPLASH BLOCKS AT ALL AT-GRADE DOWNPOUT OUTLETS.
 - NEW TRIM AND MOLDING PROFILES, ALL TO MATCH EXISTING MILLWORK PROFILES AS PRACTICAL.
 - ALL NAILING AND ATTACHMENT DEVICES SHALL BE INSTALLED TO MEET THE CURRENT FASTENING SCHEDULES FOR CODE COMPLIANCE IRC TABLE 602.3.
 - ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

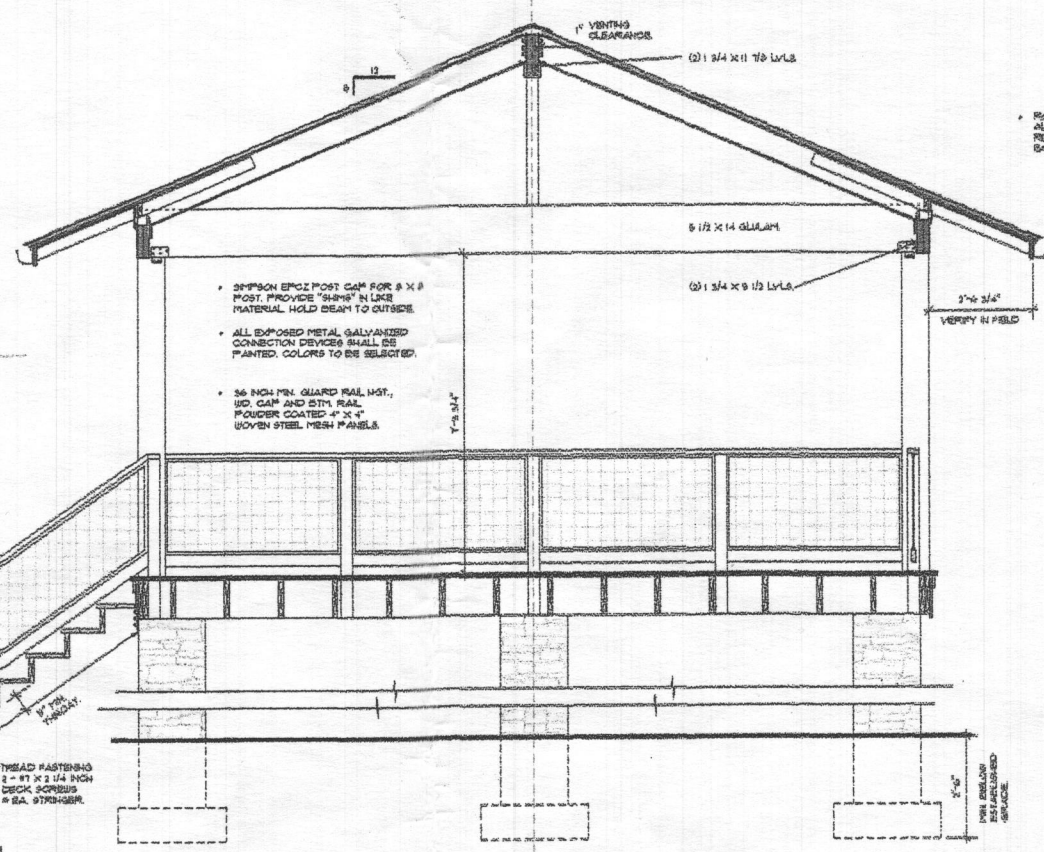
- POSTS**
- 3 X 8 CEDAR
 - SIMPSON POST BASE PROVIDE CEDAR SKIRT TO CONCRETE METAL BASE, REMOVE MOISTURE.
- TYPICAL WOOD FLOOR CONSTRUCTION**
- COMPOSITE DECKING AS SPECIFIED BY OWNER.
 - 1 X 4 @ 12" O.C. DECK FASCIA.
 - 3 X 8 PT WOOD JOISTS @ 16" O.C.
 - PROVIDE SOLID BLOCKING UNDER POSTS TO PER, SEE DETAIL.

