

File No. F-21-030

Sunset Plains Lot 4

8320 Sunset Dr

**DEPARTMENT OF PLANNING AND ZONING
FINAL PLAT ORIGINAL FOR SIGNATURE APPROVAL**

This form is for the processing of originals for signature approvals. If corrections or additions must be made to the original, the corrections needed must be identified in the space provided and the plans must be returned unsigned to the Department of Planning and Zoning. DPZ will notify the owner of the required revisions and request that the owner's engineer make the corrections or contact the appropriate County agency with questions concerning such revisions.

DPZ

Date Received

Date Forwarded

Nick Haines
Reviewing Agent

11/24/20

Rejected For: _____

HEALTH

Date Received

Date Forwarded

①

Dana Beard
Reviewing Agent

12-2-20

2/5/21

Rejected For: _____

DED

Date Received

Date Forwarded

②

Reviewing Agent

Rejected For: _____

Chief, DLD

Date Received

Date Forwarded

③

Reviewing Agent

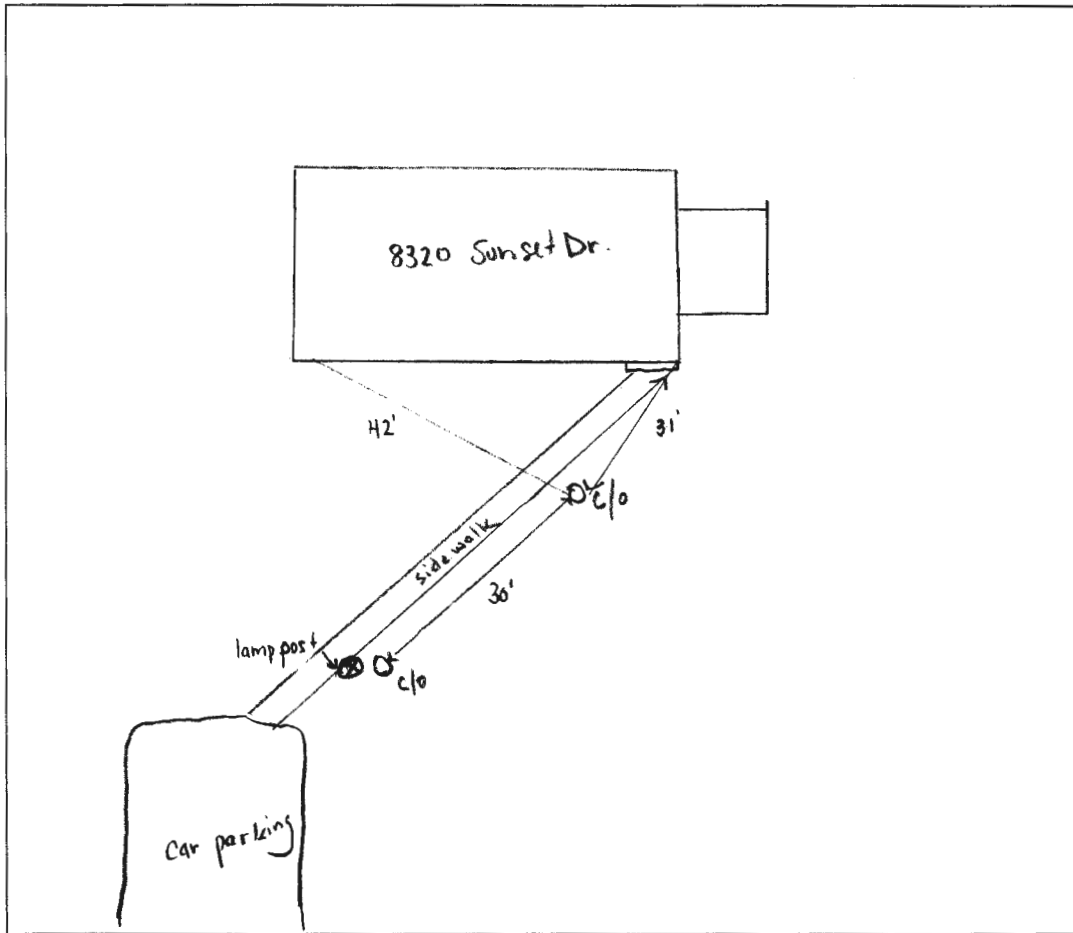
Rejected For: _____

SITE INSPECTION SHEET

OWNER: Joseph & Charlotte Lough PHONE #: -
ADDRESS: 8320 Sunset Dr CONTRACTOR: -
Ellicott City, MD. 21043 WELL TAG #: -
SUBDIVISION: 2002 LOT: 9 COUNTY #: 02 214962 Tax id

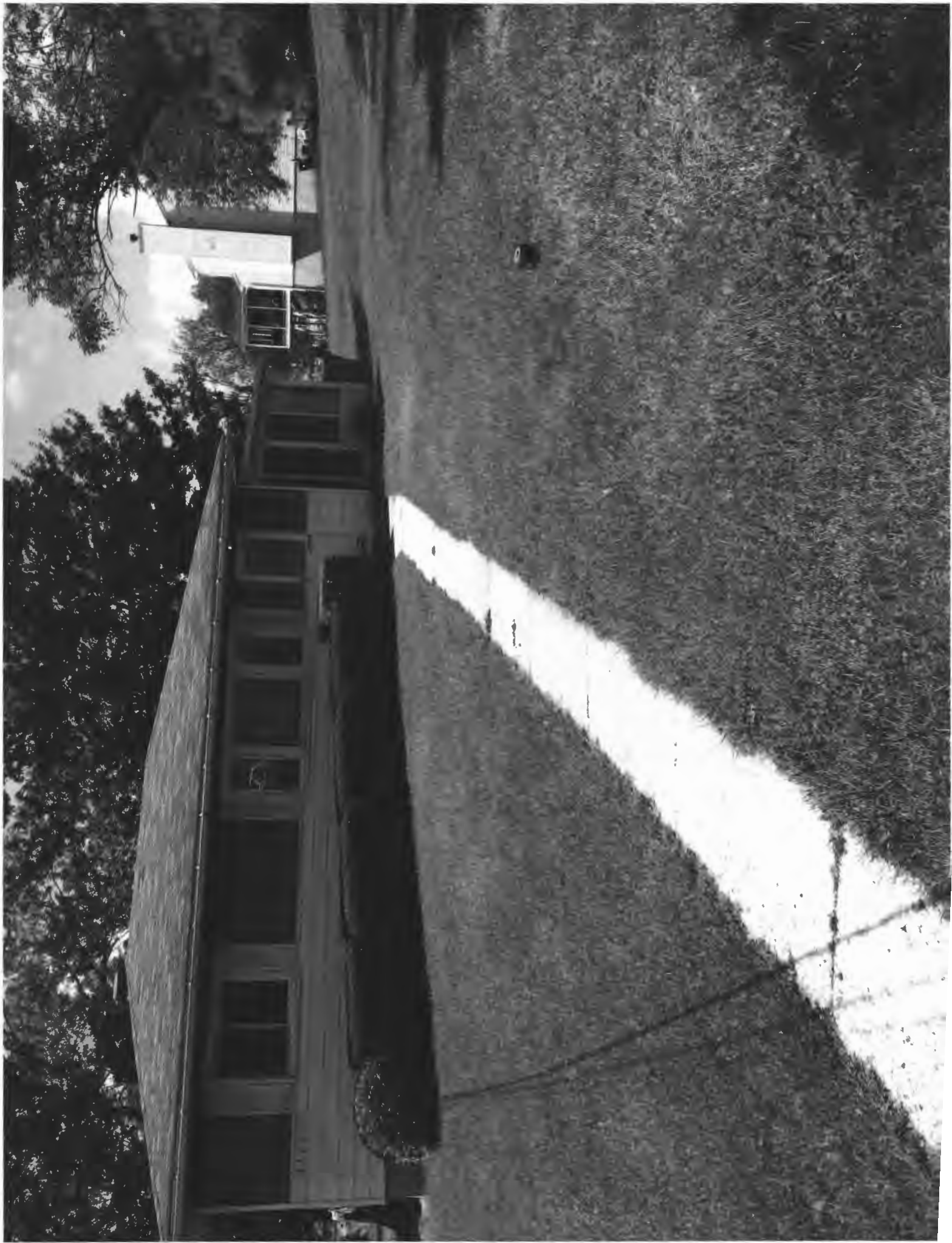
PROPOSAL: request for site inspection by J. Williams to check c/o
in the front yard to see if it leads to a septic tank or public sewer.

