



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 6298 Heather Glen Way
 City: Clarksville State: MD Zip Code: 21029
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Subdivision: _____
 Lot: _____ Tax Map: _____ Parcel: _____

Existing Use: Backyard
 Proposed Use: Pavilion
 Estimated Construction Cost: \$ \$11,000.00
 Description of Work: Steel frame stone
and asphalt shingles
21' x 14'

Occupant/Tenant Name: JOSEPH Abban
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: JOSEPH Abban
 Address: 6298 Heather Glen Way
 City: Clarksville State: MD Zip Code: 21029
 Phone: 240 271 3607 Fax: _____
 Email: Jabban@yahoo.com

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: JOSEPH Abban
 Contact Person: JOSEPH Abban
 Address: 6298 Heather Glen Way
 City: Clarksville State: MD Zip Code: 21029
 License No. : _____
 Phone: _____ Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Joseph Abban Print Name: JOSEPH Abban
 Email Address: Jabban@yahoo.com Date: 2/27/19
 Title/Company: _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

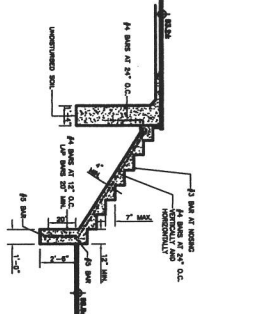
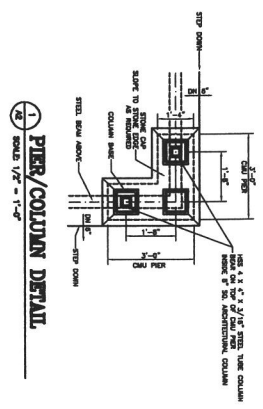
AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>2/27/19</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

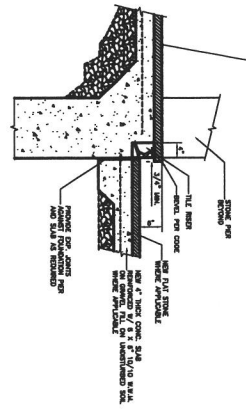
Filing Fee	\$ <u>5500</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

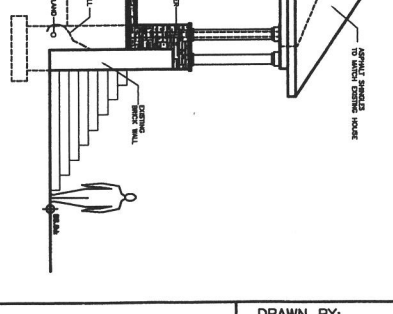
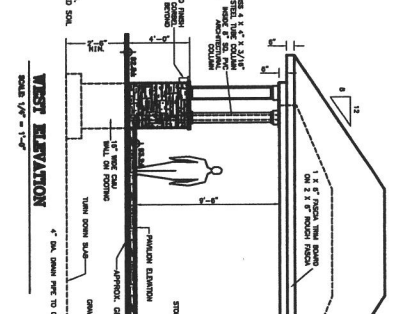
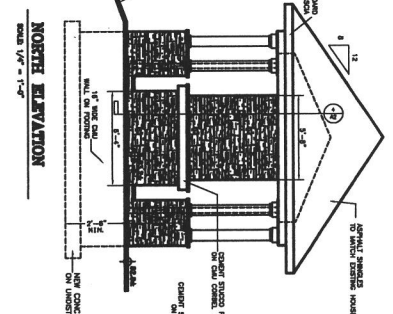


1-1 PIER/COLUMN DETAIL
SCALE 1/2" = 1'-0"

2-2 CONC. STEP DETAIL/SECTION
SCALE 1/2" = 1'-0"



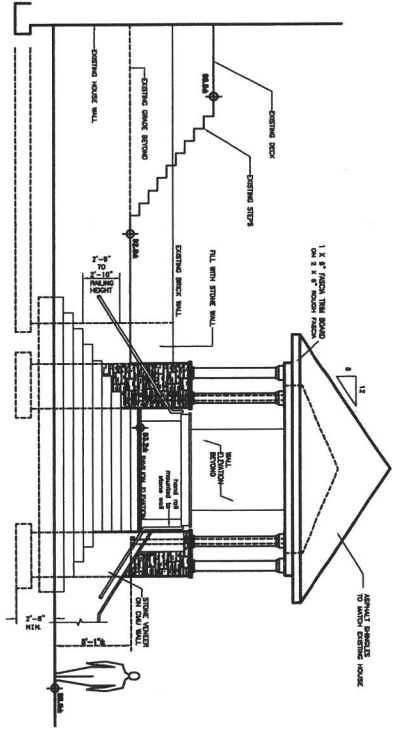
3-3 STONE STEP DETAIL
SCALE 1/2" = 1'-0"



