

RECEIVED

PERMIT NUMBER: B20002608

DATE ACCEPTED:

AUG 05 2020



RESIDENTIAL BUILDING PERMIT APPLICATION

LICENSES & PERMITS DIVISION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 1026 High Stepper Tr Unit:
City: Sykesville State: MD Zip Code: 21784
Subdivision/Village/Complex Name: Walker Meadows SDP/WP/BA #: GP-19-666
Lot: 7 Tax Map: Parcel: Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant lot Proposed Use: SFD Estimated Cost: \$ 220,000
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None
New 2 story "Stratford Hall" c/w A with 2 car garage, and finished basement (rec room, bedroom and bathroom)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): NVR Inc. - Contact J. Anastasia Primary Residence: Yes No
Owner's Street Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5950 Email: janastasia@nvrinc.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Decatur Building Services Contact Name: Jim Kenun
Street Address: PO Box 552
Woodbine State: MD Zip Code: 21797
Phone: 410-309-7792 Email: jim@decaturbuildingservices.com

FACTOR INFORMATION REQUIRED

Business Name: NV Homes Contact: James Anastasia
Licensee's Name: NVR Inc. License #: 56
Street Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5950 Email: janastasia@nvrinc.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Name:
Street Address:
City: State: Zip Code:
Phone: Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF\*) Condo: Yes No
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: "Stratford Hall" c/w A with 2 car garage, and finished lower level
# of Bedrooms (SF): 5 # of efficiency units (MF\*): # of 1 BR (MF\*): # of 2 BR (MF\*): # of 3 BR (MF\*):
# Rooms: 11 # Full Baths: 5 # Half Baths: 1 # Fireplaces: 0
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 54 1st Fl Depth: 54 2nd Fl Width: 54 2nd Fl Depth: 41 Bsmt Width: 54 Bsmt Depth: 54
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 6541 sq ft Occupiable Area: 6541 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: Jim Kenun DATE SIGNED: 8/4/2020

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID
SUBMITTAL FEES: \$150.00 PAYMENT: CV# 383036 ACCEPTED BY: DRUPBOX

18

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 8/26/2020

To: Robert Bricker  
(Person's Name and Division)

From: Jim Kerwin (443) 309-7792  
(Your Name, Company Name and Telephone Number)

Subject: Project name Walker Meadow Lot 7  
Project site address 1026 High Stepper Trail  
Permit # B20002608 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of revised Plot Plan adjustment to septic length/configuration, SHC to D Box and minor grading (be specific).
- Health Department Request  DPZ/ DED Request  Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- Other \_\_\_\_\_

**Contact Person Information: (Required)**

Jim Kerwin  
Please Print Name

Telephone No: 443-309-7792  
E-Mail Address: Jim@DecaturBuildingServices.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

**RECEIVED**

Received by JB

AUG 26 2020

White-Plan Review / Yellow-Applicant / Pink-Permit Division  
t:\Operations\Updated forms\transmit.frm - Rev. 04/2014

**LICENSES & PERMITS  
DIVISION**



1026 High Stepper Trail

Lot 7

Health Dept.

# STRATFORD HALL

DIV-COMM-LOT-UNIT		
MDE-1W-0007		
COMM-LOT		
WALKER MEADOWS - 0007		
STREET ADDRESS		APT. NO.
1026 HIGH STEPPER TRAIL		---
CITY	STATE	ZIP
SYKESVILLE	MD	21784



