

Menu Save Reset Cancel Help

Record Detail (This section is required.)

Permit Type: Building/Residential/Misc/Tanks
 Permit Number: B21003617
 Opened Date: 09/22/2021

Description of Work
 SFD / INSTALL (1) 1000 GAL UNDERGROUND PROPANE TANK

check spelling

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #: 13612 Street Name: OLIVIA Street Type: WAY

Unit Type: --Select-- Unit #: X Coordinate: -76.95854 Y Coordinate: 39.19897

City: HIGHLAND State: MD Zip Code: 20777 Primary: Yes

Approved 9/27/21
KA

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11059908	10389	0	0	0	0	RURAL

Legal Description

check spelling

Block: 16 Lot: 15 Census Tract: 805101 Council Dist: 5 Inspection Dist: Supervisor Dist: Map #: DAP Zone:

Plan Area: State Tax Id: Subdivision Name: The Estates at River Hill

Section: Area: Tax Map: 34

Grid: 34-16 Zoning District: RR-DEO ADC Map: 4933-G9

SDP No.: Final Plan No.: ECP-16-064 WP File No.: Primary: Yes

Record Plat No.: 25085-2509 WS Contract No.: FDP No.:

Owner Occupied: Yes No Year Built: Historic District: Yes No

Historic District Registry No.: Stat Area: 5-04A Flood Plain: Yes No

Building No:

Owner (This section is required.)

Search Reset Clear

Name: THATCHER KATHERINE

Address Line 1: 9043 PHILLIP DORSEY WAY

Address Line 2:

Address Line 3:

Mail City: COLUMBIA Mail State: MD Mail Zip Code: 21045

Phone: 443-591-2056 Primary: Yes

E-mail:

Cell Number: Fax Number:

Professionals

Search Reset Clear

License # * 20100103851 Business Name THE H J POIST GAS COMPANY, INC

License Type * First Name Middle Name Last Name

Propane Gs SEAN MICHAEL UNDERWOOD

Primary Address Line 1

Yes 360 MAIN STREET

Address Line 2

City State ZIP Code

LAUREL MD 20707-0000

Phone 1 Phone 2 Fax

4104115682

E-mail

Applicant

Search As Owner As Dir. Pref As Contact

Type * First Name MI Last Name

Applicant MICHELLE CLANCY

Relationship First Name

Applicant MICHELLE CLANCY

Primary Organization Name

Yes APPLIED & APPROVED PERMITS LLC

Street * Address

P.O. BOX 310

Address Line 2

City State Zip Code

GREEN HILL MD 21128

Cell Fax

443 548-1226

Fax

E-mail MICHELLE@APPLIEDANDAPPROVED.COM

Addtl Info

Est Construction Cost * 2000 Building Units * 0 Number of Buildings * 0 Public Owned No

Construction Type --Select--

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee * Project Number Fee Exempt * Roadside Tree Project Permit * Roadside Tree Permit #

