

PERMIT NUMBER: B 21004061

DATE ACCEPTED:

DILP 2021 OCT 21 PM 12:26



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 15320 Old Frederick Road Unit: _____
 City: Woodbine State: MD Zip Code: _____
 Subdivision/Village/Complex Name: Fairlane Farm SDP/WP/BA #: _____
 Lot: PAR A Tax Map: 0008 Parcel: A Grading Permit #: _____

DESCRIPTION OF WORK REQUIRED

Existing Use: Primary Residence Proposed Use: Primary Residence Estimated Cost: \$ 225,000
 Trade Work to be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None
 TO ADD FRONT PORCH (370 SF) and MUD ROOM BREEZE WAY (120 SF) - NEW PERMIT
 TOTAL AREA OF CONSTRUCTION 490 SQ FT

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): ROBERT AKINOLA AJUWON & FOLUKE OLUFUNBI AJUWON Primary Residence: Yes No
 Owner's Street Address: 15320 OLD FREDERICK DRIVE
 City: WOODBINE State: MD Zip Code: 21797
 Phone: 202-848-8275 Email: AAJUWON@GMAIL.COM

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: _____ Contact Name: ROBERT AKINOLA AJUWON
 Street Address: 15320 OLD FREDERICK ROAD
 City: WOODBINE State: MD Zip Code: 21797
 Phone: 202-848-8275 Email: AAJUWON@GMAIL.COM

CONTRACTOR INFORMATION REQUIRED

Business Name: OWNER TO ACT AS CONTRACTOR
 Licensee's Name: N/A License #: N/A
 Street Address: N/A
 City: N/A State: N/A Zip Code: _____
 Phone: N/A Email: _____

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: N/A Name: N/A
 Street Address: N/A
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Email: _____

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
 Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
 Heating System: Electric Natural Gas Propane Other: _____ Roadside Tree Project: No Yes: # _____
 Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: _____
 # of Bedrooms (SF): 3 # of efficiency units (MF*): _____ # of 1 BR (MF*): _____ # of 2 BR (MF*): _____ # of 3 BR (MF*): _____
 # Rooms: _____ # Full Baths: 3 # Half Baths: 1 # Fireplaces: 2 (WOOD)
 Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
 Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
 1st Fl Width: 35' 1st Fl Depth: 26' 2nd Fl Width: 35' 2nd Fl Depth: 26' Beam Width: 35' Beam Depth: 26'
 Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 2,730 sq ft Occupiable Area: 2,730 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THEREON; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: DATE SIGNED: 8/31/2021

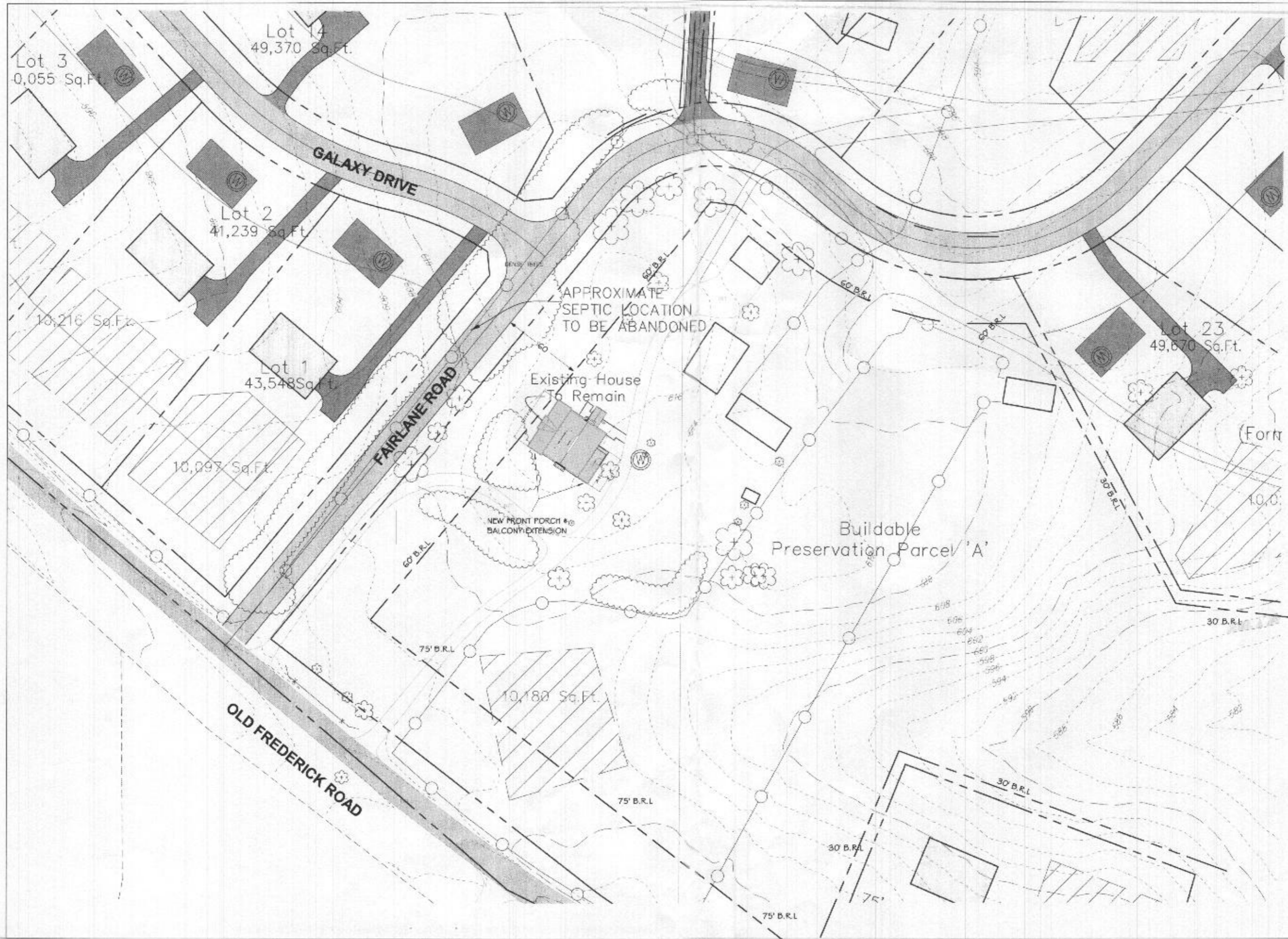
FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:
 PR DPZ DEB Health SHA CID

SUBMITTAL FEES: \$25.00 PAYMENT: CK#1153 ACCEPTED BY: AKH

*SEE B21001783 FOR INTERIOR WORK



TDS

TDS Architectural Design

Tel: 204-248-2828
 Email: tds@tdsdesign.com

While the drawings on these plans were prepared in accordance with the professional standards of the profession, the user is responsible for verifying the accuracy of the information shown on these plans.

