

Save Reset Cancel Help

Approved 10/6/2022  
R/E

Record Detail \* (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Garage/Detached	B21003670	09/27/2021
Description of Work		
SFD/ CONSTRUCT A 18' X 26' GARAGE WITH AN 8' X 22' OPEN BREEZEWAY, 0 STORY, Slab on Grade, 0R, 0FB, 0HB, 0FP, OTHER STRUCTURE = None, 0BR, PORCH/DECK = N/A, ENERGY METHOD = N/A,		

[check spelling](#)

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
3639	PAUPERS FOLLY	LN
Unit Type	Unit #	X Coordinate
--Select--		-76.9841
		Y Coordinate
		39.27088
City	State	Zip Code
WEST FRIENDSHIP	MD	21794
		Primary
		Yes

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11058060	116,7	1.25	242500	0	569000	RURAL

Legal Description

[IMPVLOT 7, 1.25 A. [J]3639 PAUPERS FOLLY LN [J]BELVEDERE ESTATES

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	7	603000	5				
Plan Area	State Tax Id	Subdivision Name					
	1403600116	Belvedere Estates					
Section	Area	Tax Map					
		22					
Grid	Zoning District	ADC Map					
22-8	RR-DEO	4813-C7					
SDP No.	Final Plan No.	WP File No.					
	F-16-065						
Record Plat No.	WS Contract No.	FDP No.			Primary		
24286-2428					Yes		
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	2020	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	3-08A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name \*

GROSSMAN CORY DAVID

Address Line 1

3639 PAUPERS FOLLY LN

Address Line 2

Address Line 3

Mail City

WEST FRIENDSHIP

Mail State

MD

Mail Zip Code

21794

Phone

410-984-5813

Primary

Yes

E-mail

Cell Number

Fax Number

Professionals (This section is not required.)

FT  FT  FT  FT  FT  FT  FT

Total Square Footage \*  Occupiable Square Footage \*  Affordable Housing Funding  Foundation Measurement  Footings