LOCATION DIAGRAM

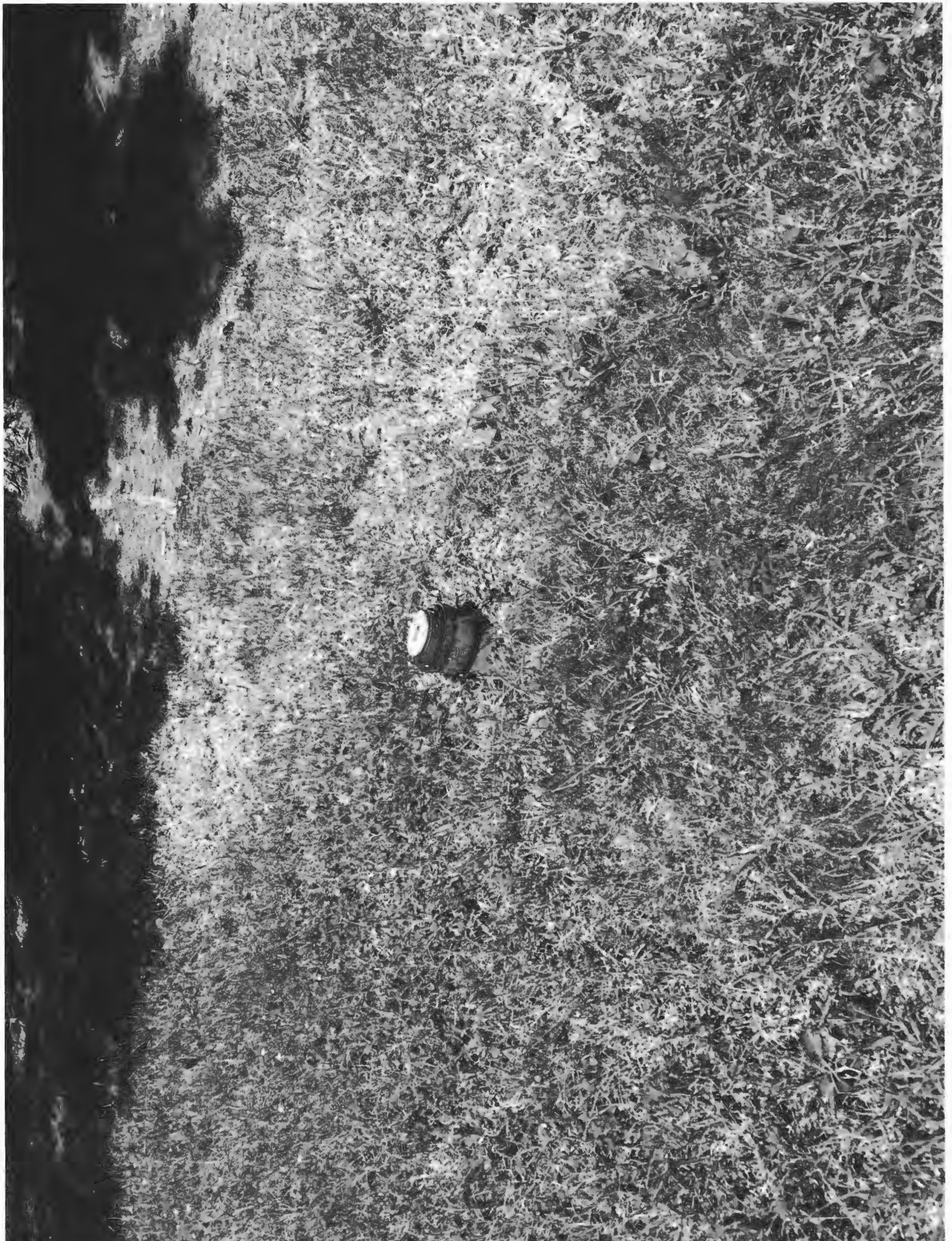


COMMENTS: Was able to get the c/o cap off of the one closest to the
house, did not appear to lead to septic tank, no water observed, very small
pebble used - dropped into the c/o did not hear a splash. Spoke to DPW as a flv
and was informed that this property has a public water & sewer account
and gets charged monthly.