AJUWON RESIDENCE

15320 OLD FREDERICK ROAD, WOODBINE, MD 21797

Issued	Date
Final Plan	08/16/21

PROFESSIONAL CERTIFICATION:
 I CERTIFY THAT THESE DRAWINGS WERE PREPARED OR SUPERVISED BY ME AND THAT I AM A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

Professional Stamp

SITE PLAN

SP

LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	NEW WALL - SEE WALL TYPES AND DRAWINGS
	EXISTING DOOR - SEE DOOR SCHEDULE
	WINDOW TAG - SEE SCHEDULE SHEET
	ROOM NAME
	ROOM NAME AND AREA
	KEY NOTE
	WALL TYPE - SEE DETAIL
	DETAIL NUMBER
	SHEET NUMBER
	INTERIOR ELEVATION - ARROW INDICATES DIRECTION OF VIEW
	SECTION DETAIL - ARROW INDICATES DIRECTION OF VIEW
	DETAIL NUMBER
	SHEET NUMBER
	PLAN DETAIL - SEE COORDINATING SHEETS FOR ENLARGED DETAILS

TDS

TDS Architectural Design

Tel: 240-478-8528
Email: tdstennet@icloud.com

Written dimensions on these shall have precedence over scale dimensions contractors shall verify & conditions on the job.

AJUWON RESIDENCE
15320 OLD FREDERICK ROAD, WOODBINE, MD 21797

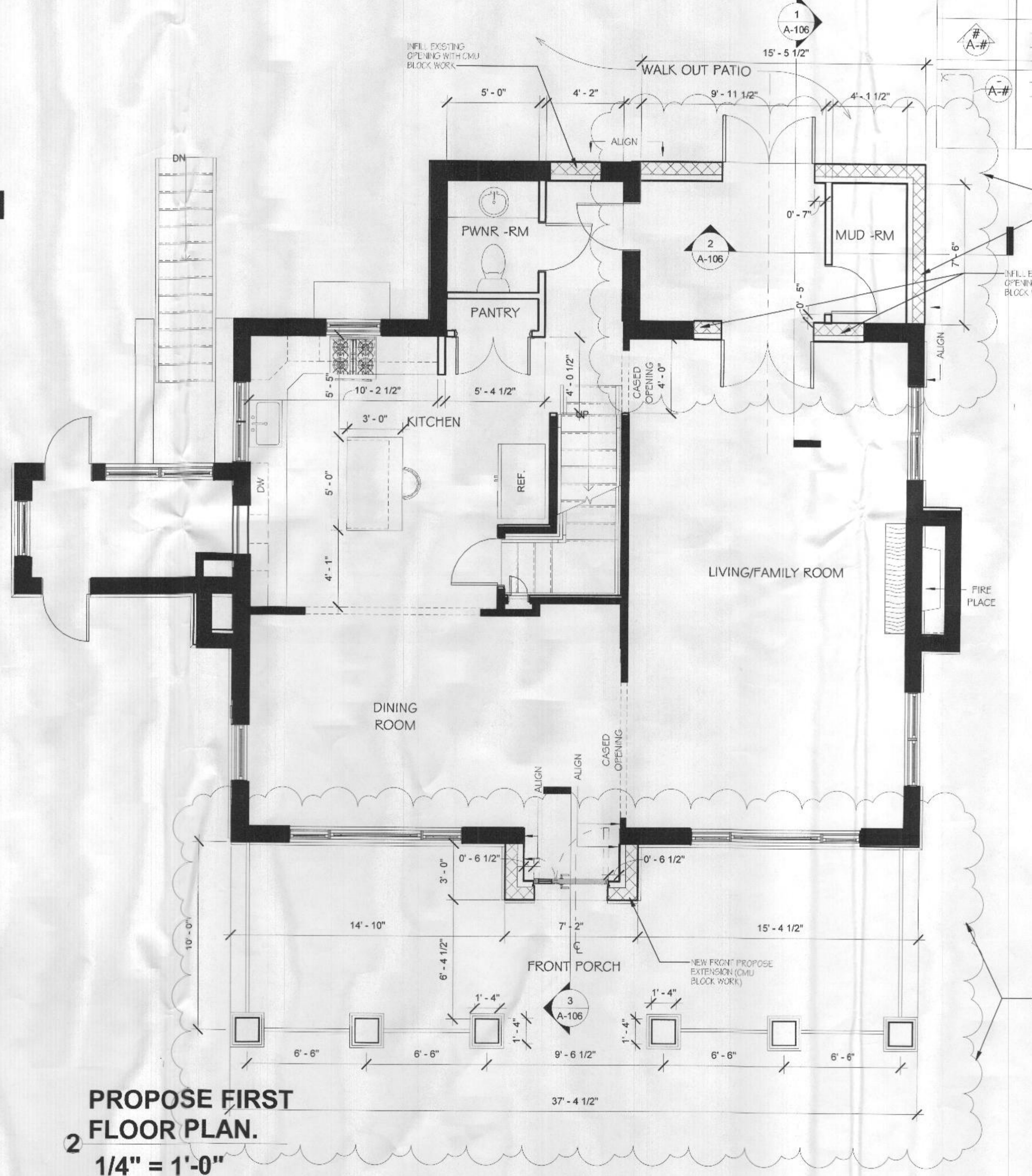
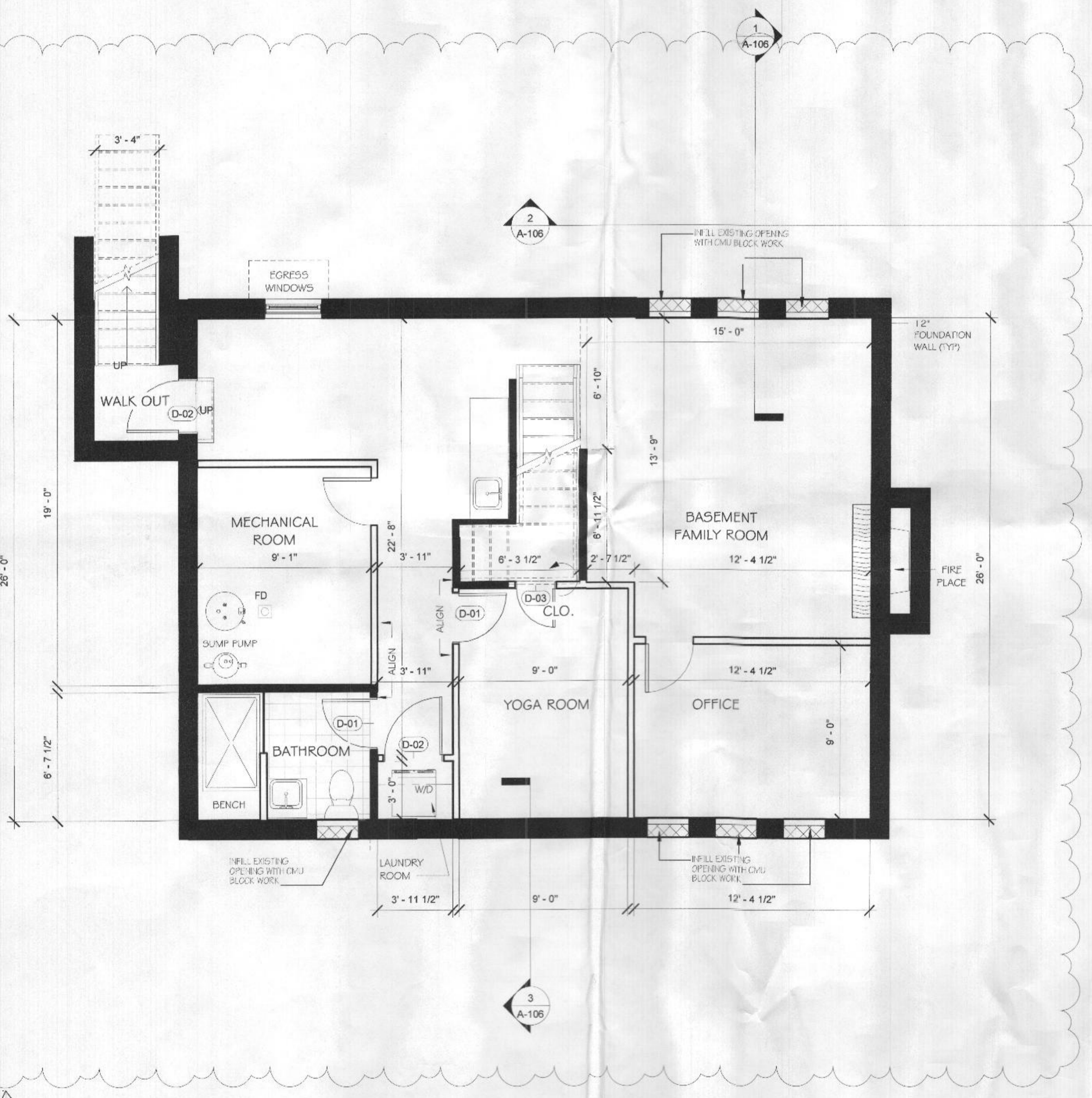
Issued	Date
Floor Plan	05/18/21
Revision	10/14/21