NVR, Inc.  
5285 Westview Drive, Suite 100  
Frederick, MD 21703

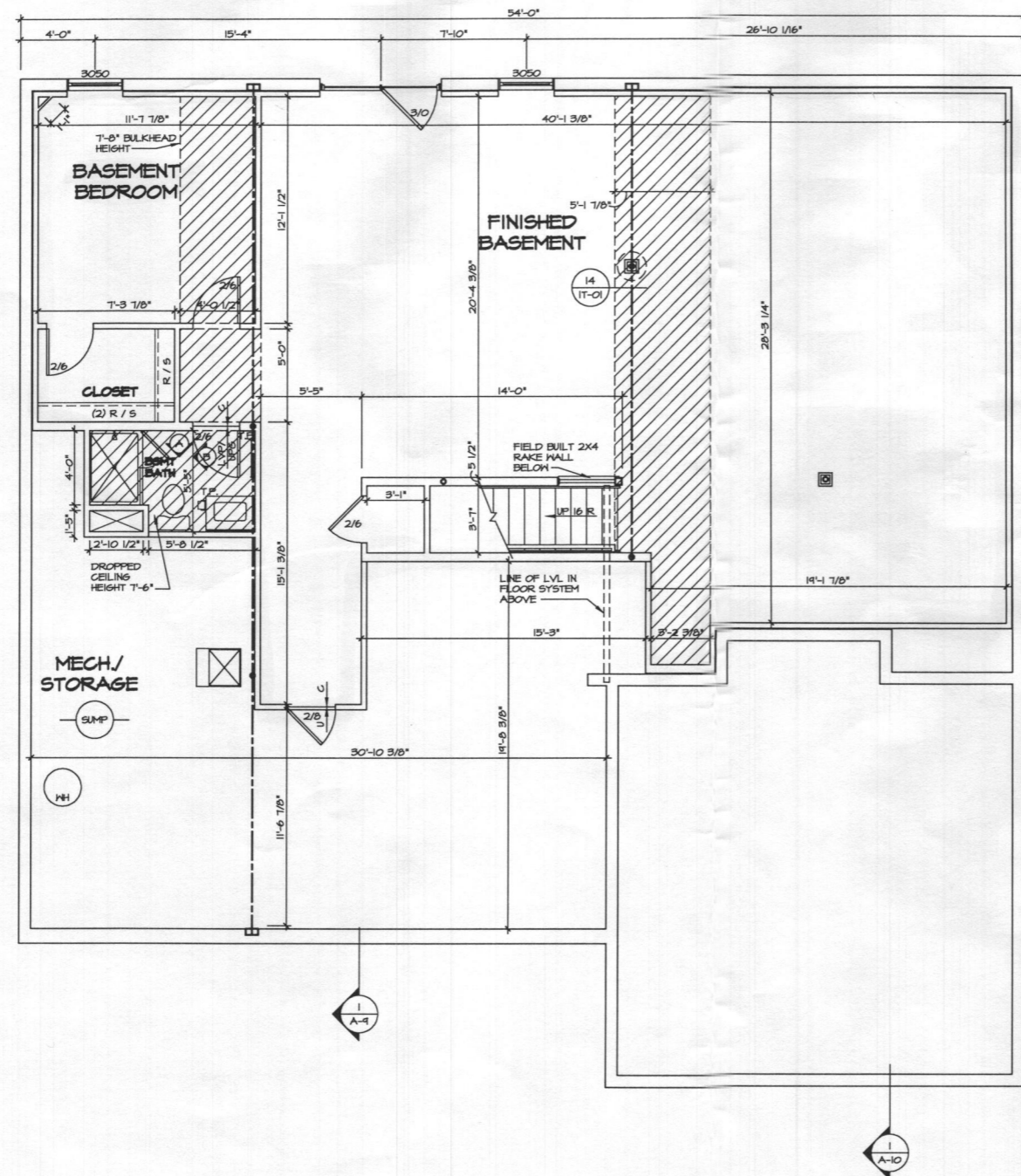
STANDARD DETAILS	FULL BASEMENT	
	STD. DIMS.	
AD-1		
AD-1b		
DR-1		
DR-2		
DR-3		
DM-2		
ET-1		
ET-1b		
ET-1c		
ET-1e		
ET-1f		
ET-2		
ET-3a		
F-1		
F-1b		
F-2		
F-3		
F-3a		
FA-1		
FC-1		
FC-2		
FC-4		
FD-1		
FD-2		
FD-2a		
FD-3		
FP-1		
GB-1		
IT-1		
IT-1b		
IT-1c		
IT-2		
JT-1		
JT-3		
JT-3a		
KT-1		
RF-1		
RF-1b		
RF-1c		
SEP-1		
SEP-2		
SEP-3		
SEP-4		
SP-1		
SP-2		
SP-3		
ST-1		
ST-2		
WB-1		
WB-2		
WD-1		
WD-2		
WD-3		
WB-1		

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2157 SF
	2157 SF
<b>B20002608</b>	
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
	2133 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. 'A' OR 'K' OR 'R'	507 SF
	507 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1527 SF
	1527 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
UNFINISHED STORAGE	350 SF
MECHANICAL ROOM	245 SF
	600 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2157 SF
2ND FLOOR (BASE SF)	2133 SF
FINISHED BASEMENT	1527 SF
	5817 SF

SET - VERSION  
11900 - 01

CS-1

C:\NVR\Software\STRATFORD HALL\_11900\_01\MDE-1W-0007\2008921\Sheets\Lot\_Specific\CS-1\_COVERSHEET.dwg 07/20/20 - 8x11 cm



**1**  
A-6 **BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEETS FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

**GYPSUM NOTES**

**AT GARAGE:**  
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

**AT STAIRS:**  
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET.

**WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA**

**NOTES:**

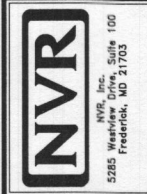
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

**LEGEND**

- BEARING WALL
  - - - NON BEARING WALL
  - ⊗ INDICATES BEARING FROM POINT-LOAD ABOVE
  - J JACKS
  - B BEAM/HEADER
  - F PAD FOOTING
  - C STEEL COLUMN
  - X PORTAL FRAME
  - X JOIST/TRUSS
  - L LVL
  - X ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

DIV.-COMM-LOT-UNIT  
**MDE-1W-0007**  
COMM-LOT  
MALKER MEADOWS - 0007  
STREET ADDRESS  
10226 HIGH STEPPER TRAIL  
CITY  
BYKESVILLE  
STATE  
MD  
ZIP  
21784  
APT. NO.