DATE: 1/28/21 INSPECTOR: R. Rappaport







Real Property Data Search (w3)

Guide to searching the database

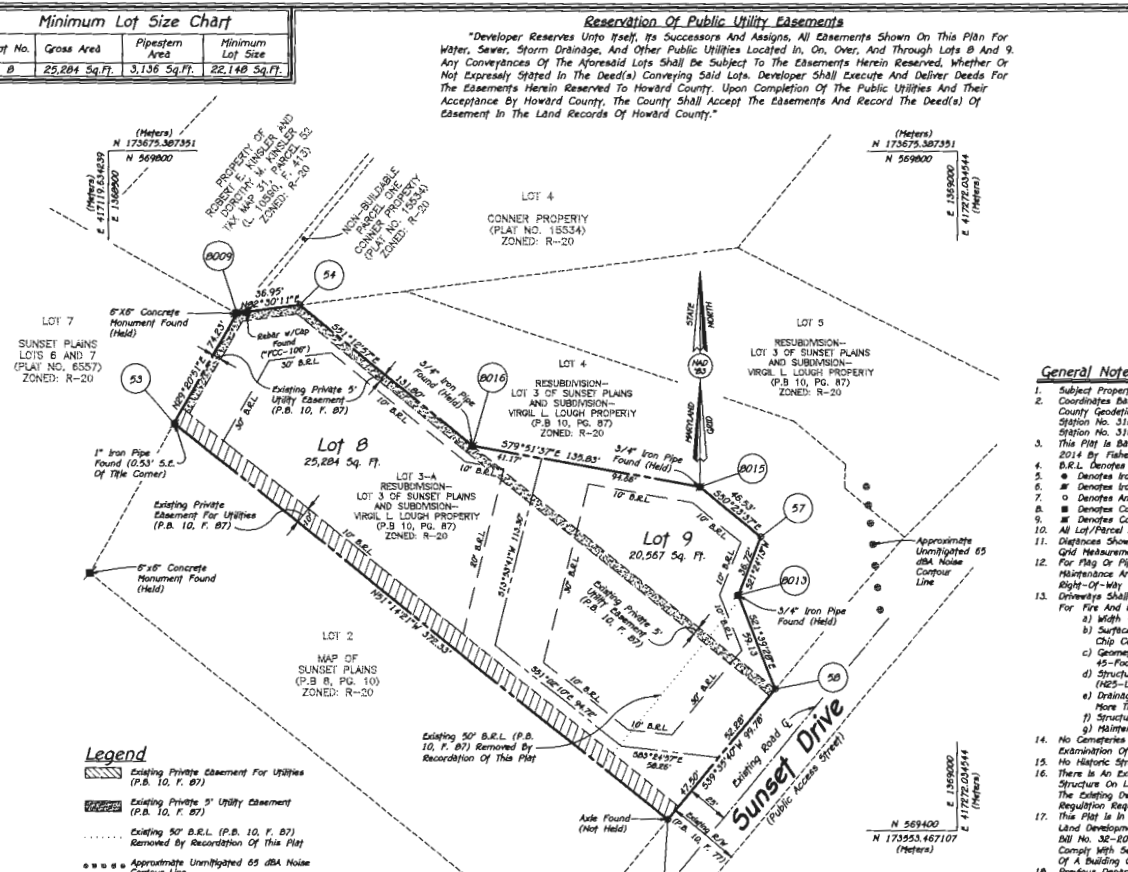
Search Result for HOWARD COUNTY

View Map		View GroundRent Redemption		View GroundRent Registration	
Account Identifier:		District - 02 Account Number - 214962			
Owner Information					
Owner Name:		LOUGH VIRGIL L LOUGH IDOLINE L		Use: Principal Residence:	
Mailing Address:		8336 SUNSET DR ELLCOTT CITY MD 21043-		Deed Reference: /15276/ 00407	
Location & Structure Information					
Premises Address:		8320 SUNSET DR ELLCOTT CITY 21043- 0000		Legal Description: LOT 3 1.030A 8320 SUNSET DR ELLCOTT CITY	
Map:	Grid:	Parcel:	Sub District:	Subdivision:	Section: Block: Lot:
0031	0013	0478		0000	3
Special Tax Areas:		Town:		Assessment Year:	
		NONE		2015	
		Ad Valorem:		Plat No:	
		104		Plat Ref:	
		Tax Class:			
Primary Structure Built		Above Grade Enclosed Area		Finished Basement Area	
1963		864 SF			
		Property Land Area		County Use	
		1.0300 AC			
Stories	Basement	Type	Exterior	Full/Half Bath	Garage
1	YES	STANDARD UNIT	FRAME	1 full	
Value Information					
		Base Value	Value As of 01/01/2015	Phase-in Assessments	
				As of 07/01/2014	As of 07/01/2015
Land:		187,700	187,700		
Improvements		66,600	83,800		
Total:		254,300	271,500	254,300	260,033
Preferential Land:		0			0
Transfer Information					
Seller: HARE VERNON E SR & WF		Date: 10/11/2013		Price: \$285,000	
Type: ARMS LENGTH IMPROVED		Deed1: /15276/ 00407		Deed2:	
Seller:		Date:		Price: \$0	
Type:		Deed1: /00359/ 00595		Deed2:	
Seller:		Date:		Price:	
Type:		Deed1:		Deed2:	
Exemption Information					
Partial Exempt Assessments:		Class	07/01/2014	07/01/2015	
County:		000	0.00		
State:		000	0.00		
Municipal:		000	0.00 0.00	0.00 0.00	
Tax Exempt:		Special Tax Recapture:			
Exempt Class:		NONE			
Homestead Application Information					
Homestead Application Status: No Application					

U.S. Equivalent Coordinate Table		Metric Coordinate Table			
Point	North	East	Point	North	East
53	569239.2660	1368529.0723	53	173866.248811	417131.543210
54	569279.2946	1368612.0686	54	173867.740324	417152.749483
57	569273.1636	1368621.2619	57	173868.241754	417236.753991
58	569483.5205	1368692.9935	58	173978.933356	417259.116900
61	569406.6548	1368685.4001	61	173955.498359	417220.055577
6009	569724.4726	1368675.4547	6009	173846.279214	417142.838273
2013	569535.9826	1368670.9827	2013	173919.828363	417232.792978
2015	569602.8271	1368648.5326	2015	173615.208926	417225.867253
2016	569686.7397	1368714.8032	2016	173682.577915	417186.116755

Minimum Lot Size Chart			
Lot No.	Gross Area	Pipestem Area	Minimum Lot Size
B	25,284 Sq.Ft.	3,136 Sq.Ft.	22,148 Sq.Ft.

