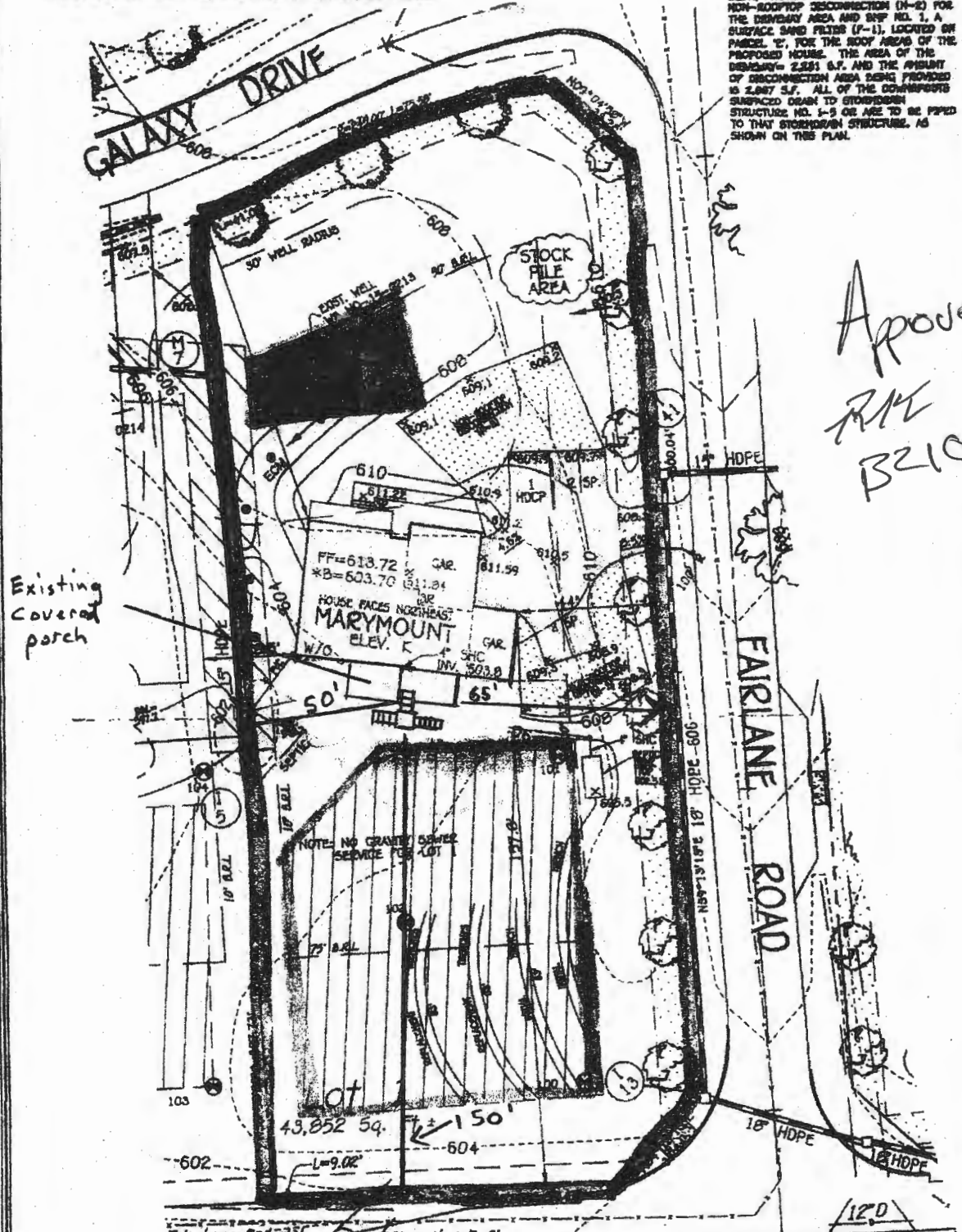


Red line Plan

NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, NO-15-0213, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

STORMWATER MANAGEMENT NOTES:
STORMWATER MANAGEMENT FOR LOT 1 IS BEING PROVIDED BY A COMBINATION OF NON-ROOFTOP DISCONNECTION (M-2) FOR THE DRIVEWAY AREA AND SFP NO. 1, A SURFACE SAND FILTER (F-1), LOCATED BY PARCEL 'E', FOR THE ROOF AREA OF THE PROPOSED HOUSE. THE AREA OF THE DRIVEWAY DISCONNECTION IS 2,881 S.F. AND THE AREA OF DISCONNECTION AREA BEING PROVIDED IS 2,087 S.F. ALL OF THE DOWNSTREAM SURFACED DRAIN TO STORMWATER STRUCTURE NO. 1-3 OR ARE TO BE PIPED TO THAT STORMWATER STRUCTURE AS SHOWN ON THIS PLAN.