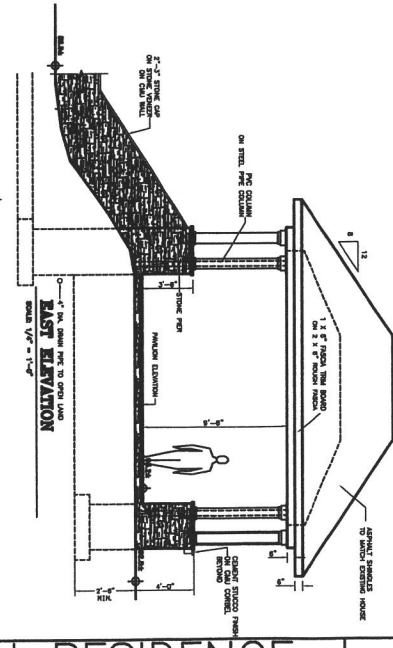
4 NORTH ELEVATION
SCALE 1/8" = 1'-0"

5 WEST ELEVATION
SCALE 1/8" = 1'-0"

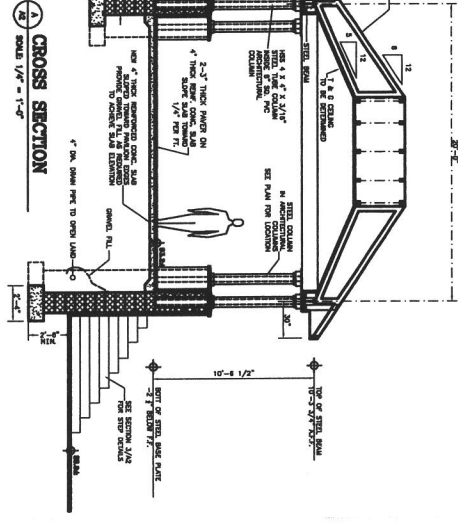
6 EAST ELEVATION
SCALE 1/8" = 1'-0"



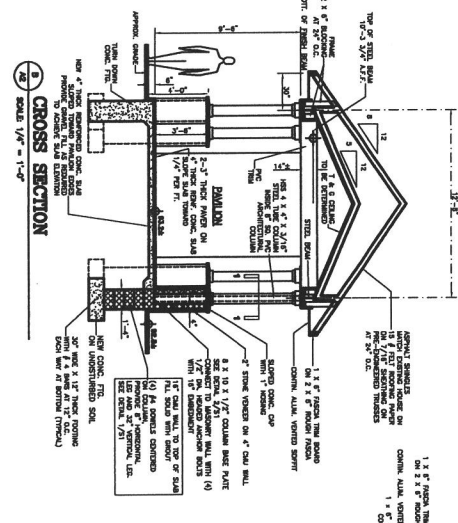
7 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



8 TV WALL DETAIL/SECTION
SCALE 1/8" = 1'-0"



9 CROSS SECTION
SCALE 1/8" = 1'-0"



10 CROSS SECTION
SCALE 1/8" = 1'-0"

11 PRELIMINARY 11-14-2018

A2

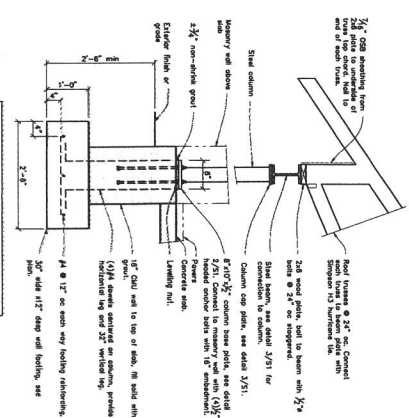
PAVILION ELEVATIONS
DETAILS AND SECTIONS
SCALE: AS NOTED

ABBAN RESIDENCE
6298 HEATHER GLEN WAY
CLARKSVILLE, MD 21029

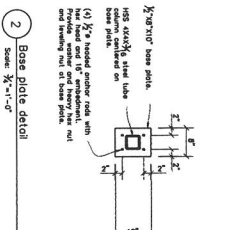
DRAWN BY:
MARK J. BANDY, INC.
(410) 750 2262
DATE: 10-27-2018