- WARRANTY NOTES**
- INSTALL ALL REQUIRED FASTENERS PER INSTALLATION INSTRUCTIONS PROVIDED BY CONNECTOR MANUFACTURER, USING PROPER FASTENER TYPE AND QUANTITY. FILL ALL FASTENER HOLES, DO NOT OVERDRIVE OR UNDERDRIVE NAILS, INCLUDING WASH WREN GUN NAILERS, AND ENSURE SCREWS ARE COMPLETELY DRIVEN.
 - DO NOT USE PRODUCTS THAT ARE SPECIFICALLY DESIGNED TO BE DRIFT, AND FOR THOSE PRODUCTS THAT REQUIRE BENDING, DO NOT BEND MORE THAN ONCE.
 - CUT JOISTS TO THE CORRECT LENGTH, DO NOT "SHORT-CUT" THE GAP BETWEEN THE END OF THE JOIST AND THE HEADER MATERIAL SHOULD BE NO GREATER THAN 1/8".

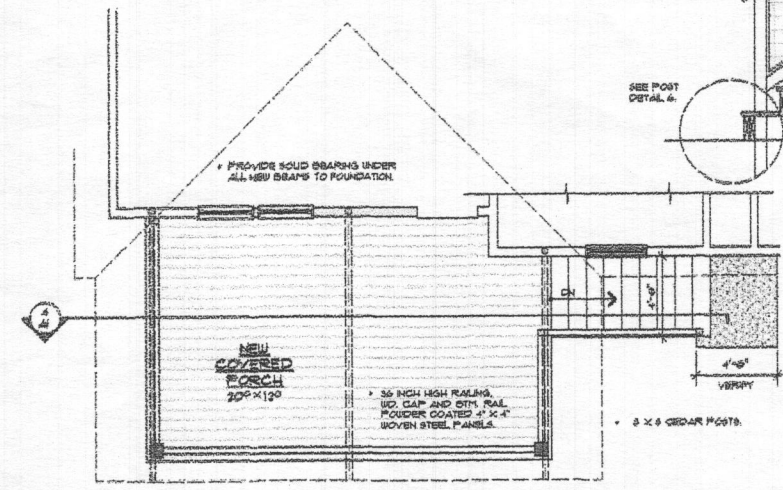
- SECTIONS**
- PROVIDED TO ILLUSTRATE CONDITIONS OF CONSTRUCTION AND DO NOT INDICATE SPECIFIC QUANTITIES OF MATERIALS NOR COMPLETE REPLICATION OF COMPONENTS REQUIRED FOR CONSTRUCTION.



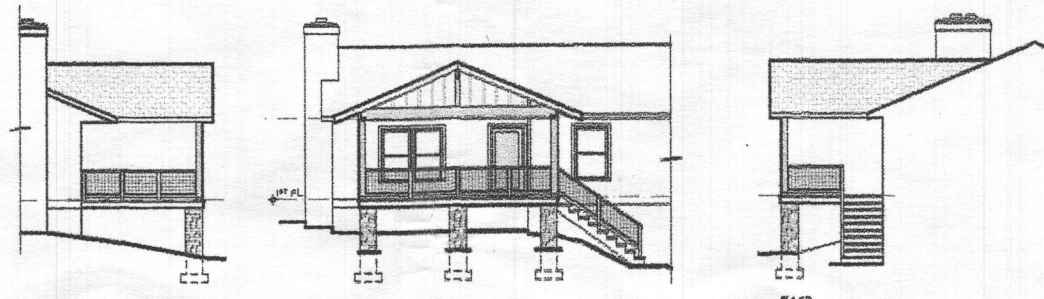
3 ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"



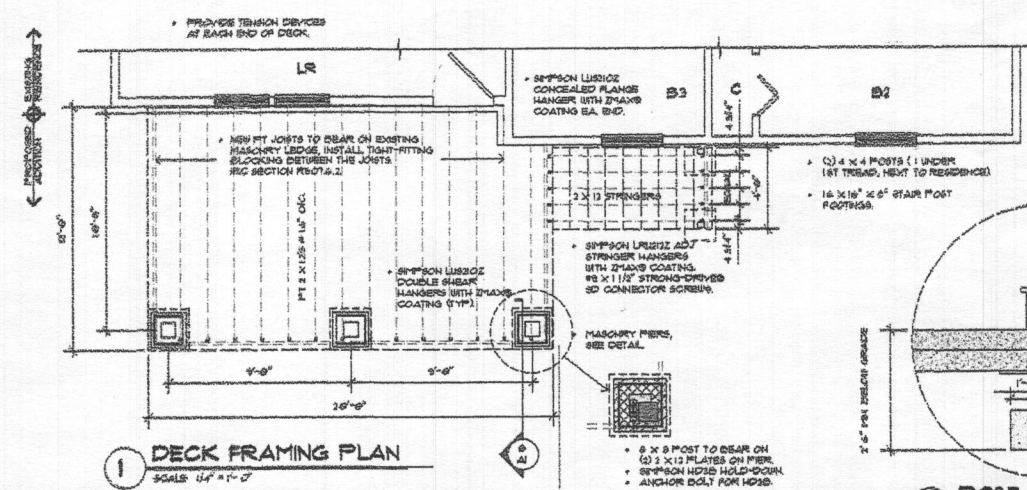
4 SECTION
SCALE 1/2" = 1'-0"