Approved
RMC 9/29/2021
B21003461

Existing covered porch

NOTE: NO GRANITE SERVICE SERVICE FOR LOT

OWNER/DEVELOPER
BY THE
9780 FREDERICK ROAD
COLUMBIA, MD 21046
410-377-3990

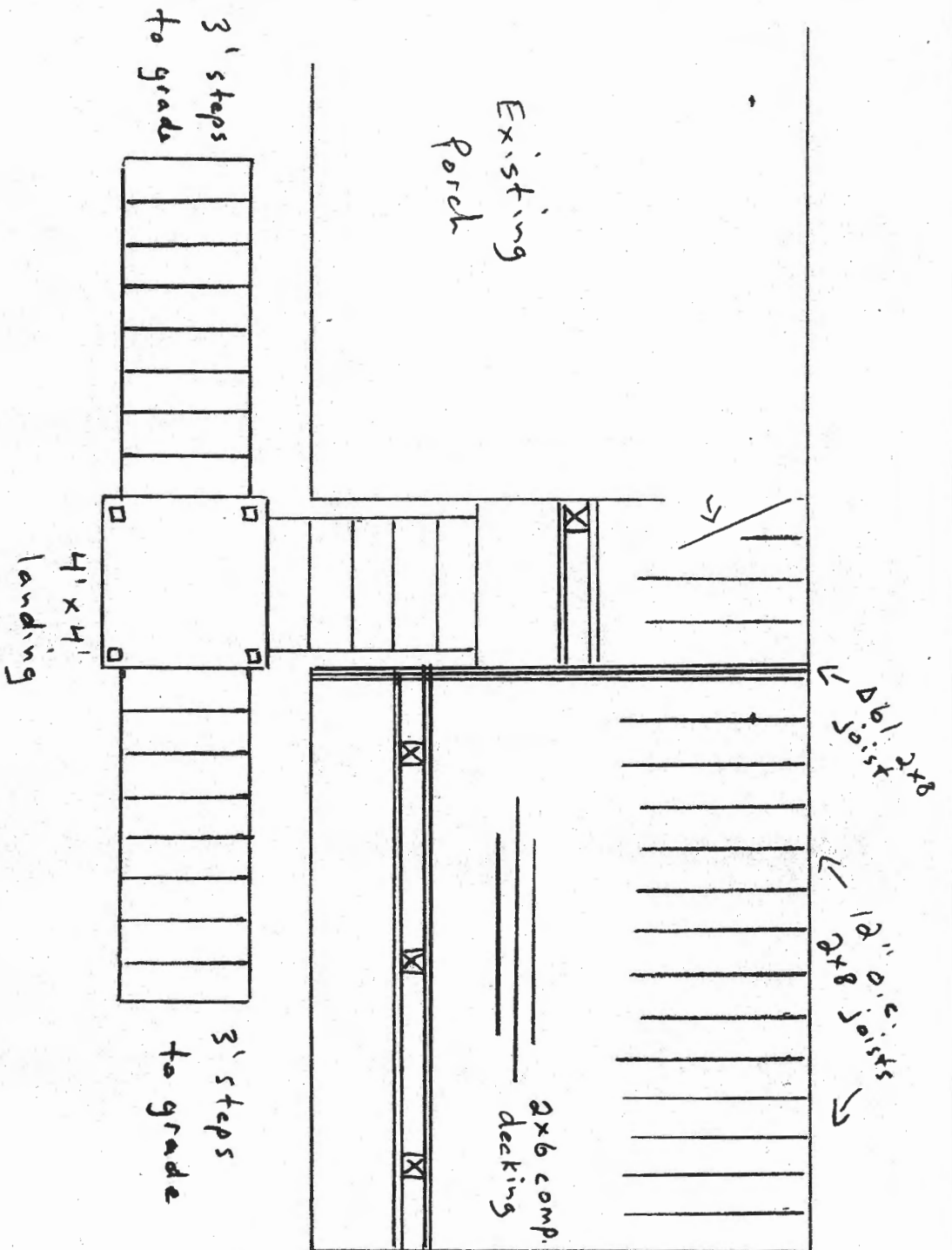
25+00 24+00
OLD FREDERICK ROAD

PERMIT SITE PLAN
LOT 1
15301 GALAXY DRIVE
FAIRLANE FARMS

FISHER, COLLINS & CARTER, INC. APPROVED FOR CONSTRUCTION PLAN
SCALE: 1" = 30'
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CORPORATE OFFICE: 9780 FREDERICK ROAD, COLUMBIA, MD 21046
PHONE: 410-377-3990