- General Notes Continued:**
- Stormwater Management is in accordance with the M.D.E. Storm Water Design Manual, Volumes 1 & 2, Revised 2009. Non-Structural Practices in accordance with Chapter 5 are being utilized.
 - No Steep Slopes, 100 Year Floodplain, Stream(s), Stream Buffer(s), Wetland(s), Wetlands Buffer(s) or Forest Stand Delineation exist on-site.
 - A Community Hearing was conducted on June 23, 2014 for the purpose of the Developer to provide information to the community regarding the proposed residential development and to allow the community to ask questions and to make comments, per Section 16.128(d) of the Subdivision Regulations.
 - This property is located within the Metropolitan District. Lots to be served public water and public sewer.
 - Site is not adjacent to a scenic road.
 - A letter of findings dated August 4, 2014 for the Forest Stand Delineation and Wetland Delineation for this project was prepared by Eco-Science Professionals. No Forest Stand or Wetlands exist on-site.
 - The Forest Conservation Requirements of Section 16.1200 of the Howard County Code and Forest Conservation Act for this subdivision will be fulfilled by providing a fee-in-lieu payment of \$2,940.00 based on 0.09 acres x \$3,500 Sq. Ft./Acres x \$2.75/Sq. Ft.
 - A Landscape Survey in the amount of \$6,250.00 for perimeter landscape requirements (4 shade trees @ \$400/shade tree and 7 emergent trees @ \$150/emergent tree) of Section 16.114 of the Howard County Code and Landscape Manual is to be bonded with the building/grading permit.
 - Approval of a site development plan is required for the development of residential lot No. B within this subdivision prior to issuance of any grading or building permits for new house construction in accordance with Section 16.193 of the Subdivision and Land Development Regulations.
 - This development is designed to be in accordance with Section 16.127-Residential Infill Development-of Subdivision and Land Development Regulations. The developer of this project shall create compatibility with the existing neighborhood through the use of enhanced perimeter landscaping, berms, fences, similar housing unit types and the directional orientation of the proposed houses.
 - The project is in conformance with the latest Howard County standards unless otherwise have been approved.
 - Traffic Report dated July, 2014 was prepared by MIRA Group.
 - A Fee-in-Lieu for providing open space in the amount of \$1,500.00 has been paid.
 - Subdivision is subject to Section 10A.F. of the Zoning Regulations. At least 10% of the dwelling units shall be moderate income housing units (M.I.H.U.) or an alternative compliance will be provided. The developer shall execute a M.I.H.U. agreement with the Department of Housing to indicate how the M.I.H.U. requirement will be met. The M.I.H.U. agreement and covenants will be recorded simultaneously with this plat in the Land Records Office of Howard County, Maryland. This development will meet M.I.H.U. alternative compliance by a payment of a fee-in-lieu to the Department of Housing for each required unit.
Moderate Income Housing Unit (M.I.H.U.) Tabulation:
a. M.I.H.U. Required = (1 Lot x 10%) = 0.1 M.I.H.U.
b. M.I.H.U. Proposed = Developer will pursue alternative compliance by paying a fee-in-lieu to the Howard County Housing Department for the units required by the development.
c. An executed M.I.H.U. agreement with the Howard County Housing Department has been completed.
 - Water and Sewer Service to these lots will be granted under the provisions of Section 18.182B of the Howard County Code.
 - Public Water and Sewer Allocation will be granted at the time of issuance of the building permit if capacity is available at that time.



Area Tabulation For This Submission

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	2
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	0
TOTAL NUMBER OF LOTS TO BE RECORDED	2
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	1.093 Ac.
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	0.000 Ac.
TOTAL AREA OF LOTS TO BE RECORDED	1.093 Ac.
TOTAL AREA OF ROADWAY TO BE RECORDED	0.000 Ac.
TOTAL AREA TO BE RECORDED	1.093 Ac.

Legend

- Existing Private Easement For Utilities (P.B. 10, P. 87)
- Existing Private 5' Utility Easement (P.B. 10, P. 87)
- Existing 50' B.R.L. (P.B. 10, P. 87) Removed by Recordation of This Plat
- Approximate Unmitigated 65 dba Noise Contour Line

Owner and Developer

Virgil L. Lough & Idoline L. Lough
2338 Sunset Drive
Ellicott City, Maryland 21043
Ph: (410) 440-2308

Surveyor's Certificate

I hereby certify to the best of my knowledge that the final plat shown herein is correct; that it was prepared by me or under my responsible charge and that I am a duly licensed property line surveyor under the laws of the State of Maryland; that it is a subdivision of all of the lands conveyed by Vernon E. Hise Sr. and Ida May Hise to Virgil L. Lough and Idoline L. Lough by deed dated July 3, 2013 and recorded in the Land Records of Howard County in Liber No. 15276 Folio 407; and also being all of lot 3-A, as shown on a plat entitled "Resubdivision-Lot 3 of Sunset Plains and Subdivision-Virgil L. Lough Property" recorded among the Aforesaid Land Records in Plat Book 10 at Folio 87; and that all monuments are in place or will be in place prior to the acceptance of the streets in the subdivision by Howard County as shown, in accordance with the Annotated Code of Maryland, as amended.

Owner's Certificate

We, Virgil L. Lough and Idoline L. Lough, Owners of the Property Shown and Described Hereon, hereby adopt this final plat by the Department of Planning and Zoning, establish the minimum building restriction lines, all easements of (or) rights-of-way affecting the property are included in this plan of subdivision. Witness My Hand This Day of _____, 2015.

Virgil L. Lough _____ Witness
Idoline L. Lough _____ Witness

APPROVED: For Public Water And Public Sewerage Systems
Howard County Health Department.

Howard County Health Officer _____ Date _____

APPROVED: Howard County Department of Planning And Zoning.

Chief, Development Engineering Division _____ Date _____

Director _____ Date _____

APPROVED: For Public Water And Public Sewerage Systems
Howard County Health Department.

Howard County Health Officer _____ Date _____

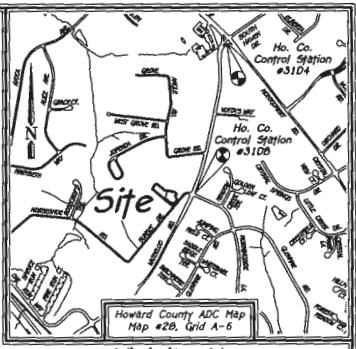
APPROVED: Howard County Department of Planning And Zoning.

Chief, Development Engineering Division _____ Date _____

Director _____ Date _____

Reservation of Public Utility Easements

"Developer Reserves Upon Itself, Its Successors And Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, And Other Public Utilities Located In, On, Over, And Through Lots B And 9. Any Conveyances of the Aforesaid Lots Shall be Subject To the Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lots. Developer Shall Execute And Deliver Deeds For the Easements Herein Reserved To Howard County, Upon Completion of the Public Utilities And Their Acceptance by Howard County, The County Shall Accept the Easements And Record the Deed(s) Of Easement In the Land Records of Howard County."