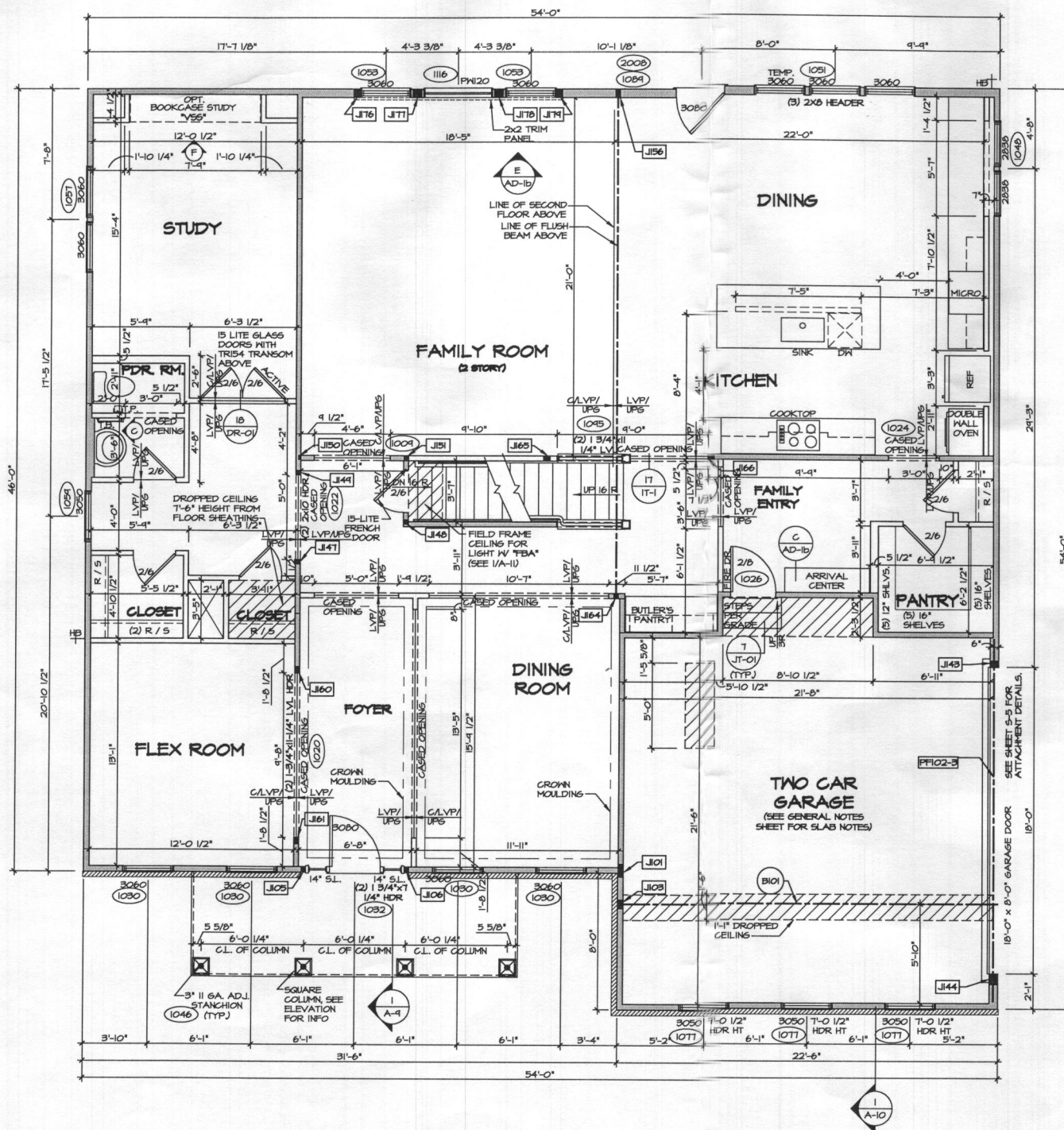
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SET NO. 11800  
VERSION 01  
DRAWN BY BIM  
DATE:  
OPTION

**STRATFORD HALL**  
DRAWING TITLE  
**BASEMENT FLOOR PLAN**  
OPTION DESCRIPTION

SHEET NO.  
**A-6**  
27

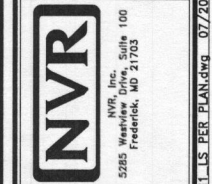


1  
A-7 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

DIV-COMM-LOT-UNIT  
**MDE-1W-0007**  
COMM-LOT  
WALKER MEADOWS - 0007  
STREET ADDRESS  
10226 HIGH STEPPER TRAIL  
CITY STATE MD ZIP  
SYKEVILLE MD 21784

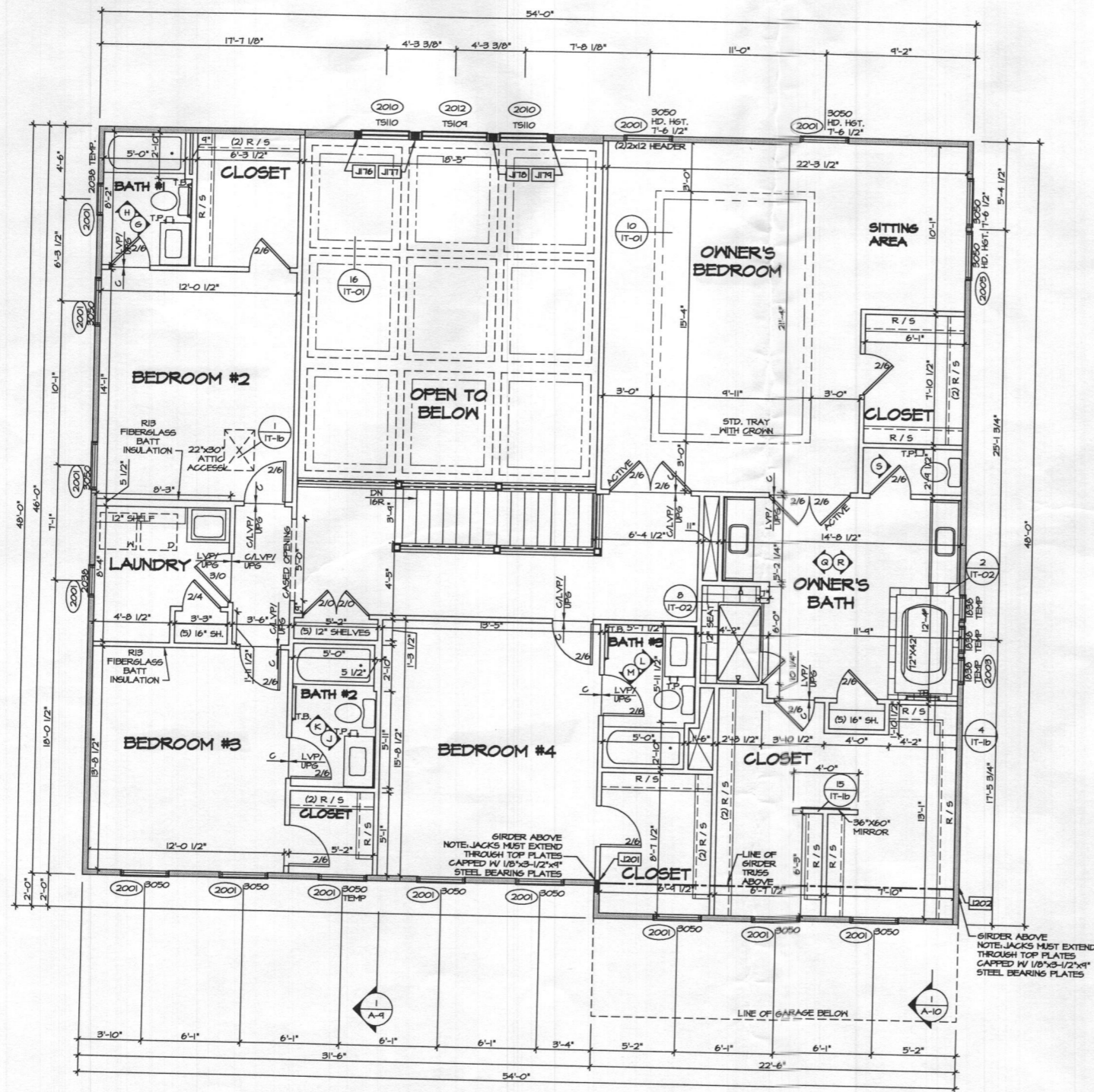
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SET NO. 11400  
VERSION 01  
DRAWN BY ZDM  
DATE: 4/16/16  
OPTION