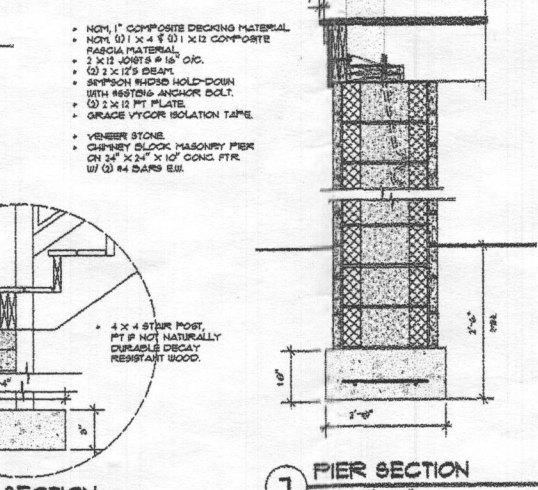
2 DECK FLOOR PLAN
SCALE 1/4" = 1'-0"



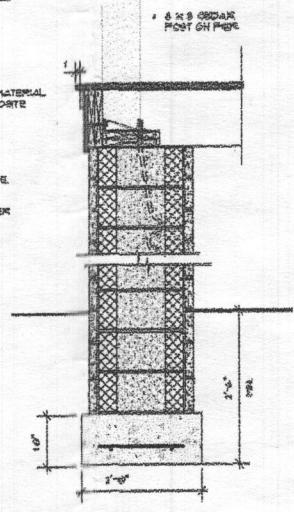
5 ELEVATIONS
SCALE 1/8" = 1'-0"



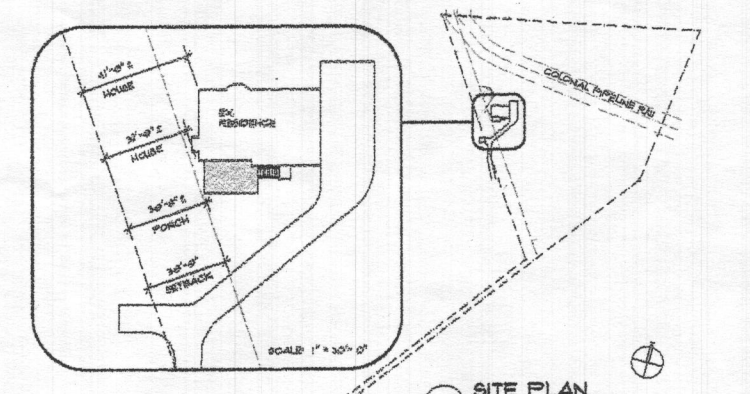
1 DECK FRAMING PLAN
SCALE 1/4" = 1'-0"



6 POST SECTION
SCALE 1/2" = 1'-0"



7 PIER SECTION
SCALE 1/2" = 1'-0"



8 SITE PLAN
SCALE 1" = 30'-0"

PROJECT
COVERED PORCH ADDITION TO THE
HENRYTON RESIDENCE
1040 HENRYTON ROAD
MARRIOTTSVILLE, MD 21104

ISSUE DATE:
16 JULY 2020

HENRYTON
ACCT # 285103
MAP O.C.O. PARCEL 133, LOT 05
NEIGHBORHOOD 3000014
DEED REFERENCE 188800005A
EXISTING BUILT AREA 1184 SQ. FT.
LOT 4.93 A, ZONING RR-CR-20
YEAR BUILT 1978