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Permit Stamp

ARCHITECTURAL FLOOR PLAN

A-101



AJUWON RESIDENCE RENOVATIONS

15320 OLD FREDERICK ROAD, WOODBINE, MD 21797

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ABBREVIATIONS

@	AT	INSUL.	INSULATION
A.B.	ANCHOR BOLT	INT.	INTERIOR
ACT./ACCOUS.	ACCOUSTICAL	J.C.	JANITOR'S CLOSET
ALT.	ALTERNATE	JT.	JOINT
ALUM.	ALUMINUM	LAV.	LAVATORY
ARCH.	ARCHITECTURAL	L.C.C.	LEAD COATED COPPER
A.C.P.	ACOUSTICAL CEILING PANEL	LN.	LINEAR
		L.L.	LIVE LOAD
		LP. (LP)	LOW POINT
BD.	BOARD	MACH.	MACHINE
BLDG.	BUILDING	MAX.	MAXIMUM
BM.	BY OWNER	M.B.	MARKER BOARD
B.O.	BEARING	M&E	MECHANICAL & ELECTRICAL
BRNG./BRG.	BRICK	MECH.	MECHANICAL
BRK.	BASEMENT	MET./METL.	METAL
BSMT.	BUILT-UP	MIN.	MINIMUM
B.U.		MISC.	MISCELLANEOUS
		MFG	MANUFACTURER
C.B.	CHALKBOARD	M.T.	METAL THRESHOLD
CEIL./CLG.	CEILING	MAR.T.	MARBLE THRESHOLD
C.H.	CEILING HEIGHT	MULL.	MULLION
C.J.	CONTROL JOINT	M.O.	MASONRY OPENING
CL	CENTER LINE	M.W.F.	MEMBRANE WATERPROOFING
CLO.	CLOSET	N	NORTH
CMU	CONCRETE MASONRY UNIT	N.I.C.	NOT IN CONTRACT
C.O.	CASED OPENING	N.T.S.	NOT TO SCALE
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	NOM.	NOMINAL
CONF.	CONFERENCE	O.C.	ON CENTER
CONST.	CONSTRUCTION	O.D.	OUTSIDE DIAMETER
CONT.	CONTINUOUS	OPP.	OPPOSITE
CORR.	CORRIDOR	PL.	PLATE
CSK.	CONTERSUNK	PSF	POUNDS PER SQUARE FOOT
C.T.	CERAMIC TILE	PSI	POUNDS PER SQUARE INCH
		PTD.	PAINTED
DET.	DETAIL	Q.T.	QUARRY TILE
D.F.	DRINKING FOUNTAIN	R.	RISER
DIA.	DIAMETER	RAD.	RADIUS
DIM.	DIMENSION	RAIL.	RAILING
DN.	DOWN	R.D.	ROOF DRAIN
DO	DITTO	REBARS	REINFORCED BARS
D.P.	DAMP/PROOFING	REINF.	REINFORCEMENT
D.S.	DOWNSPOUT	R.L.	RAIN LEADER
D.T.	DRAIN TILE	RM.	ROOM
DWG.	DRAWING	R.S.	REDUCER STRIP
		RW	RIGHT OF WAY
EA.	EACH	S.C.	SOLID CORE
EL.	ELEVATOR	SEC.	SECRETARY
E.P.	ELECTRICAL PANEL	SHT.	SHIRT
EQ.	EQUAL	S.F.	SMOOTH FINISH
EQUIPMT	EQUIPMENT	SPECS.	SPECIFICATIONS
E.W.	EACH WAY	S.S.	STAINLESS STEEL
EXIST./EXTG.	EXISTING	S/S	SERVICE SINK
EXP./JT/E.J.	EXPANSION JOINT	STL.	STEEL
EXT.	EXTERIOR	STOR.	STORAGE
E.I.F.S	EXTERIOR INSULATION & FINISH SYSTEM	STRUCT.	STRUCTURE
F.D.	FLOOR DRAIN	T.B.	TOWEL BAR
F.X.C.	FIRE EXTINGUISHER CABINET	TEL.	TELEPHONE
F.X.H.C	FIRE EXTINGUISHER & HOSE CABINATE	TEMP.	TEMPERED
F.X.V.C	FIRE EXTINGUISHER & VALVE CABINATE	THK.	THICK
F.F.	FINISHED FLOOR	T.D.	TOWEL DISPENSER
FLR./FL	FLOOR	T.P.	TOILET PAPER HOLDER
F.R.	FIRE RATED	TYP.	TYPICAL
		U.C.	UNDER CUT
GA.	GAUGE	V.B.	VAPOR RETARDER
G.B.	GRAB BARS (HANDICAPPED)	V.C.T.	VINYL COMPOSITION TILE
G.C.	GENERAL CONTRACTOR	VERT.	VERTICAL
GALV.	GALVANIZED	V.P.	VISION PANEL
GRD.	GROUND	W	WITH
GYP. BD.	GYP. BOARD	WD.	WOOD
		W.P.	WATERPROOFING
H.C.	HOLLOW CORE	W.W.F.	WELDED WIRE FABRIC
HDCP.	HANDICAPPED	W.W.M.	WELDED WIRE MESH
HGT./HT.	HEIGHT		
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		
H.P. (HP)	HIGH POINT		
HR.	HOUR		