MODEL  
**STRATFORD HALL**  
DRAWING TITLE  
FIRST FLOOR PLAN  
OPTION DESCRIPTION

SHEET NO.  
**A-7**  
29



**1 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
  2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
  3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
  4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
  5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
  6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
  7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
  8. ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
  9. ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

**LEGEND**

- BEARING WALL
- NON BEARING WALL
- ⊗ INDICATES BEARINGS FROM POINT-LOAD ABOVE
- ⌊ JACKS
- ⊖ BEAMHEADER
- ⊞ PAD FOOTING
- ⊕ STEEL COLUMN
- ⊗ PORTAL FRAME
- ⊗ JOIST/TRUSS
- LVL
- ⊗ ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

**SECOND FLOOR JACK SCHEDULE**

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J176	JACK - (3) 2x6 SFF #2		2014	FULL HEIGHT STUDS
J177	JACK - (4) 2x6 SFF #2		2015	FULL HEIGHT STUDS
J178	JACK - (4) 2x6 SFF #2		2015	FULL HEIGHT STUDS
J179	JACK - (3) 2x6 SFF #2		2014	FULL HEIGHT STUDS
J201	JACK - (6) 2x4 SFF#1		2008	
J202	JACK - (6) 2x4 SFF#1		2008	

DIV-COMM-Lot-UNIT  
**MDE-IN-0007**  
 COMM-Lot  
 WALKER MEADOWS - 0007  
 STREET ADDRESS  
 1026 HIGH STEPPER TRAIL  
 CITY  
 SYKESVILLE  
 STATE  
 MD  
 ZIP  
 21154  
 APT. NO.  
 APT. NO.

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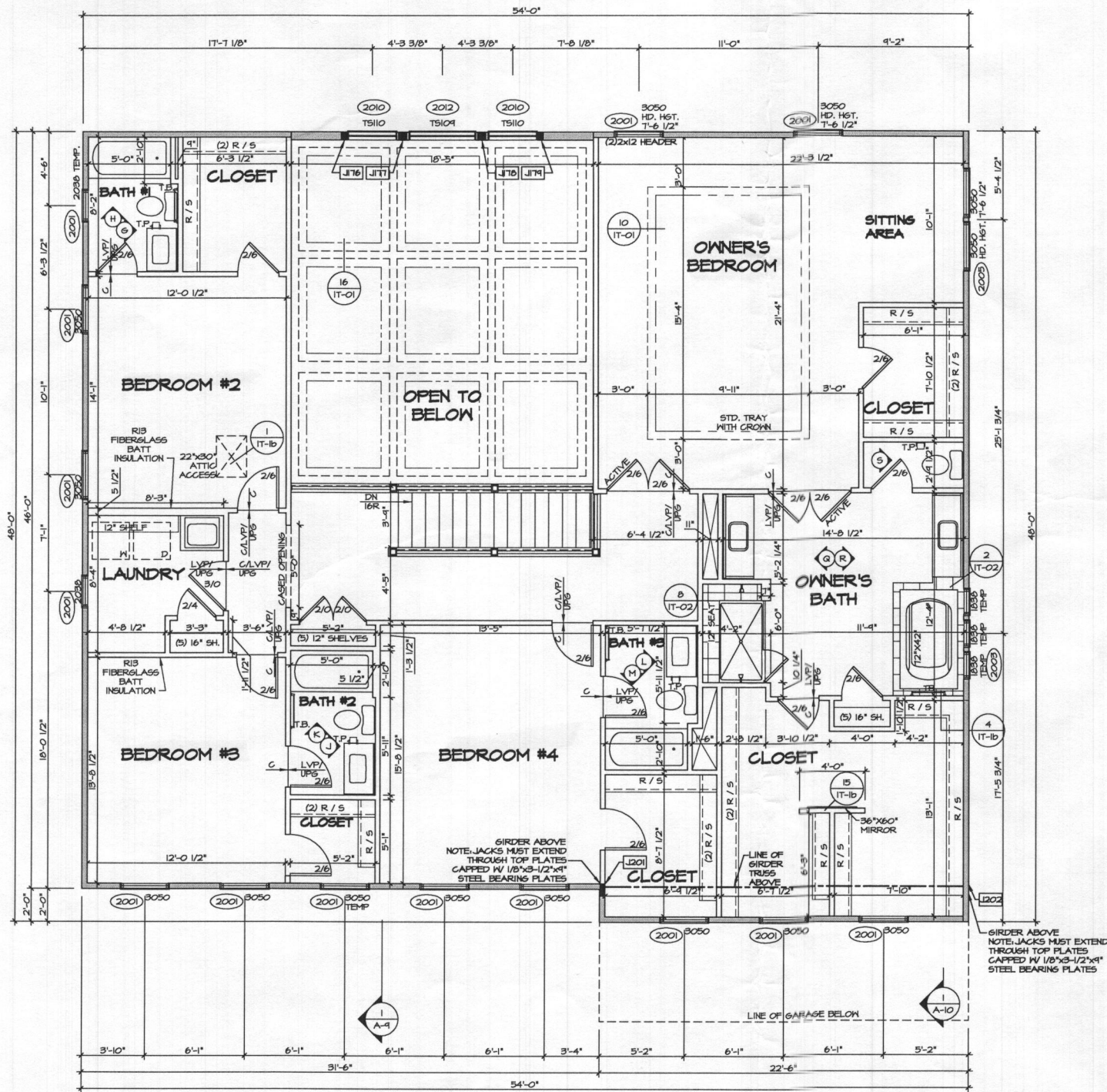
**NVR**  
 NVR, Inc.  
 5285 Washburn Drive, Suite 100  
 Frederick, MD 21703