PHASE ONE
ZONED: RC-DEO
TAX MAP NO.: 8 GRID NO.: 2 PARCEL NO.: 8
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: MAY 10, 2017
SHEET 1 OF 1

[Signature]
6/27/17



2x12 beams
w/ 6x6 posts

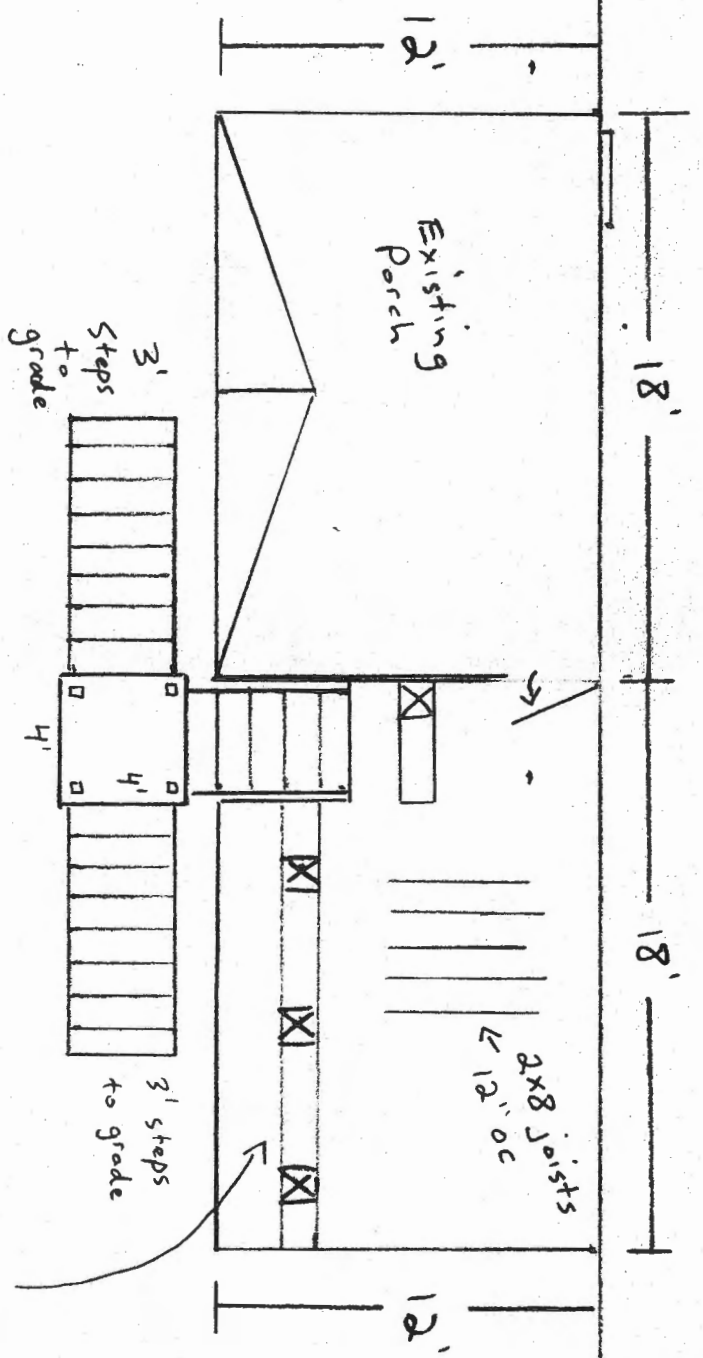
* Standard height rail
on deck, landing,
and steps with
safety/grip rail
on steps.

* Deck height = 8'

4x4

6' Basement Door

* 2x6 tongue + groove composite decking to match existing porch.



Existing Porch

18'

18'

12'

12'

2x8 Joists
← 12" oc

3' Steps to grade

3' steps to grade

2x12 Beam with 6x6 posts (2 foot cantilever)