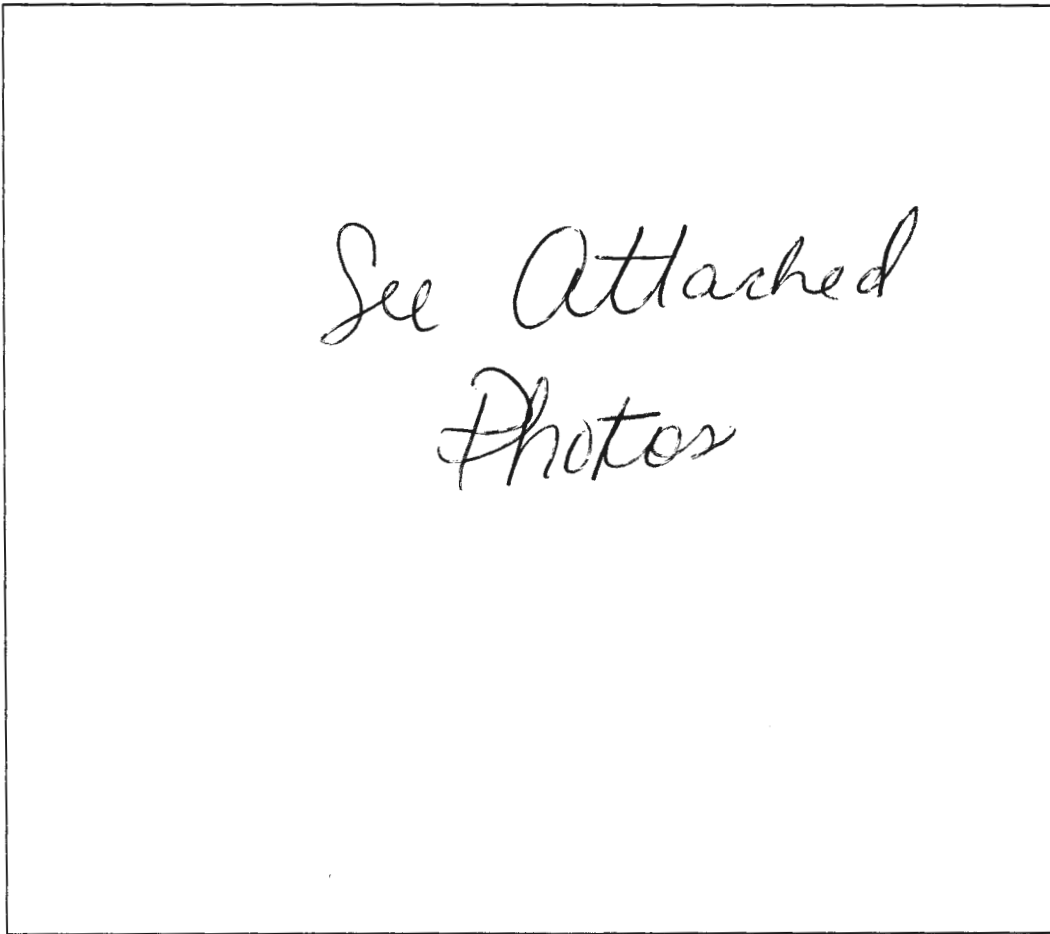


- General Notes:**
- Subject Property Zoned R-20 Per the 10/06/13 Comprehensive Zoning Regulations.
 - Coordinates Based on NAD 83 Maryland Coordinate System as Projected by Howard County Geographic Control Station No. 3104 and 3108.
 - This Plat is Based on a Field Run Monumented Boundary Survey Dated November, 2014 by Fisher, Collins & Carter, Inc.
 - D.R.L. Denotes Building Restriction Line.
 - Denotes Iron Pin Self Capped "F.C.C. 100".
 - Denotes Iron Pipe of Iron Bar Found.
 - Denotes Angular Change in Bearing of Boundary or Rights-Of-Way.
 - Denotes Concrete Monument Set with Aluminum Plate "F.C.C. 100".
 - Denotes Concrete Monument or Stone Found.
 - All Lot/Parcel Areas are More or Less (+).
 - Distances Shown are Based on Surface Measurement and Not Reduced to MAD 83 Grid Measurements.
 - For Flag or Pipe Stem Lots, Refuse Collection, Snow Removal and Road Maintenance are Provided To the Junction of Flag or Pipe Stem and the Road Right-of-Way Lines Only and Not Onto the Flag or Pipe Stem Lot Driveway.
 - Driveways Shall be Provided Prior to Residential Occupancy to Ensure Safe Access for Fire and Emergency Vehicles Per the Following (Minimum) Requirements:
a) Width - 12 Feet (16 Feet Serving More than One Residence);
b) Surface - Six (6") Inches of Compacted Crusher Run Base with Tar and Chip Coating, (1 - 1/2" Minimum);
c) Geometry - Maximum 15% Grade, Maximum 10% Grade Change and 42-Foot Turning Radius; - Capable of Supporting 25 Gross Tons (H2S-Loading);
d) Structures (Culverts/Bridges) - Capable of Supporting 25 Gross Tons (H2S-Loading);
e) Drainage Elements - Capable of Safely Passing 100 Year Flood with No More Than 1 Foot Depth Over Surface;
f) Structure Clearances - Minimum 12 Feet;
g) Maintenance - Sufficient to Ensure All Weather Use.
 - No Conteries Exist on This Site Based on Both a Site Visit And on an Examination of the Howard County Cemetery Inventory Map.
 - No Historic Structures Exist on the Subject Property.
 - There is an Existing Dwelling on Lot 9 to Remain. There is an Existing Accessory Structure on Lot 8 to be Removed. No New Buildings, Extensions or Additions to the Existing Dwelling are to be Constructed at a Distance Less than the Zoning Regulation Requirements.
 - This Plat is in Compliance with the Amended Fifth Edition of the Subdivision and Land Development Regulations and the 10/06/13 Zoning Regulations Per Council Bill No. 2E-0113. Development or Construction on These Lots or Parcels Must Comply with Setback and Buffer Regulations in Effect at the Time of Submission of a Building or Grading Permit.
 - Prepared Pursuant to Department of Planning and Zoning File Numbers: SDP-12-068 and ECP-15-015.
 - Speed Study for This Project was Prepared by MIRA Group, Dated August, 2014.
 - Noise Study for This Project was Prepared by MIRA Group, Dated August, 2014.
- General Notes Continued This Sheet:**
- Please Note That Lot B in This Subdivision is Subject to the Moderate Income Housing Unit (M.I.H.U.) Fee-In-Lieu Requirement that is to be Calculated and Paid to the Department of Inspection Licenses and Permits at the Time of Building Permit Issuance by the Permit Applicant.

SITE INSPECTION SHEET

OWNER: Lough Virgil PHONE #: _____
ADDRESS: 83 Bl. Sunset Dr. CONTRACTOR: _____
Ellicott City WELL TAG #: _____
SUBDIVISION: _____ LOT: 849 COUNTY #: _____
PROPOSAL: Subdivide Parcel

LOCATION DIAGRAM



COMMENTS: Well and Septic must be abandoned.