SET NO. 11900  
 VERSION 01  
 DRAWN BY BIM  
 DATE:  
 OPTION

**STRAITFORD HALL**  
 SECOND FLOOR PLAN  
 OPTION DESCRIPTION

SHEET NO.  
**A-8**  
 32.1

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**1 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
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4. HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED. SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
5. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
6. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
7. ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
8. ALL CASED OPENINGS AT 7'-1", UNLESS OTHERWISE NOTED.

**LEGEND**

- BEARING WALL
  - NON BEARING WALL
  - INDICATES BEARING FROM POINT-LOAD ABOVE
  - JACKS
  - BEAM-HEADER
  - PAD FOOTING
  - STEEL COLUMN
  - PORTAL FRAME
  - JOIST/TRUSS
  - LVL
  - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

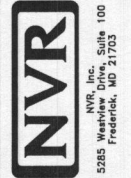
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DIV-COMM-LOT-UNIT  
**MDE-IN-0007**

COMM-LOT  
MALKER MEADOWS - 0007  
STREET ADDRESS  
1026 HIGH STEPPER TRAIL  
CITY  
STYKESVILLE  
STATE  
MD  
ZIP  
21164

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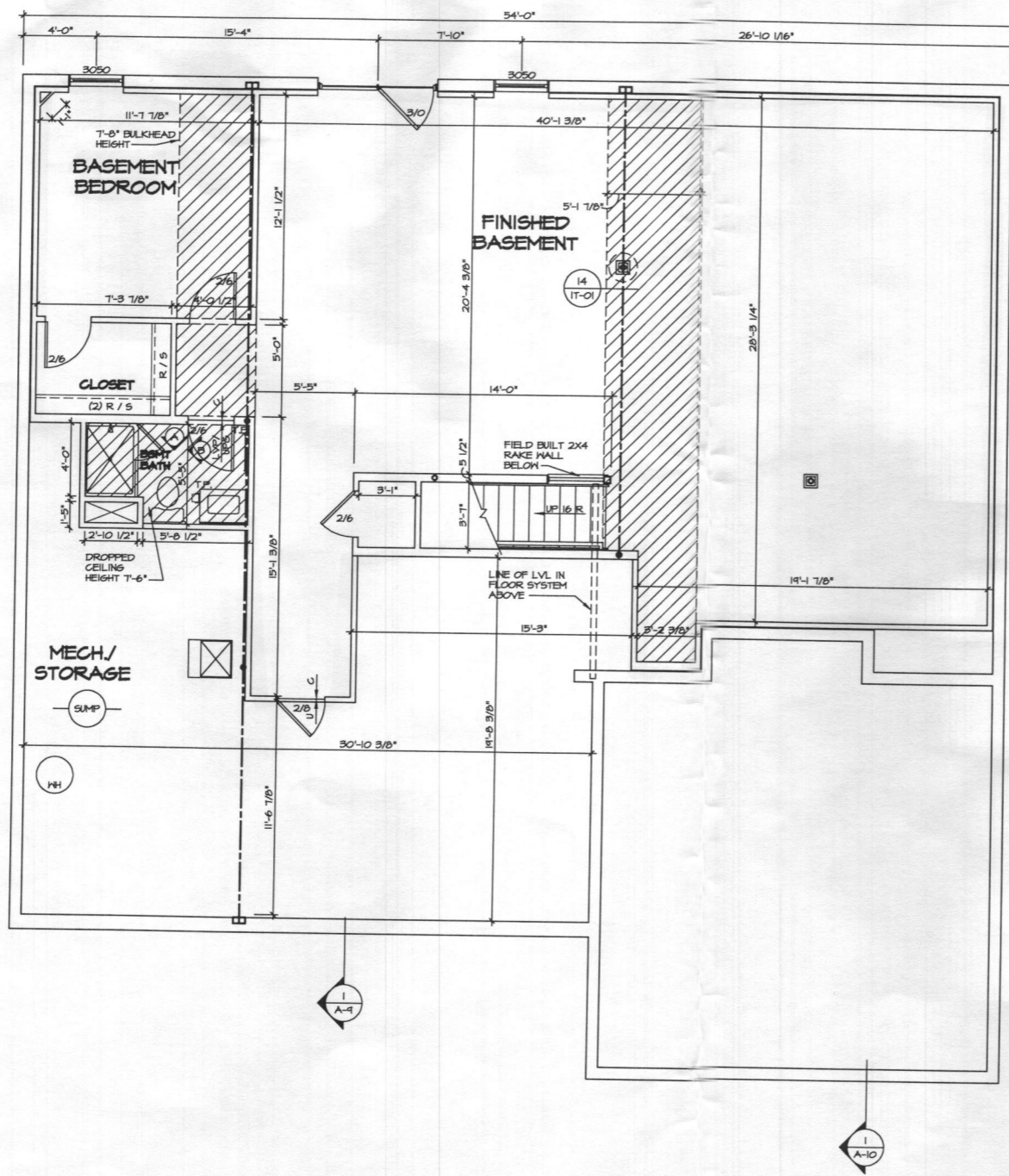