General Structural Notes:

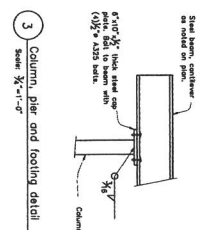
1. General construction and conform with the provisions of the 2010 International Residential Code for one and two family dwellings.
- 1.2. **Finish**
 Interior: 1/2" gypsum board
 Exterior: 1/2" gypsum board
 Concrete: 4" minimum
 Foundation: 12" minimum
 Footing: 12" minimum
2. **Excavation**
 Excavation on steep slopes for an ultimate and bearing capacity of 2000 psf. Contractor to verify that the soil conditions meet the minimum bearing capacity requirements for the foundation. Excavation shall be backfilled with compacted fill to the original ground level.
3. **Soil**
 All concrete shall be (ASTM 639) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
4. **Concrete**
 All concrete shall be (ASTM 639) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
5. **Reinforcement**
 All reinforcement shall be (ASTM 601) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
6. **Foundation**
 All foundation shall be (ASTM 639) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
7. **Structural**
 All structural steel shall be (ASTM 500) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
8. **Roofing**
 All roofing shall be (ASTM 150) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
9. **Insulation**
 All insulation shall be (ASTM 150) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
10. **Painting**
 All painting shall be (ASTM 150) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
11. **Finishing**
 All finishing shall be (ASTM 150) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
12. **Other**
 All other work shall be in accordance with the current National Building Specification (ANSI/ICC 905) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
13. **Notes**
 All notes shall be in accordance with the current National Building Specification (ANSI/ICC 905) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
14. **References**
 All references shall be in accordance with the current National Building Specification (ANSI/ICC 905) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
15. **Revisions**
 All revisions shall be in accordance with the current National Building Specification (ANSI/ICC 905) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
16. **Drawings**
 All drawings shall be in accordance with the current National Building Specification (ANSI/ICC 905) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
17. **Contract**
 All contract work shall be in accordance with the current National Building Specification (ANSI/ICC 905) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
18. **Permits**
 All permits shall be in accordance with the current National Building Specification (ANSI/ICC 905) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
19. **Inspection**
 All inspection shall be in accordance with the current National Building Specification (ANSI/ICC 905) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.
20. **Other**
 All other work shall be in accordance with the current National Building Specification (ANSI/ICC 905) and shall be placed on a minimum of 4" of compacted gravel under footing and be a minimum of 2'-0" below finished grade.