DATE: 7-15-15 INSPECTOR: DBeirne

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Division of Land Development

DATE: September 24, 2015

DPZ File No. WP-16-045

Department of Planning and Zoning

- 1 Transportation Planning
1 Resource Conservation (Historic/Ag Pres)
Public Service and Zoning Administration
1 Research
Address Coordinator

- 1 Comprehensive & Community Planning
2 Development Engineering Division
Other
2 File

See: F-15-024

Agencies

- Soil Conservation District
1 Department of Inspections, Licenses & Permits
1 Department of Fire and Rescue Services
1 State Highway Administration
1 Health Department
1 Public School System
1 Recreation and Parks
WSSC (Non-Residential Only)
MD Aviation Administration

- Tax Assessment
Verizon
BGE
Cable TV
Police
MTA
Finance
1 DPW, Real Estate Services
DPW, Construction and Inspection
DPW, Bureau of Utilities

RE: Sunset Plains

ENCLOSED FOR YOUR Signature Approval [] Review & Comments [x] Files []

THE ENCLOSED Original [] Pre-Packaged Plan Set []

Plans # of Plans

- Sketch Plan
Prel Equiv Sketch Plan
Preliminary Plan
Final Plat/Plat of Easement/RE Plat
Final Constr Plans (RDS)
Final Development Plan
Site Development Plan
Landscape Plan/Supplemental Plan
Grading Plan
House Type Revision/Walk-Thru Red-Line
Water and Sewer Plan

Supplemental Documents

- Wetlands Report
Soils/Topo Map/Drain Area Map
FSD/FCP/Worksheet and Application
Declaration of Intent (Forest Cons)
Drainage and/or Computation/Pond Safety Comps
Preliminary Road Profiles
APFO Roads Test/Mitigation Plan/Traffic Study
Noise Study
Sight Distance Analysis/Speed Flow Study
Floodplain Study
Stormwater Management Comps/Geo-Tech Report
Industrial Waste Survey (DPW)
Road Poster Form Letter
Justification Letter [x]
Perc Plat
Scenic Road Exhibits
Deeds
Photographs
Retaining Wall Comps/Details
Poster/Community or HDC Meeting Information
Route 1 Details/Summary

Applications

- 15 Waiver Petition Applic/Exhibit
Planning Board Application
ASDP/CSDP Application
DED Application/Checklist
DED Fee Receipt/Deeds/Cost Estimate
Overall Scaled Composite
Water & Sewer Plans
List of Street Names

WAS: [x] Received [] Tentatively Approved [] Recorded
[] Received and Revised [] Approved

On September 24, 2015

COMMENTS: Due- 17 Working Days: 10/20/15

Check, initial and return to the Department of Planning and Zoning if plan is approved with no comments.

DPZ STAFF INITIALS: RJ

Howard County Department of Planning and Zoning
 Division of Land Development
WAIVER PETITION APPLICATION
[Waiver from Subdivision and Land Development Regulations]

Date Submitted/Accepted _____ DPZ File Number _____

I. Site Description

Subdivision Name/Property Identification: Sunset Plains, Lots 8 & 9
 Location of property: 8320 Sunset Drive
 (Street Address and/or Road Name)

<u>Residential</u> (Existing Use)	<u>Residential</u> (Proposed Use)		
<u>31</u> (Tax Map No.)	<u>13</u> (Grid/Block No.)	<u>478 (Lot 3A)</u> (Parcel No.)	<u>Second</u> (Election District)
<u>R-20</u> (Zoning District)		<u>1.05</u> (Total Site Area)	

Provide a brief site history including reference to all previously submitted or currently active plans on file with the County (subdivision plans, Board of Appeals petitions, waiver petitions, etc.)

ECP-15-015; F-15-024; PB 10, F87

II. Waiver Request

In accordance with Section 16.104 of the Howard County Subdivision and Land Development Regulations, the Department of Planning and Zoning, in conjunction with the Subdivision Review Committee **may grant waivers or modifications to the minimum requirements stipulated within the Regulations if it is determined that extraordinary hardships or practical difficulties may result from strict compliance with the regulations, or if it is determined that the regulations may be served to a greater extent by an alternative proposal.**

In the area below, the petitioner shall enumerate the specific numerical section(s) from the Subdivision and Land Development Regulations for which a waiver is being requested and provide a brief summary of the regulation. Attach a separate sheet if additional information is appropriate.

<u>Section Reference No.</u>	<u>Summary of Regulation</u>
1. <u>16.132(a)(2)(i)</u>	Where Owner owns land on only one side of a local or minor collector road, the owner shall construct one side of the road up to one-half of the full designated pavement width
2. <u>16.134 (a)</u>	Sidewalks Required. The developer shall provide for the construction of sidewalks pursuant to this section and the Design Manual
3. <u>16.136</u>	The developer shall provide street trees and landscaping in accordance with Section 16.124 and the Landscape Manual.
4. _____	_____
5. _____	_____

III. *Justification*

All waiver requests must be fully justified by the petitioner. Incomplete or inadequate justification may result in rejection of the application at the time of submission. Justification must be specific to the subject property. The justification provided by the petitioner should include all factors which rationalize or substantiate the request in accordance with the following criteria:

- a. Summarize any extraordinary hardships or practical difficulties which may result from strict compliance with the Regulations.
- b. Verify that the intent of the Regulations will be served to a greater extent through the implementation of the alternative proposal.
- c. Substantiate that approval of the waiver will not be detrimental to the public interests.
- d. Confirm that approval of the waiver will not nullify the intent of the Regulations.

PLEASE ATTACH A SEPARATE LETTER OF JUSTIFICATION TO SUPPORT THE WAIVER REQUESTS.

IV. *Pre-Submission Meeting Requirements*

- a. **Community Meeting Requirement** - If no previous subdivision plans and/or zoning or conditional use petitions were processed, a pre-submission community meeting is required for the initial plan submittal of all new residential development and for new non-residential development located within 200 feet of a residential zoning district or an existing non-residential development which is located within 200 feet of a residential zoning district and proposed for a floor area expansion of more than 25% in accordance with Sections 16.156(a) and 16.128 of the Subdivision and Land Development Regulations for waivers of the site development plan requirement. [See DPZ policy memo dated 3/22/04 for existing lots/parcels]. The property owner/developer must provide 3 weeks advance notice regarding the community meeting's date, time and location to all adjoining property owners identified in the records of the State Department of Assessments and Taxation and any community association that represents the geographic area of the subject property by first class mail; and sent electronically to any community association registered with the County for projects in a certain geographic area; the Howard County Council; and DPZ, which will place the meeting notice on the DPZ's website. The developer shall send a copy of the minutes and written responses to the meeting attendees and DPZ, either electronically or by first class mail. **A certification that meeting notices were mailed, contact information for the attendees and a copy of the minutes and a written response with a dated return mail receipt or dated email attached to all of the major comments recorded at the meeting must be submitted to DPZ along with the initial plan application. The meeting minutes, including a written response to all questions, shall be sent to all meeting attendees within 60 days of the meeting either electronically or by first class mail [Council Bill 6-2011].**
- b. **HDC Meeting Requirement** - A pre-submission advisory meeting with the Historic District Commission is required for new development located within a Historic District or if the site contains a historic structure (50 years or older) in accordance with Section 16.603A of the Howard County Code. Verify this requirement by checking the Historic Sites Inventory list and maps available at the DPZ public service desk or checking with the Resource Conservation Division. The property owner/developer must contact the DPZ, Resource Conservation Division for the HDC scheduling process and procedures. **The property owner/developer must submit a copy of the minutes from the HDC Advisory Meeting to DPZ along with the initial subdivision or site development plan application.**
- c. **MAA Meeting Requirement** - For all proposed subdivisions or developments located within the BWI Airport Noise Zone or the Airport Zoning District (4 mile radius from the center of the airport), the review and approval by the Maryland Aviation Administration is required prior to signature approval of final plan road and SWM construction drawings, and/or site development plans, or waiver approval of SDP. Please contact the MAA at P.O. Box 8766, BWI Airport, Maryland, 21240-0766, or (410) 859-7100. A copy of the MAA approval letter must accompany the submission of the final road/SWM construction plan original drawings, and/or site development plan original, or waiver petition application.