SET NO. 11400  
VERSION 01  
DRAWN BY: BJM  
DATE:  
OPTION

MODEL  
**STRATFORD HALL**  
DRAWING TITLE  
SECOND FLOOR PLAN  
OPTION DESCRIPTION

SHEET NO.  
**A-8**  
32.1





**1**  
A-6  
**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

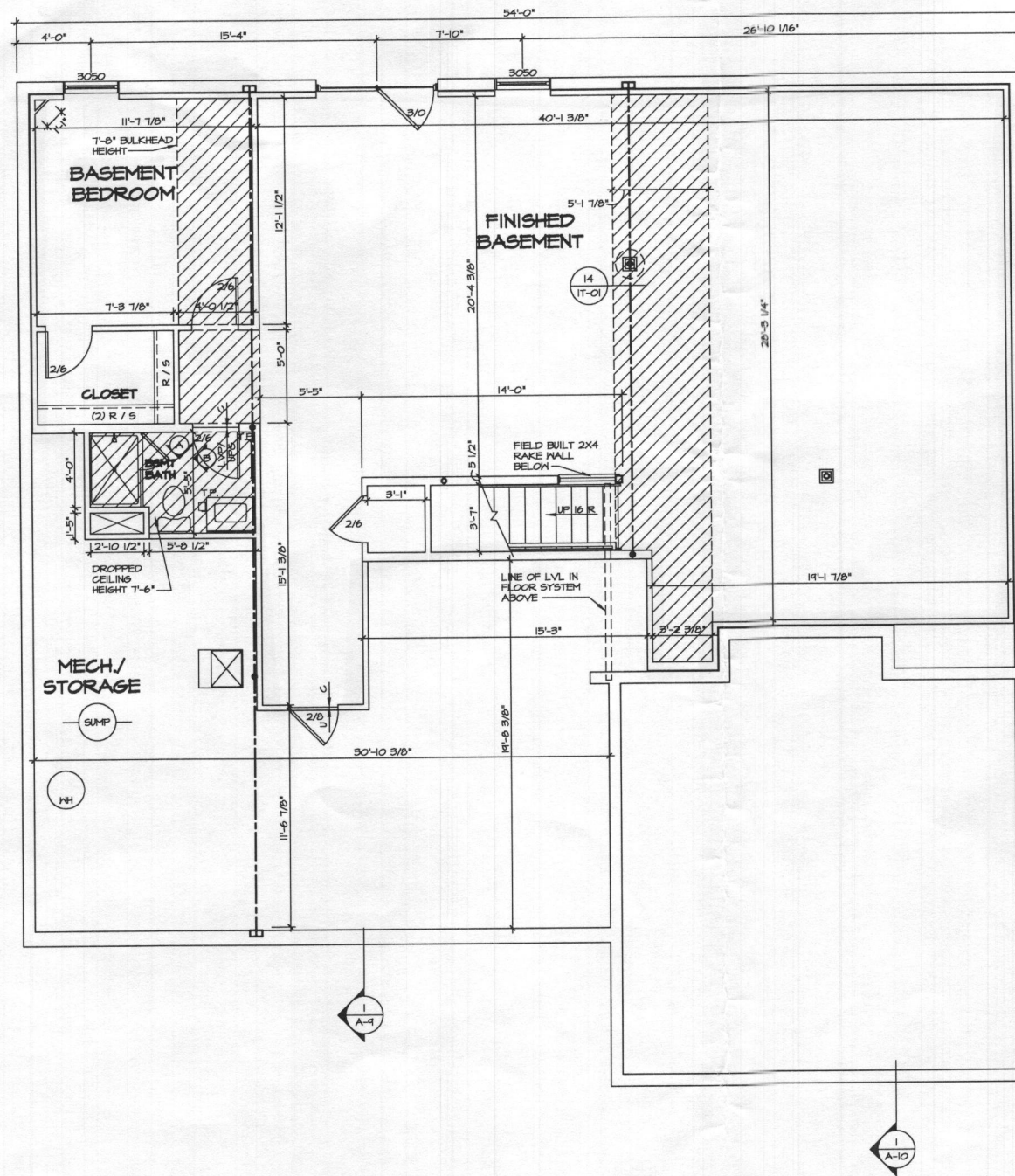
- FLOOR PLAN NOTES**
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  9. ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.
- GYPSON NOTES**
- AT GARAGE:  
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:  
1/2" GYPSON BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET
- WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA
- NOTES:**
- 1/2" GYPSON WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
  - A MAXIMUM AREA OF 20 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" x 8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
  - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

**LEGEND**

	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE JACKS
	JACKS
	BEAMHEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

SHEET NO. <b>A-6</b>	MODEL <b>STRATFORD HALL</b>	SET NO. 11900	VERSION 01	DRAWN BY: BIM	DATE:	OPTION
		DRAWING TITLE <b>BASEMENT FLOOR PLAN</b>				
OPTION DESCRIPTION		27				
DIV-COMM-LOT-UNIT <b>MDE-1W-007</b>		COUNTY <b>MALKER MEADOWS - 0007</b>				
STREET ADDRESS <b>10236 HIGH STEPPER TRAIL</b>		CITY <b>STYKESVILLE</b>				STATE <b>MD</b>
APT. NO.		ZIP		21784		
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<p>C:\NVR\Software\STRATFORD_HALL_11900_01\MDE-1W-007A\20080921\Sheet\A-6_BSM1_US.dwg 07/20/20 - 9:42 am</p>						



**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (B) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEETS FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
4. ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

**GYPSON NOTES**

**AT GARAGE:**  
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

**AT STAIRS:**  
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND HALLS IN CLOSET.

**WITH OPTION "SGI" - DRYWALL UNFINISHED BASEMENT CEILING AREA**

**NOTES:**

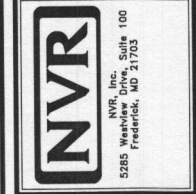
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x6'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