468  SQFT  0  SQFT  Select--

Walls  Roof  Change In Use  Grading Permit No

Additional Description Info   Yes  No

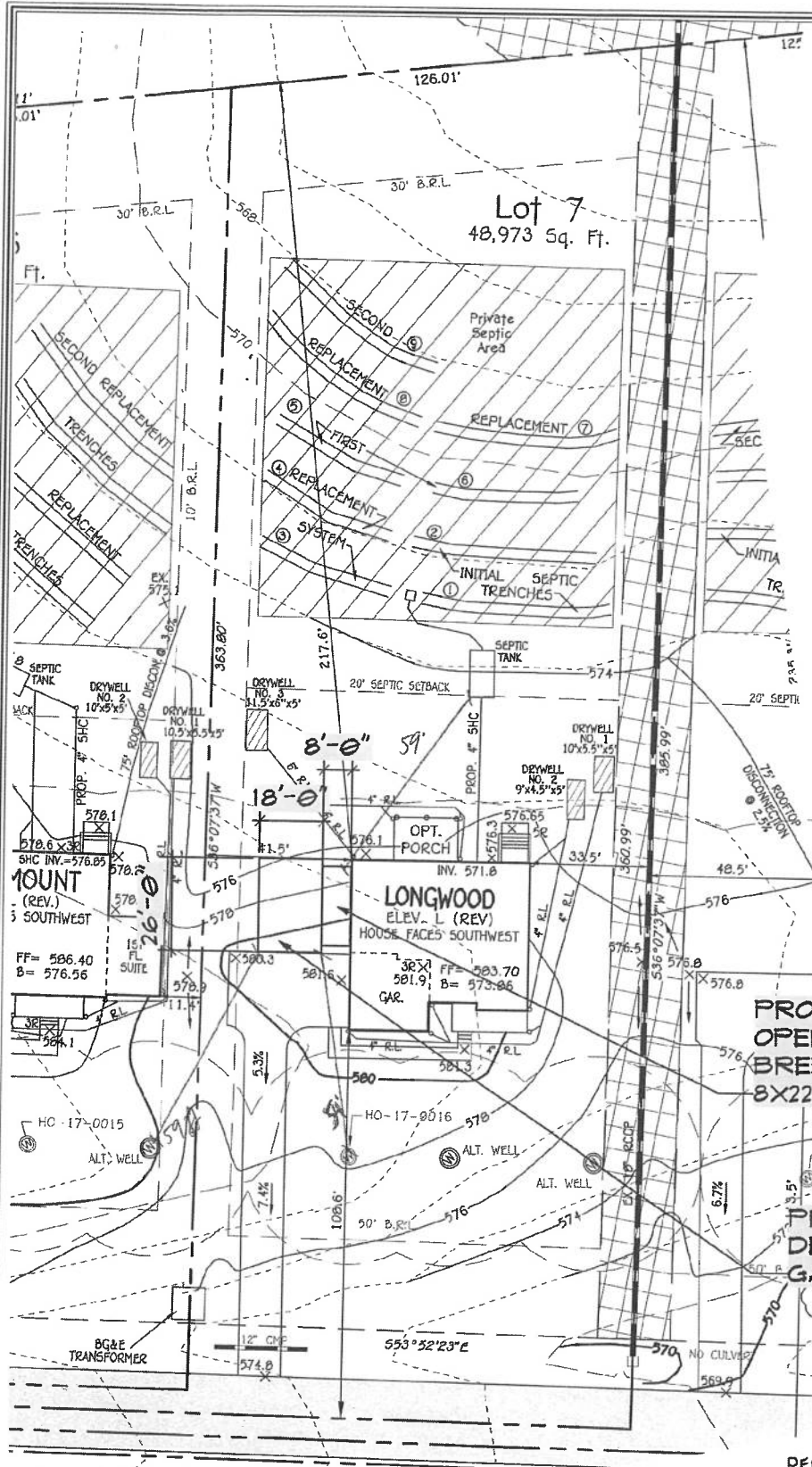
Expiration Date  4/4/2022

check spelling

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

Submit Cancel



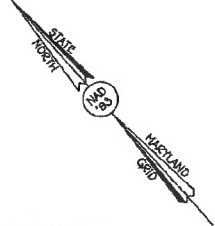
**STORMWATER MANAGEMENT NOTES:**  
 STORMWATER MANAGEMENT FOR LOT 7 IS BEING PROVIDED BY: ROOFTOP BY 3 DRYWELLS (M-5), DRIVEWAY AREA (M-6) #2, LOCATED BEHIND LOTS 7 & 8.

108 30. FT. ②	108 30. FT. ②
④ 417 SQ. FT.	③ 334 SQ. FT.
② 395 SQ. FT.	
① 257 SQ. FT.	① 257 SQ. FT.
① 182 SQ. FT.	② 254 SQ. FT.
	① 140 SQ. FT.

**HOUSE DOWNSPOUT DRAINAGE AREAS**  
 SCALE: 1"=30'

Designed by:  
**Cory Grossman**  
 2A193D1859184B4... 2/9/2020

Designed by:  
**Stephanie Grossman**  
 B3F90AE37340B... 2/9/2020



**PROPOSED OPEN BREEZEWAY 8X22**

**OWNER/DEVELOPER**  
 NY HOMES  
 9720 PATUXENT WOODS DRIVE  
 COLUMBIA, MD 21046  
 410-379-7956

**PROPOSED DETACHED GARAGE 18X26**

**PERMIT SITE PLAN  
 BELVEDERE ESTATES  
 LOT 7**

3639 PAUPERS FOLLY LANE  
 ZONED: RC-DEO

TAX MAP NO.: 22 GRID NO.: 8 PARCELS NO.: 116 AND P/O 7  
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: JAN. 31, 2020  
 SHEET 1 OF 1