APPLICABLE CODES

- BUILDING /STRUCTURAL CODES:**
- 2018 International Residential Code
 - 2018 International Building Code and Subtitle 4 Prince George's County Building Code
 - 2018 International Existing Building Code
 - 2018 IECC International Energy Conservation Code
 - 2018 The International Swimming Pool and Spa Code

- MECHANICAL/ENERGY:**
- 2018 INTERNATIONAL MECHANICAL CODE
 - 2018 INTERNATIONAL ENERGY CONSERVATION CODE

- ELECTRICAL CODE:**
- 2020 NFPA 70 NATIONAL ELECTRICAL CODE
 - 2018 INTERNATIONAL ENERGY CONSERVATION CODE

- SPRINKLER SYSTEM:**
- 2016 NFPA 13 Installation of Sprinkler Systems
 - 2016 NFPA 13D Installation of Sprinkler Systems in One and Two Family Dwellings.
 - 2016 NFPA 13R Installation of Sprinkler Systems in Residential Occupancies up to 4 stories in height

- FIRE ALARM:**
- 2016 NFPA 72 National Fire Alarm and Signaling Code

SITE LOCATION



GENERAL NOTES

- CONSTRUCT IN ACCORDANCE WITH CURRENT LOCAL, STATE, AND FEDERAL CODES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING.
 - JURISDICTION'S BUILDING CODES
 - PLUMBING CODES
 - MECHANICAL CODES
 - ELECTRICAL CODES
 - ACCESSIBILITY REGULATIONS
 - AMERICANS WITH DISABILITIES ACT AND ACCESSIBILITY GUIDELINES
- FOLLOW IN STRICT ACCORDANCE, REQUIREMENTS OF THE LAW AT THE PLACE OF CONSTRUCTION
- CAREFULLY STUDY AND COMPARE DRAWINGS, SPECIFICATIONS AND OTHER INFORMATION PREPARED BY ARCHITECT. AS TO FIGURES AND METHODS OF CONSTRUCTION, USE CONTRACTOR'S SKILL AND EXPERIENCE FOR WHICH CONTRACTOR RECEIVES COMPENSATION UNDER THIS CONTRACT. REPORT TO THE ARCHITECT FOR RECTIFICATION OF ERRORS, INCONSISTANCIES OR COMMISSIONS THEREIN. FAILURE TO REPORT EXCEPTIONS TO THE OWNER/ARCHITECT BEFORE THE CONTRACTS ARE SIGNED WILL IMPLY A COMPLETE ACCEPTANCE OF THE DESIGN AND CONDITIONS OF THE CONTRACT AND SITE.
- COORDINATE WORK, TRADES AND VERIFY DIMENSIONS, METHODS OF CONSTRUCTION, EXISTING CONDITIONS AND PROPOSED NEW CONSTRUCTION PRIOR TO COMMENCING WORK, MATERIAL ORDERING OR FABRICATION.
- DO NOT SCALE DRAWINGS. IF ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTOR, NOTIFY ARCHITECT. VERIFY DIMENSIONS AND BRING DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT. WHEN CONFLICTS ARE DISCOVERED WITHIN THE CONTRACT DOCUMENTS, NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING INDICATING NATURE OF CONFLICT AND REQUEST CLARIFICATION.
- REPAIR UTILITIES ENCOUNTERED, IF BROKEN BY THE CONTRACTOR, AT CONTRACTOR'S ENTIRE COST AND EXPENSE.
- PATCH OR REPAIR WITH NEW, AT OWNERS /ARCHITECT'S DISCRETION, WORK DAMAGED OR DISTURBED AS A RESULT OF WORK PERFORMED BY CONTRACTOR.
- CONTRACTOR CAN USE SITE FOR STAGING AND STORAGE. ADDITIONAL OFF-SITE REQUIRED STAGING AND STORAGE AREAS SHALL BE PROVIDED BY THE CONTRACTOR'S DISCRETION AND AT NO ADDITIONAL COST TO THE OWNER. SUBMIT LOCATION AND SIZE OF ADDITIONAL CONSTRUCTION STAGING OR STORAGE AREAS TO THE OWNER/ARCHITECT FOR APPROVAL.
- PROTECT MATERIALS FROM MOISTURE. PLACE STORAGE OF MATERIALS TO NOT CAUSE OVERLOADING OF STRUCTURE.
- BROOM CLEAN PREMISES, REMOVE DEBRIS FROM AREA, AND DISPOSE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. INCLUDE FEES FOR DUMPING IN BASE BID.
- SUBMIT SAMPLES AND SHOP DRAWINGS AS SPECIFIED FOR OWNER'S/ARCHITECT'S APPROVAL. WORK PERFORMED WITHOUT APPROVAL FROM OWNER/ ARCHITECT IS THE LIABILITY OF CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY INSERTS, SLEEVES, CLIPS, ANCHORS AND MISCELLANEOUS DEVICES AS MAY BE REQUIRED FOR CONSTRUCTION, DIMENSIONS AND VERIFYING LOCATION OF ITEMS.
- PROVIDE WEATHER-STRIPPING, SEALANT, HARDWARE, TRIM AND MISCELLANEOUS ACCESSORIES TO COMPLETE JOB AS SPECIFIED AND INDICATED.
- FIRE STOP PENETRATIONS THROUGH FIRE RATED ASSEMBLIES. FIRE STOP MATERIALS TESTED IN ACCORDANCE WITH ASTM E814. FIRE STOP F-RATING TO MATCH FIRE RATING OF ASSEMBLY PENETRATED.
- SUBMIT TWO (2) COPIES OF "AS-BUILT" DRAWINGS OF WORK INCLUDING MAINTENANCE AND SERVICE REQUIREMENT MANUALS, TO BE TURNED OVER TO THE OWNER AT COMPLETION OF THE WORK AFTER REVIEW BY THE ARCHITECT.
- COMPLY WITH RULES SET BY OWNER, REGULATIONS AND GUIDELINES REGARDING PARKING, DELIVERIES, WORK HOURS AND CONDITIONS, DEMOLITION, NOTIFICATIONS, SUBMITTALS AND OTHER REQUIREMENTS ESTABLISHED BY OWNER.