**LEGEND**

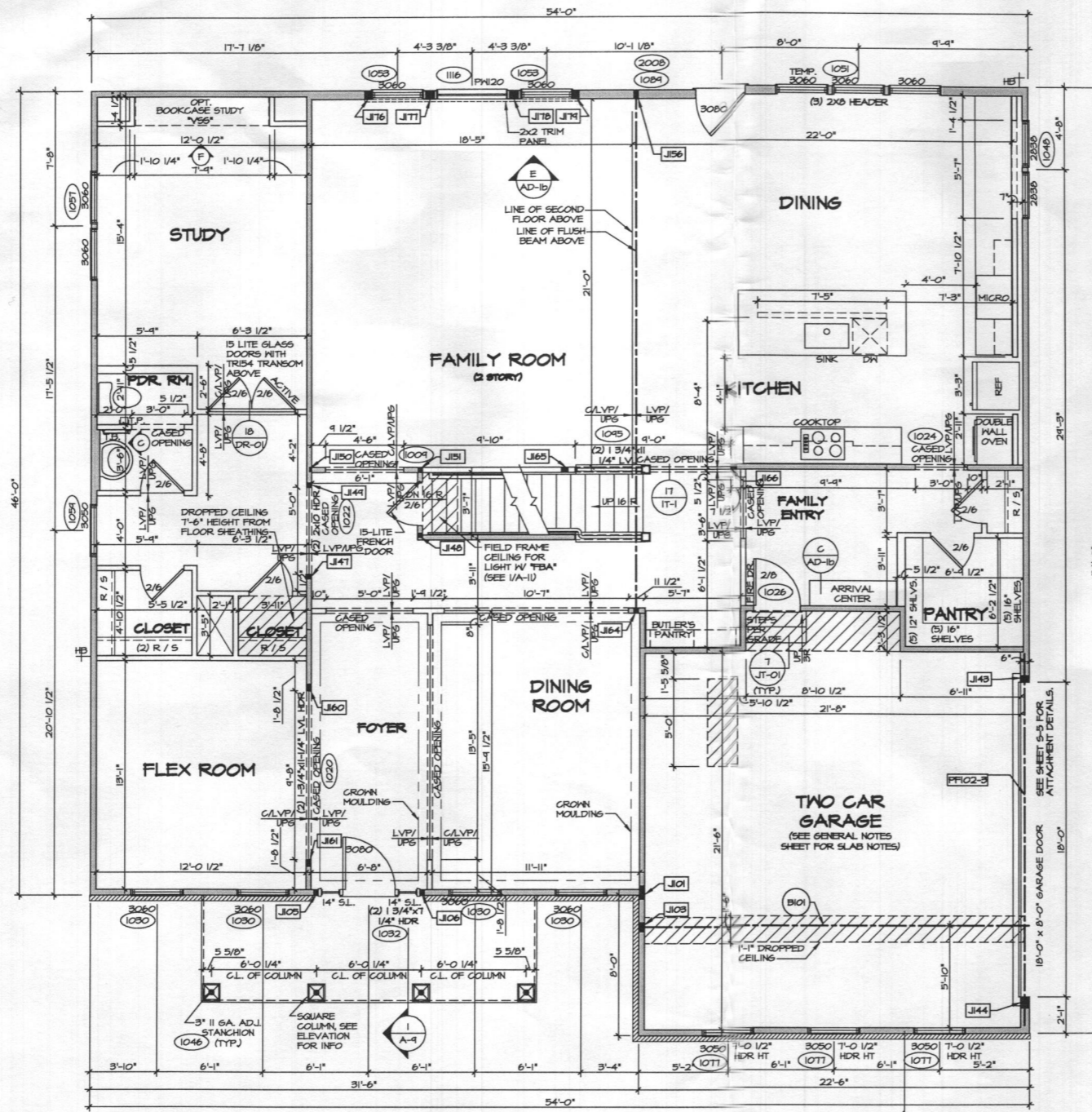
- BEARING WALL
  - - - NON BEARING WALL
  - ⊗ INDICATES BEARING FROM POINT-LOAD ABOVE
  - J JACKS
  - B BEAM/HEADER
  - F PAD FOOTING
  - C STEEL COLUMN
  - X PORTAL FRAME
  - X JOIST/TRUSS
  - L LVL
  - X ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

DIY-COMM-LOT-UNIT  
**MDE-1W-0007**  
COMM-LOT  
MALKER MEADOWS - 0007  
STREET ADDRESS  
1026 HIGH STEPPER TRAIL  
CITY STATE MD ZIP  
BYKESVILLE 21784

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MODEL <b>STRATFORD HALL</b>	SET NO. 11800
DRAWING TITLE <b>BASEMENT FLOOR PLAN</b>	VERSION 01
DRAWN BY BIM	DATE:
OPTION DESCRIPTION	OPTION
<b>A-6</b>	<b>27</b>

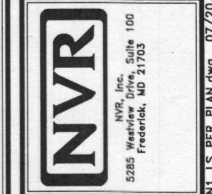


1  
A-7 **FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

SHEET NO. <b>A-7</b>	MODEL <b>STRATFORD HALL</b>	SET NO. 11400	DIV.-COMM-L0T-UNIT <b>MDE-IN-0007</b>
	DRAWING TITLE FIRST FLOOR PLAN	VERSION 01	
OPTION DESCRIPTION <b>29</b>	DATE: 4/16/16	DRAWN BY ZDM	STREET ADDRESS 1026 HIGH STEPPER TRAIL
	OPTION		DATE: 4/16/16
			STATE MD
			ZIP 21154