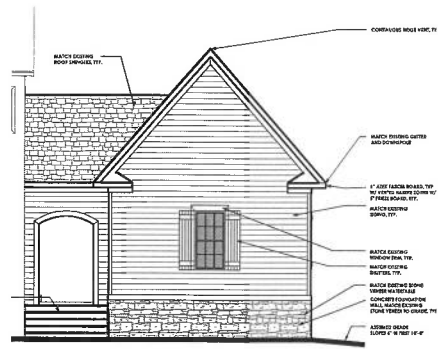
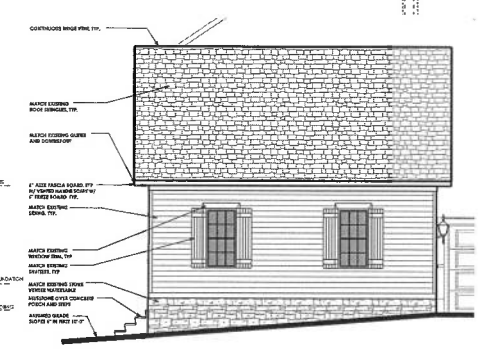
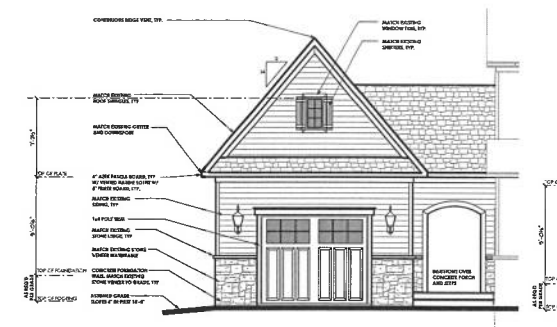
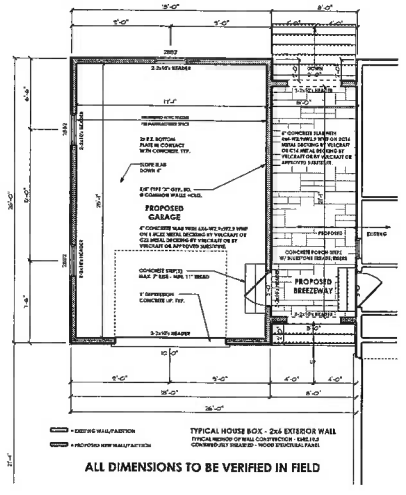
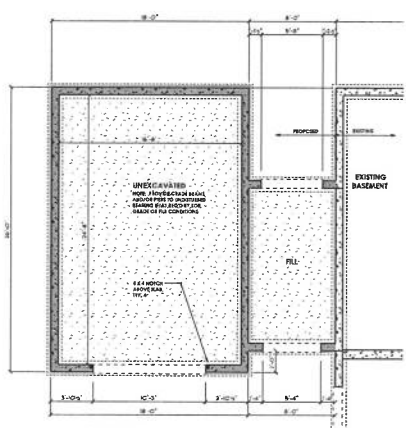
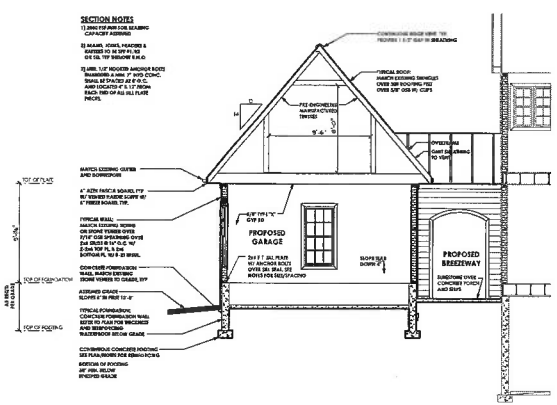
**NOTE:** THE EXISTING WELL SHOWN ON THIS PLAN, HO-17-0016, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE, SUITE 100 - 16272 BALDWIN NATIONAL PIKE  
 BELLEVILLE CITY, MARYLAND 21046  
 (410) 461-2099

**PLAN**  
 SCALE: 1" = 30'

B21003670 Approved 10/6/2021 RAC

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WARNING:  
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PROFESSIONAL CERTIFICATION  
 I certify that these documents were prepared or approved by me, and that I am a duly Licensed professional architect under the laws of the State of Maryland.  
 License Number #14473  
 Expiration Date: 4/30/2022



ARCHITECT  
 Jonathan Rivera AIA, NCARB  
 Howard County, Maryland  
 443.224.5745  
 jrivera@jonathanrivera.com

Grossman Residence  
 3639 Paupers Folly Lane  
 West Friendship, Maryland

SCALE:  
 ISSUE DATE:  
 12-20-20 PERMIT NO:  
 PREP DATE:  
 Thursday, September 2, 2021