SQUARE FOOTAGE

BASEMENT FULL AND FINISHED	942 SF
FINISHED LIVING AREA ON MAIN FLOOR	1,121 SF
SECOND FLOOR FINISHED	1,086 SF
TOTAL BUILT AREA UNDER-ROOF	3,149 SF

SHEET INDEX

GENERAL

CS COVER SHEET

DEMOLITION

D-100 BASEMENT & FIRST DEMOLITION PLANS
D-101 SECOND FLOOR DEMOLITION PLAN

ARCHITECTURAL

A-101 BASEMENT & FIRST FLOOR PROPOSAL PLANS
A-102 SECOND FLOOR & ROOF PROPOSAL PLANS
A-103 PROPOSAL ELEVATIONS
A-104 PROPOSAL ELEVATIONS
A-105 TYPICAL DETAILS

ELECTRICAL

E-200 BASEMENT & FIRST FLOOR ELECTRICAL PLAN
E-201 SECOND FLOOR ELECTRICAL PLAN

OWNER

MR & MISS AJUWON

PROJECT DESCRIPTION

ADDITION/RENOVATION TO EXISTING BUILDING

AJUWON RESIDENCE
15320 OLD FREDERICK ROAD, WOODBINE, MD 21797

Issued Date

Floor Plan 05/18/21

Revision 10/14/21

PROFESSIONAL CERTIFICATION

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Permit Stamp

COVER SHEET

CS

LEGEND

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	EXISTING WALL TO BE DEMOLISHED
	NEW WALL. SEE WALL TYPES AND DRAWINGS
	EXISTING DOOR TO REMAIN
	EXISTING DOOR. SEE DOOR SCHEDULE
	WINDOW TAG, SEE SCHEDULE SHEET
	ROOM NAME
	ROOM NAME AND AREA
	KEY NOTE
	WALL TYPE, SEE DETAIL
	DETAIL NUMBER SHEET NUMBER INTERIOR ELEVATION - ARROW INDICATES DIRECTION OF VIEW
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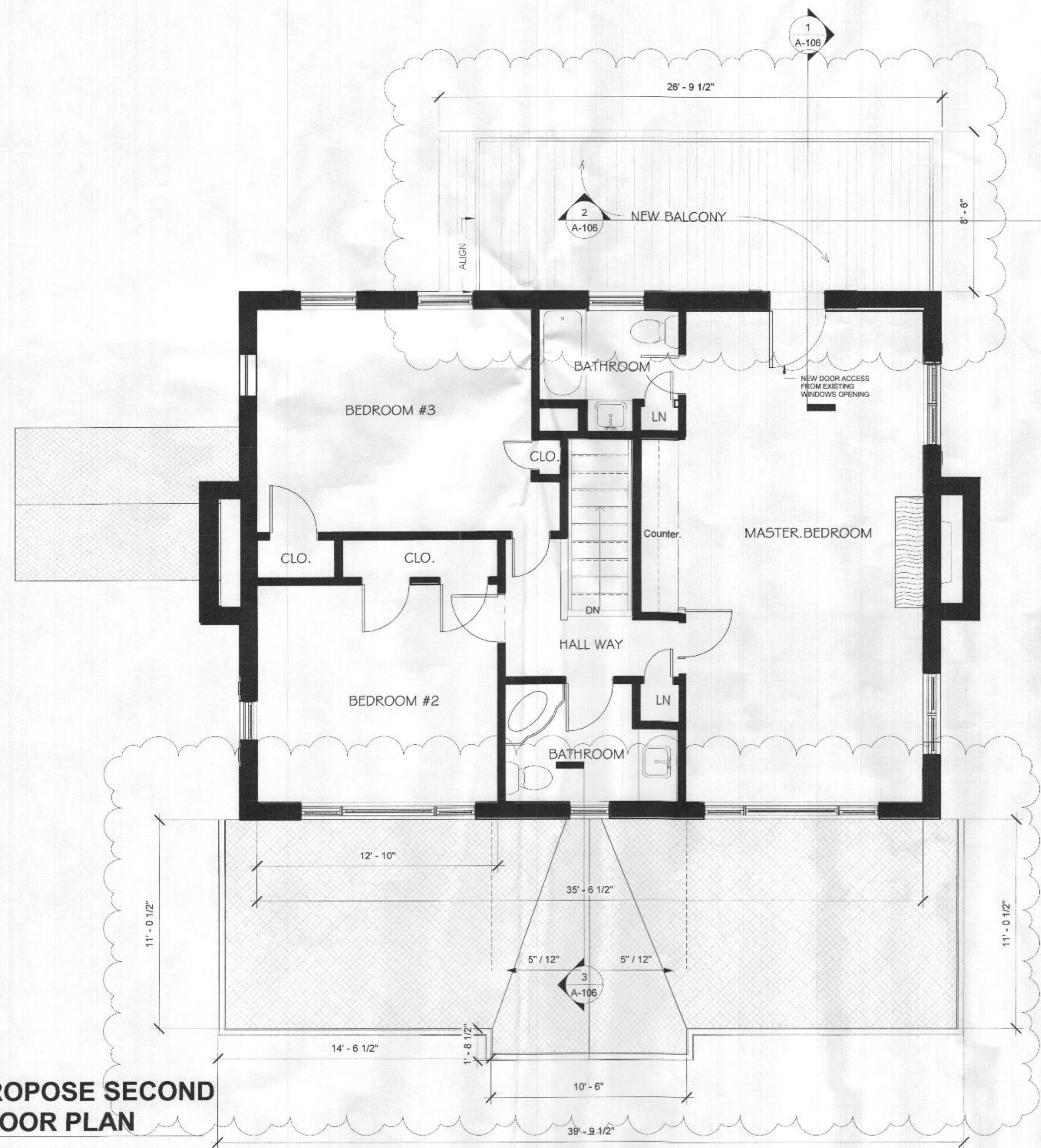
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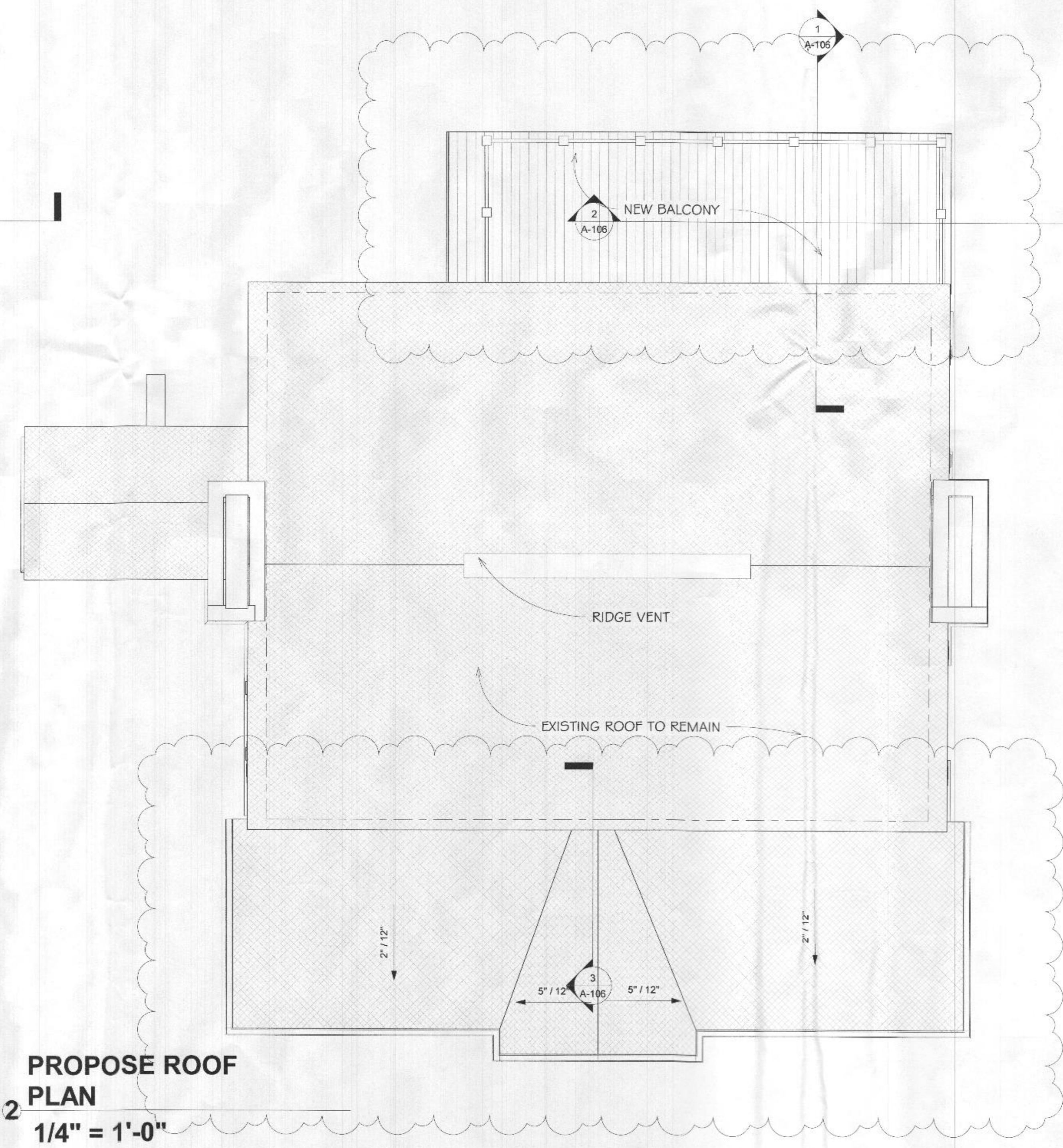
Permit Stamp