→→→d. **Design Advisory Panel (DAP)** – A pre-submission advisory meeting with the Design Advisory Panel is required for sketch and preliminary equivalent sketch plans that are submitted on or after November 3, 2008 for new development or redevelopment projects on parcels located in the U.S. Route 1 corridor that are zoned 'CE', 'CAC' or 'TOD' or that adjoin the Route 1 right-of-way and that are subject to the Route 1 Design Manual; on parcels located within the U.S. Route 40 corridor that are zoned 'TNC' or that are subject to the Route 40 Design Manual; on parcels which age-restricted adult housing is to be constructed pursuant to a conditional use; on redevelopment parcels located in the New Town Village Centers with boundaries proposed by a property owner or established by the Zoning Board or County Council; and for revitalization and redevelopment of Downtown Columbia in accordance with Sections 16.1501 and 16.1504 of the Howard County Code. The property owner/developer must contact the DPZ, Division of Comprehensive and Community Planning to verify this requirement and for information concerning the DAP meeting scheduling process and procedures. **The property owner/developer must submit a copy of the DAP project design recommendations to DPZ along with the initial subdivision plan application.**

V. **Plan Exhibit**

A. **Number of Copies Required**

The waiver petition application must be accompanied by copies of a detailed plot plan, subdivision plat or site development plan (**15 sets of the completed waiver application and plan exhibit if the subject property adjoins a County road; 19 sets for properties adjoining a State road**). In instances where the waiver request concerns an approval extension or if an associated plan is in active processing, only 2 sets of plans are required along with 15 or 19 copies of the application form. **Plans must be folded to a size no larger than 7-1/2" x 12". The pre-packaging of plans and supplemental reports by SRC agency will be permitted by DPZ provided that each package contains a cover letter which itemizes all plans, reports and documents included in the package.**

Please be advised that all plan application submissions are ACCEPTED BY APPOINTMENT ONLY. All plan submission appointments must be scheduled with the Division of Land Development at (410) 313-2350.

Plan applications are available on the DPZ website at <http://www.co.ho.md.us/DPZ/formsfeesapplications.htm>.

B. **Plan Requirement Checklist**

The detailed waiver petition exhibit, plot plan, subdivision plan or site development plan must indicate the following required information relevant to the waiver request to ensure acceptance of the waiver petition application for processing.

Legend:	<input checked="" type="checkbox"/> Information Provided	<input type="checkbox"/> Information Not Provided, Justification Attached
	<input type="checkbox"/> NA Not Applicable	

- ✓ — 1. Vicinity map scale 1" = 2,000' indicating and identifying the total boundary of the property, exact site location, vicinity roads and north arrow.
- ✓ 2. Bearings and distances of property boundary lines for the entire tract and size of tract area.
- ✓ 3. North arrow and scale of plan.
- ✓ 4. Location, extent, boundary lines and area of any proposed lots.
- ✓ 5. Any existing or proposed building(s), structures, points of access, driveways, topography, natural features and other objects and/or uses on the subject and adjacent properties which may be relevant to the petition; i.e. historic structures, cemeteries or environmentally sensitive areas.
- ✓ 6. Delineation of building setback lines.
- ✓ 7. Delineation of all existing public road and/or proposed street systems.
- ✓ 8. Identification and location of all easements.

- √ 9. Approximate delineation of floodplain, streams, wetland and forested areas, if applicable, and/or provide a professional certification that environmental features do not exist on the property.
- N/A 10. Road profile to evaluate sight distance, if the application includes a request for direct access to a major collector or more restrictive roadway classification.
- N/A 11. Any additional information to allow proper evaluation (e.g. for waivers to wetland buffers an alternative analysis and mitigation proposal are needed; for waivers to SDP requirements where there is no subdivision of land, an APFO Roads Test evaluation may be needed, for waivers of final plat or SDP, a copy of property deeds to confirm legal creation or status of property is needed).
- √ 12. Photographs, perspective sketches or cross-sections as necessary to adequately portray the waiver request.
- √ 13. The exhibit plans should be highlighted to accurately illustrate the requested waiver(s) to allow proper evaluation (i.e. proposed grading, tree clearing or other disturbances within environmentally sensitive areas or buffers).
- √ 14. Submit 2 sets of photographs for all existing on-site structures.
- √ 15. Identify the location of any existing wells and/or private septic systems.

N/A 16. **Route 1 Manual**
 Compliance with the Route 1 Manual is required for new development and some alterations or enlargements located in the CE, TOD and CAC zoning districts and for other zoning districts located within the Route 1 corridor. All plan submissions, beginning with the initial subdivision or site development plan, shall show all applicable streetscape, site and building designs responding to the Route 1 Manual's requirements and recommendations. All plan submissions shall provide a written summary of how the proposed design achieves the objectives of the Route 1 Manual. Also, building design and schematic architectural elevation details must be included with the initial subdivision or site development plan submission.

N/A 17. **Route 40 Design Manual**
 Compliance with the Route 40 Design Manual is required for new development and redevelopment projects located in the Traditional Neighborhood Center (TNC) zoning districts and on parcels located within the Route 40 Corridor as defined in the Route 40 Design Manual. All plan submissions within the Route 40 corridor, beginning with the initial subdivision or site development plan, shall show all applicable streetscape, site and building designs responding to the Route 40 Design Manual's requirements and recommendations. All plan submissions within the Route 40 corridor shall provide a written summary of how the proposed design achieves the objectives of the Route 40 Design Manual. Also, building design and schematic architectural elevation details must be included with the initial subdivision or site development plan submission.

√ 18. **Property Deeds** – Information to confirm the legal creation or status of the property to be improved. (Copy of deeds from Howard County Land Records Office or record plat name and recording reference number). **A complete chronological deed history is required for all deeded residential properties. Provide 2 copies of the recorded deeds for the subject property tracing its history back to 1960.**

/A 19. Please complete the following:

A pre-submission meeting was held with DPZ on _____ with
 [date], if applicable.