1 Column, pier and footing detail
 Scale: 3/4" = 1'-0"

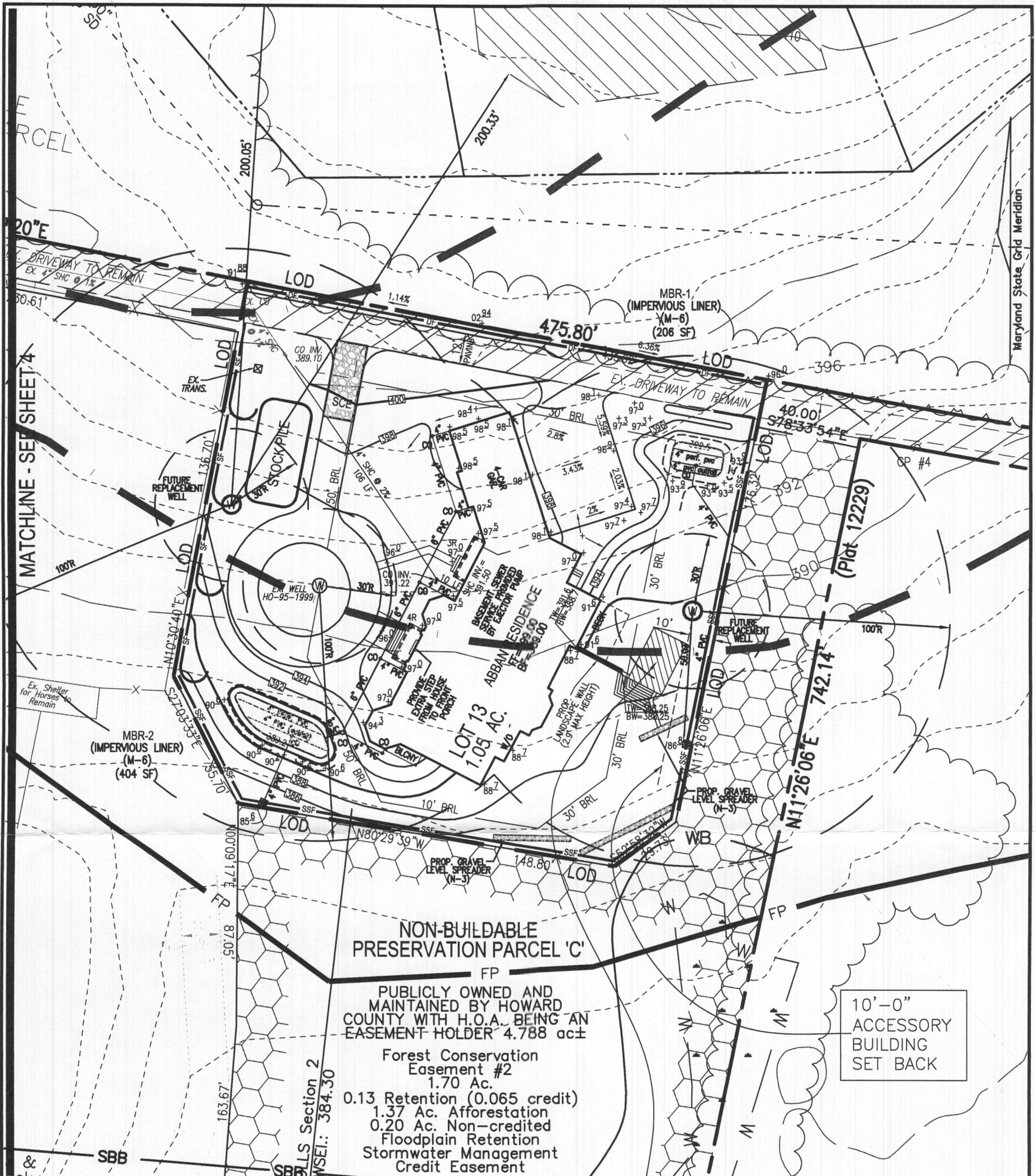


2 Base plate detail
 Scale: 3/4" = 1'-0"



3 Column, pier and footing detail
 Scale: 3/4" = 1'-0"





NON-BUILDABLE PRESERVATION PARCEL 'C'
 PUBLICLY OWNED AND MAINTAINED BY HOWARD COUNTY WITH H.O.A. BEING AN EASEMENT HOLDER 4.788 ac±
 Forest Conservation Easement #2
 1.70 Ac.
 0.13 Retention (0.065 credit)
 1.37 Ac. Afforestation
 0.20 Ac. Non-credited Floodplain Retention
 Stormwater Management Credit Easement

10'-0" ACCESSORY BUILDING SET BACK

PROPOSED PAVILION
 14' X 21'±

GRADING PLAN
 SCALE: 1"=40'

APPROVED
WALK-THRU BUILDING PERMIT
 BP# _____ A# _____
 APP. SAN _____ DATE: 2/27/15
 DESC. OF WORK: *proposed pavilion*

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET TEL: 410.461.7666
 ELLICOTT CITY, MD 21043 FAX: 410.461.8961

OWNER/BUILDER
 GREENFIELD HOMES, INC.
 6656 LUSTER DRIVE
 HIGHLAND, MD 20777
 (410) 365-3702

SCALE _____ AS SHOWN
 DRAWN BY _____ JMR
 CHECKED BY _____ RHV
 DATE _____ MAY 2016
 W. O. # _____ 14-33
 SHEET# _____ 3 OF 4

5TH ELECTION DISTRICT
 TAX MAP: 34 PARCEL: 444

PLOT PLAN
WILLOW POND - LOT 13
 6298 HEATHER GLEN WAY
 CLARKSVILLE, MD 21029
 REF: F-10-106

BLOCK: 17
 ZONED: RR-DEO
 HOWARD COUNTY, MARYLAND