ARCHITECTURAL FLOOR PLAN

A-102



PROPOSE SECOND FLOOR PLAN
1/4" = 1'-0"

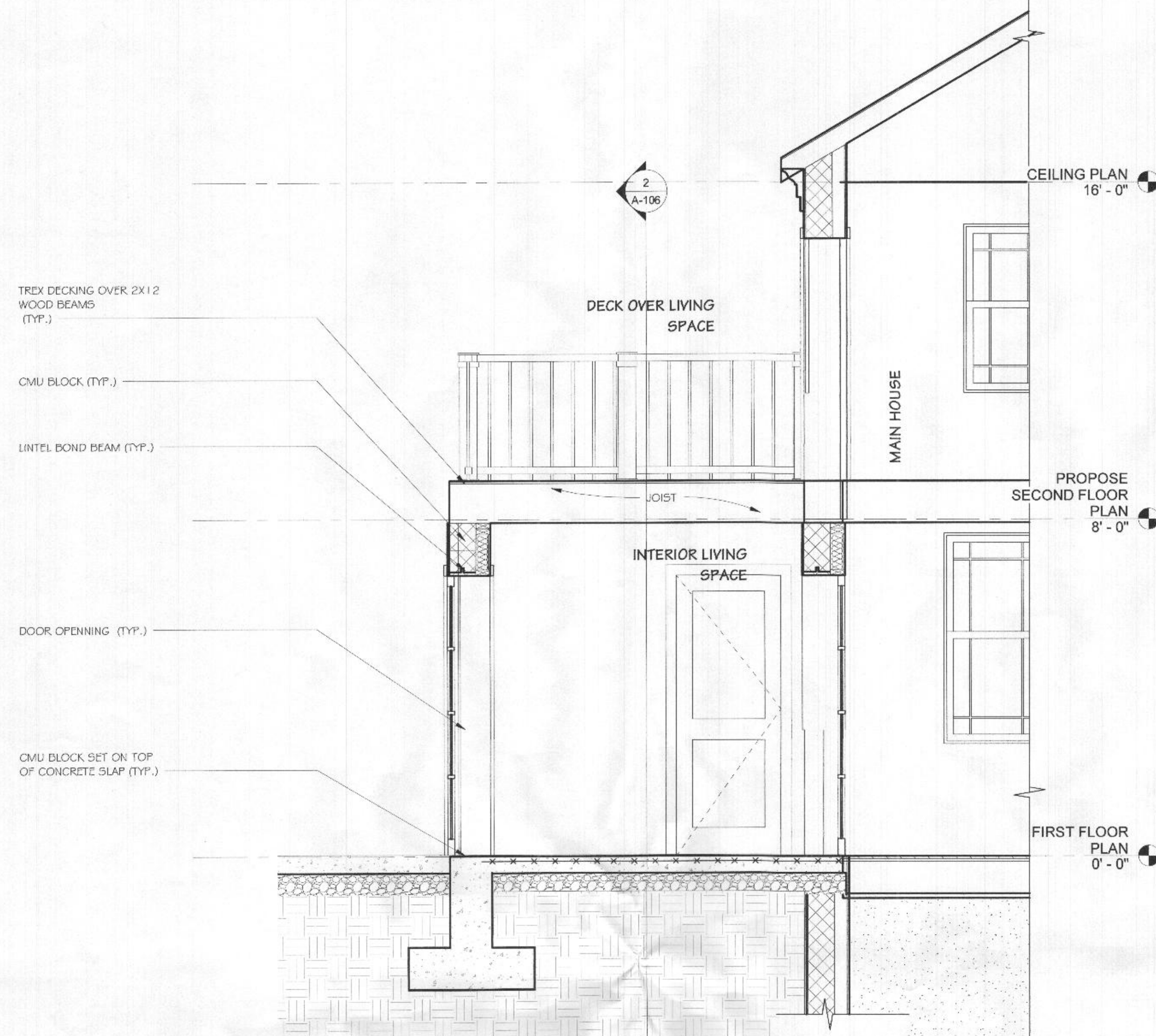


PROPOSE ROOF PLAN
1/4" = 1'-0"