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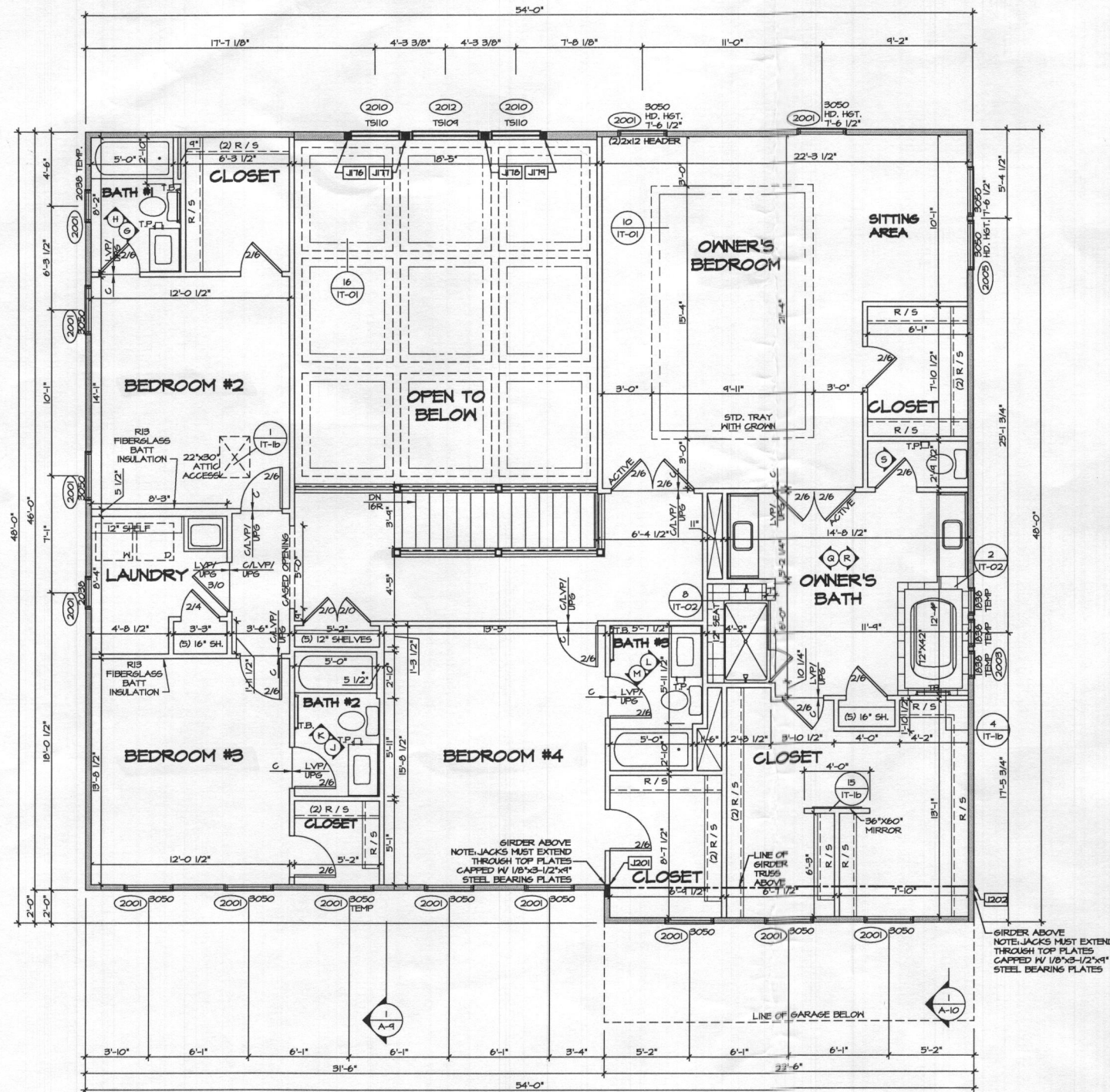
**FLOOR PLAN NOTES**

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED. SEE TRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
5. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
6. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
7. ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
8. ALL CASED OPENINGS AT T-1", UNLESS OTHERWISE NOTED.

**LEGEND**

- BEARING WALL
  - NON BEARING WALL
  - ⊗ INDICATES BEARING FROM POINT-LOAD ABOVE
  - ⊔ JACKS
  - ⊖ BEAM/HEADER
  - ⊞ PAD FOOTING
  - ⊕ STEEL COLUMN
  - ⊗ PORTAL FRAME
  - ⊗ JOIST/TRUSS
  - LVL
  - ⊗ ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

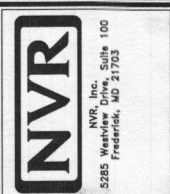
SECOND FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
JIT6	JACK - (3) 2x6 SFF #2		2014	FULL HEIGHT STUDS
JIT7	JACK - (4) 2x6 SFF #2		2015	FULL HEIGHT STUDS
JIT8	JACK - (4) 2x6 SFF #2		2015	FULL HEIGHT STUDS
JIT9	JACK - (3) 2x6 SFF #2		2014	FULL HEIGHT STUDS
J201	JACK - (6) 2x4 SFF#		2008	
J202	JACK - (6) 2x4 SFF#		2008	



**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

DIV-COMM-LOT-UNIT  
**MDE-IN-0007**

COM-LOT  
WALKER MEADOWS - 0007  
STREET ADDRESS  
1026 HIGH STEPPER TRAIL  
CITY  
BYKESVILLE  
STATE  
MD  
ZIP  
21764



SET NO. 11800  
VERSION 01  
DRAWN BY BIM  
DATE:  
OPTION

MODEL  
**STRATFORD HALL**  
DRAWING TITLE  
**SECOND FLOOR PLAN**  
OPTION DESCRIPTION

SHEET NO.  
**A-8**  
32.1

CA:\NVA\Solera\STRATFORD HALL\_11800\_01\NVA-C-1W-0007A-20080221\Sheets\Lot\_Specific\32.1 A-8 PLN2 LS.dwg 07/20/20 - 8:42 am