 [DPZ, Director, DLD Division Chief or other SRC representatives]

VI. Fees

The Waiver Petition application fee shall be in accordance with the adopted fee schedule. All checks shall be made payable to the *Director of Finance*. **The petition will not be accepted for processing until the fee has been paid. Incomplete, incorrect or missing information may result in the rejection of the application and could cause additional time to be required to revise the petition for resubmittal and re-review.** For more information or questions, contact DPZ at (410) 313-2350.

**Howard County Department of Planning and Zoning
Division of Land Development**

**INITIAL SUBMISSION
WAIVER PETITION WORKSHEET
(For DPZ Use Only)**

Project Name Sunset Plains, Lots 8 & 9 **DPZ File No.** _____
DPZ Plan Reviewer _____ **Submission Date** _____
Plan Consultant Representative _____ **Time** _____

- I. Application Requirements** *Indicate Yes, No or N/A*
- a. Application is complete _____
 - b. Required number of plans and applications are provided _____
 ___ Plans (15 sets on County Road or
 ___ Applications 19 sets on State Road)
 - c. Supplemental Information is provided _____
 - d. Certification of pre-submission community meeting and summary of community comments with dated responses to all meeting attendees within 60 days is provided and three week notice given to DPZ and County Council, if applicable _____
 - e. Certification of pre-submission HDC advisory meeting for new projects in Historic District or listed in Historic Sites Inventory _____
 - f. Photographs of existing structures (for Historic Preservation Review) _____
 - g. MAA Approval Letter (if applicable) _____
 - h. Written summary of Route 1 Manual/Route 40 Design Manual compliance (if applic) _____
 - i. DAP project design recommendation for Route 1/Route 40 projects _____

II. Fee Computation **Fee**

Number of waivers requested.....	_____
* Base Fee for first two waiver sections (\$450)	\$450
Fee for each additional waiver section (<u>2</u> additional waivers x \$50 each).....	\$50
* (Maximum fee of \$350 for Agricultural Preservation parcels)	
TOTAL	<u>\$500</u>

III. Certification

Cash Receipt No. _____ Amount _____
SAP Acct 1000000000-3000-3000000000-PWPW000000000000-432530

Check issued by _____

___ Waiver petition application is accepted for processing.

___ Scheduled SRC meeting date.

___ Waiver petition application is rejected.

Reason: _____

___ Resubmission is accepted. Date _____ Staff initials _____

Comments/Notes _____

Sunset Plains, Lots 8 & 9
Waiver Petition Justification

On behalf of our clients, Virgil & Idoline Lough, owners of the property at 8320 Sunset Drive, Ellicott City, Maryland, 21043, also known as Holiday Hills, Lot 10, we are requesting a waiver from the following Sections of the Howard County Subdivision and Land Development Regulations (Regulations) related to road improvements:

Section 16.132(a)(2) Local or minor collector roads

(i) ***Owner owns land on only one side of road.***

Where the property owner owns land on only one side of a local or minor collector road, the owner shall:

Section 16.134(a) Sidewalks Required.

The developer shall provide for the construction of sidewalks pursuant to this section and the Design Manual.

Section 16.136 Street Trees.

The developer shall provide street trees and landscaping in accordance with Section 16.124 and the Landscape Manual.

Background

Sunset Plains, Lots 8 & 9, is a resubdivision containing two (2) lots. There is an existing house located on proposed Lot 9, which fronts Sunset Drive. The existing house was built around 1963 and is known as 8320 Sunset Drive. A separate driveway will be utilized for the proposed Lot 8. The proposed driveway has adequate sight distance (analysis was submitted under F-05-024).

No sidewalk or curb exist along Sunset Drive. Sunset Drive is classified as a local public road. No street lights currently exist on Sunset Drive, and per discussion with Heather Pandullo, Development Engineering Division, a waiver to Section 16.135 will not be required. Please note that there is a mature Specimen Tree along Sunset Drive that will remain and does not require removal to install road improvements.

Justification for the waiver from **Section 16.132(a)(2) Road Construction, Section 16.134(a) Sidewalks Required, and 16.136 Street Trees** is as follows:

a. “Summarize any extraordinary hardships or practical difficulties which may result from strict compliance with the Regulations.”

Although fillet curb exists at the intersection with Maryland Route 104, no other curb exists. Also, no sidewalks exist along Sunset Drive, nor at the intersection with Maryland Route 104, therefore to create improvements along the property frontage (approximately 100 feet) would not provide a connection to any existing improvements. As stated above, the nearest curb is at the intersection of Sunset Drive and Maryland Route 104 and no sidewalk exists. Having only 80 feet of curb and sidewalk (less driveway aprons) with no other improvements in the near vicinity would put the pedestrian in a very unsafe situation. It would put pedestrians back onto the road.

Lastly, although it is understood that this resubdivision is considered a major subdivision, only one additional house is being added to the property. As a result, we are requesting a fee-in-lieu of improvements which has been submitted to DED for approval.

b. “Verify that the intent of the Regulations will be served to a greater extent through the implementation of the alternative proposal.”

Implementing the regulations in this case, as mentioned above, widening and sidewalk construction would create an island effect with no connections to existing sidewalk improvements and therefore would create an unsafe crossing situation for pedestrians.

c. **“Substantiate that approval of the waiver will not be detrimental to the public interests.”**

As discussed above, addition of this sidewalk would be unsafe for pedestrians since it would not connect to existing improvements. It would be in the public’s best interest to not have an unsafe condition. No areas have been developed on Sunset Drive over the years, no curbing and no sidewalk exist.

d. **“Confirm that approval of the waiver will not nullify the intent of the Regulations.”**

Although the intent of the regulations is to have sidewalk and road improvements, no improvements exist along Sunset Drive. Improving this 100 foot section of Sunset Drive would simply create an island effect, as it would be isolated. Granting the waiver will not be a nullification of the regulations for these reasons and will prevent the creation of a potential unsafe situation for pedestrians since the improvements would not connect to any existing improvements. Since acceptance of a fee-in-lieu of improvements is being requested, we feel this will meet the intent of the regulations.

Please note, that as stated above, no street lights exist along Sunset Drive, therefore it is not anticipated that this short section of Sunset Drive would require street lights. It is worth noting that the nearby road intersection of Sunset Drive with Maryland Route 104 does not have street light (only across Maryland Route 104 at Morningside Lane), at which street lights are typically required. It is also not anticipated that more than one street tree (or 2 small trees) would be required since there is a large existing Specimen Tree to remain along the roadway. The Specimen tree will not require removal to construct improvements and would be able to remain therefore a waiver is being requested to providing one tree. A waiver to storm drainage has not been requested since drainage structures are not believed to be required along this short section of roadway that is located only approximately 100 feet from the high point in the roadway.