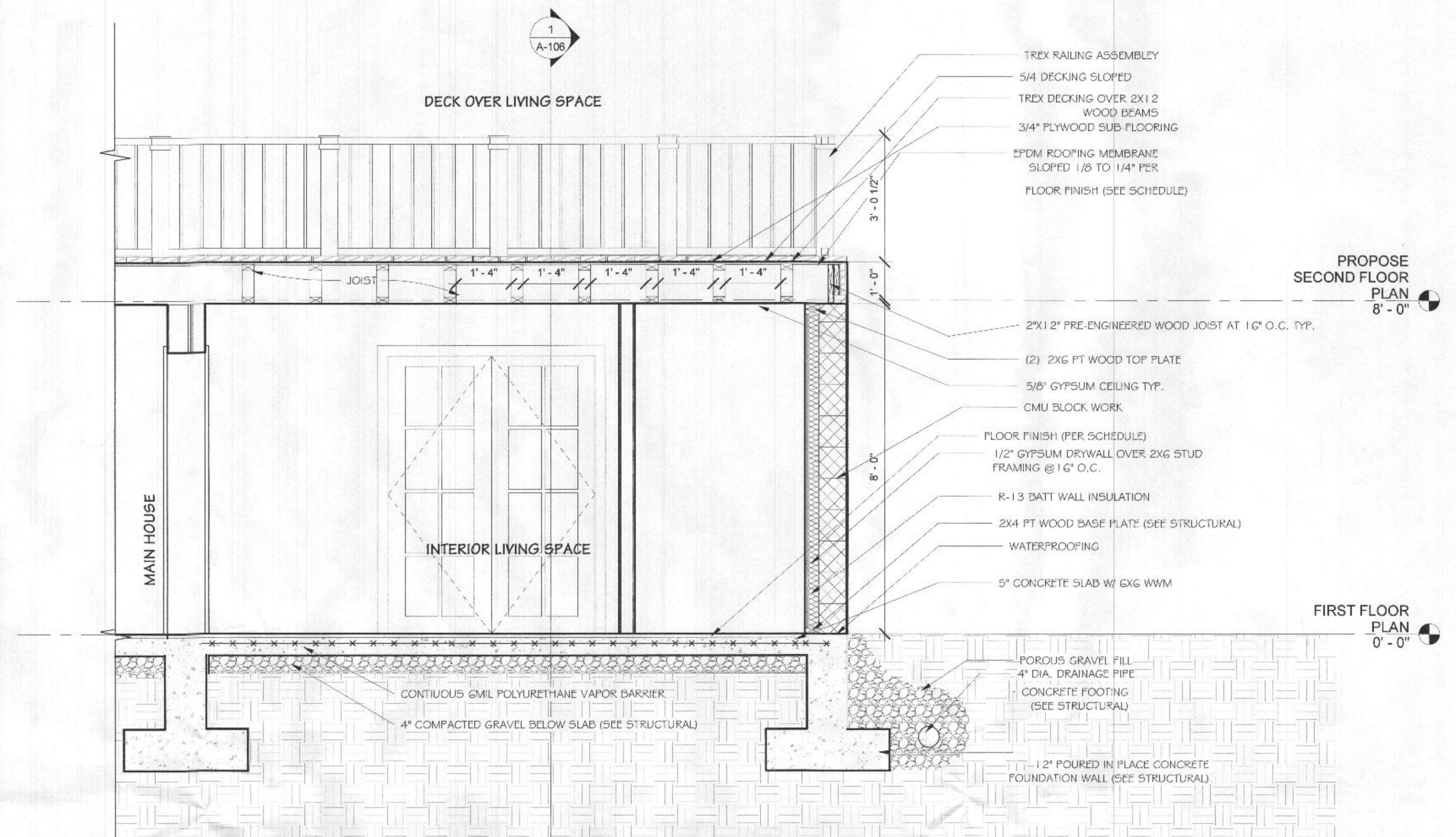
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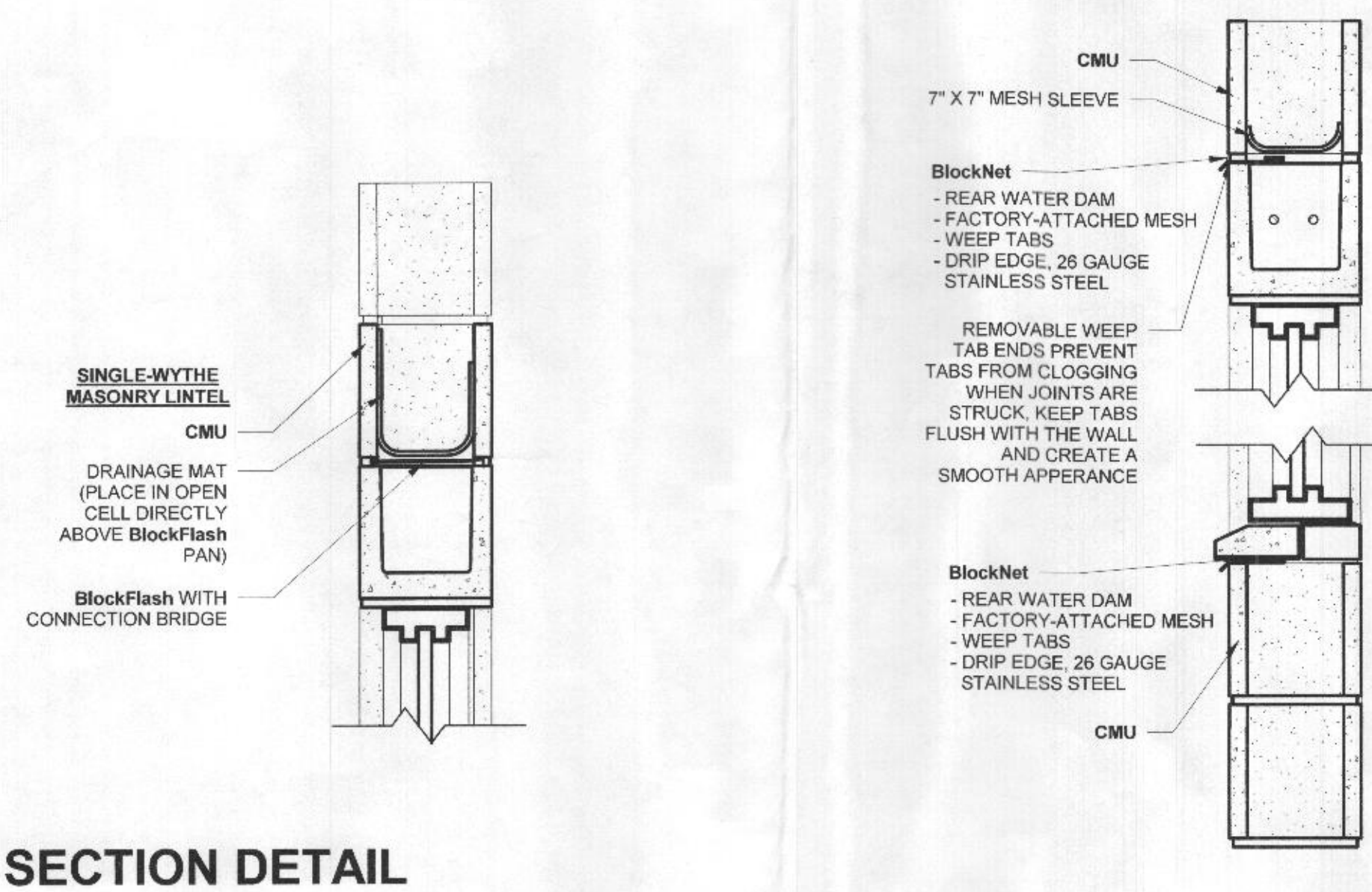
SECTION DETAILS



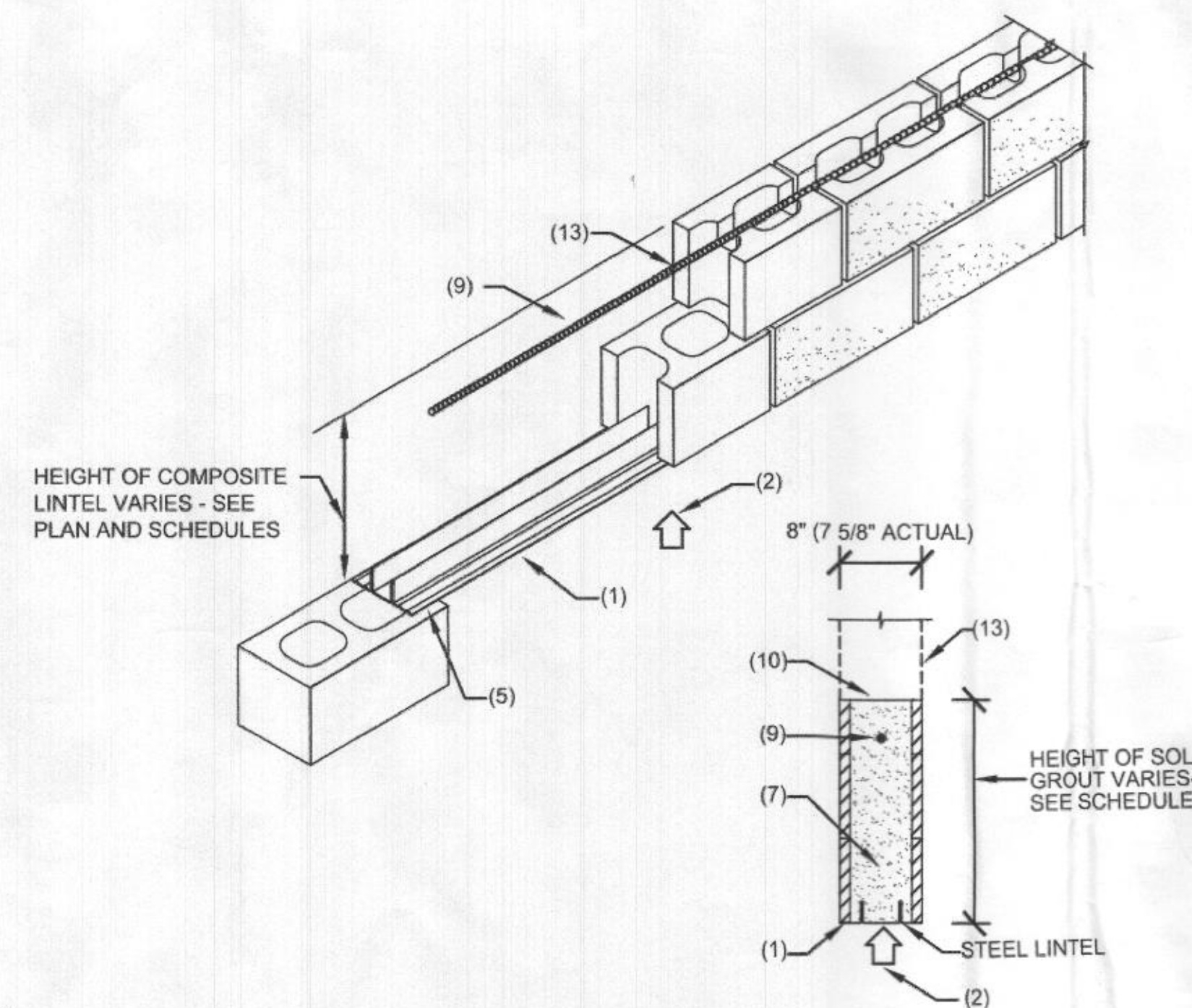
BREEZEWAY SECTION
1/2" = 1'-0"



CROSS SECTION DETAIL
1/2" = 1'-0"



SECTION DETAIL



LINTEL DETAIL