Yes No Yes No Yes No

Existing Use Number of Tanks Installed * Number of Tanks Removed *

SFD 0 0

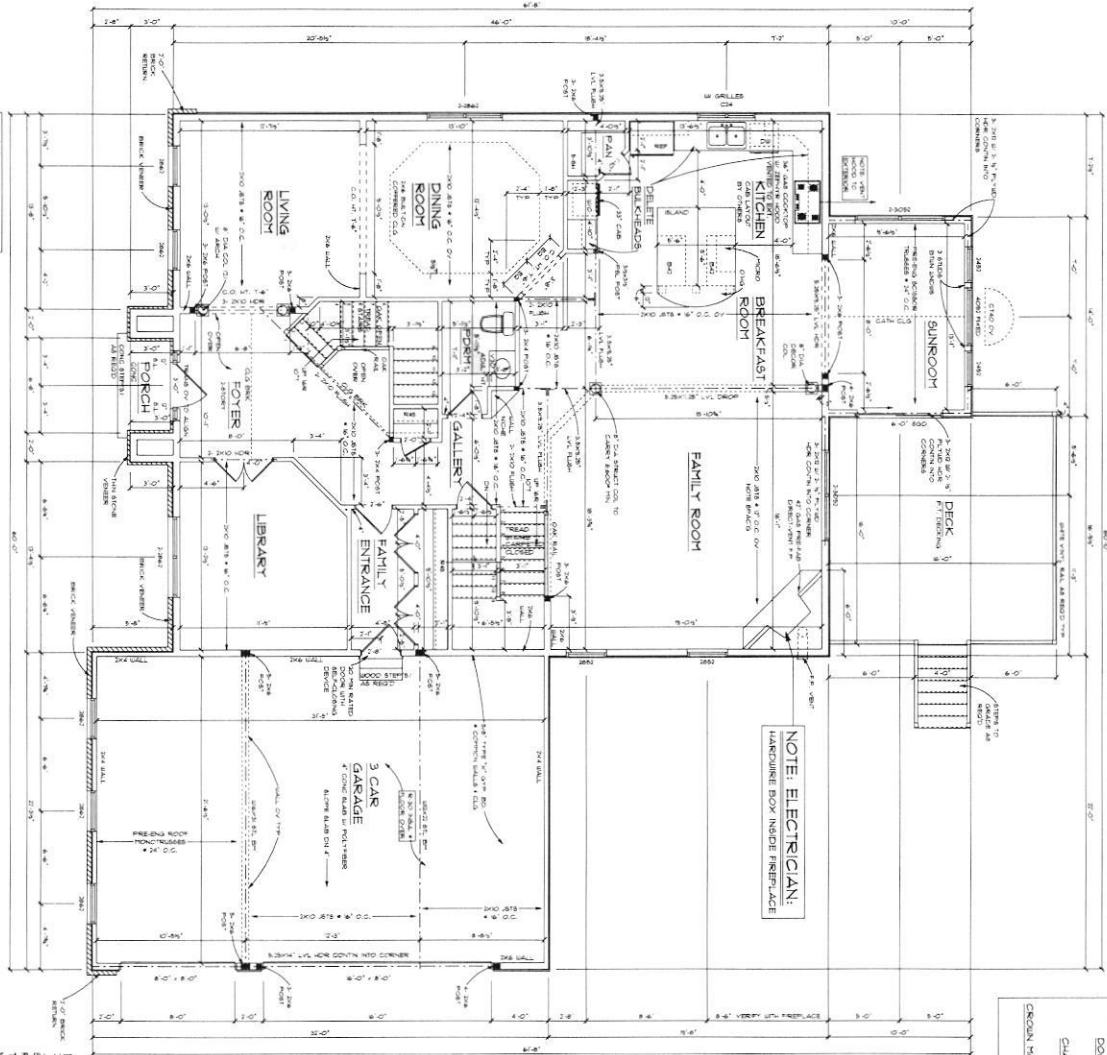
Water Supply Sewer Expiration Date Relocate Existing Tank *

Private 3/25/2022 0

PAYMENT INFORMATION

Check 1 Payee 1 Check 2 Payee 2 SAP Doc No SAP Entered

Submit Cancel



First Floor Plan
SCALE: 1/4" = 1'-0"

S- Bedroom Floor plan. OK' RB

HEALTHY

10/10/19 B19003297

2015 CODE

NOTE: INTERIOR STAIRS SHALL CONFORM TO THE FOLLOWING GEOMETRIES:
RISER HEIGHT: 7 7/8"
TREAD DEPTH: 11"
TREAD DEPTH OF 11" OR GREATER

NOTE: 9' CEILING U.O.N.
2X6 EXTERIOR WALLS U.O.N.

THE ESTATES AT RIVER HILL INTERIORS TRIM PACKAGE
DOORS: 1B7, 2N0 & BASEMENT FLOORS - PRESANG MARQUETTE KARRID CARBON
DOOR HARDWARE: BATH NOVEL 610PM, KNOBS, HINGES AND HANDLES
DOOR TRIM: 1B7, 2N0 & BASEMENT FLOORS - 5/4" SH-4618
BASE: 1B7, 2N0 & BASEMENT FLOORS - 5/4" SH-4618
GLASS RAIL: TWO PIECES 1/4" X 1/4" BEADED BOTTOM BACKER IN DINING ROOM
* GOOD EXTENSION & CANVAS BECAUSE ALL INDOOR EXCEPT IN THE GARAGE
LIVING ROOM, DINING ROOM, FOYER, SECOND FLOOR HALL AND LIBRARY
CORNERED CEILING: TWO PIECE 4 1/2" CROWN W/ BEADED BOTTOM BACKER

NOTE: CARPENTER
ALLOW 4" FOR AIR CANNING
ON 1ST FLOOR AND FLOOR
FINISHED BASEMENT

FAMILY ROOM FIREPLACE: HEATILATOR
FIREPLACES PROGRAM GAS FIRE
ENGINEERED DIRECT VENT FIREPLACE
F.P. ROUGH OPENING, HEATILATOR FIREPLACE

CONTACT NED
RESIDE HEALTHY & HOME
CANNING PER (703) 361-9288
U SET/FULL F.P.
2) SET PLANTIL & SKRCOND & START UP F.P.

ADULT HEIGHT FINDER
ROOM VANITY



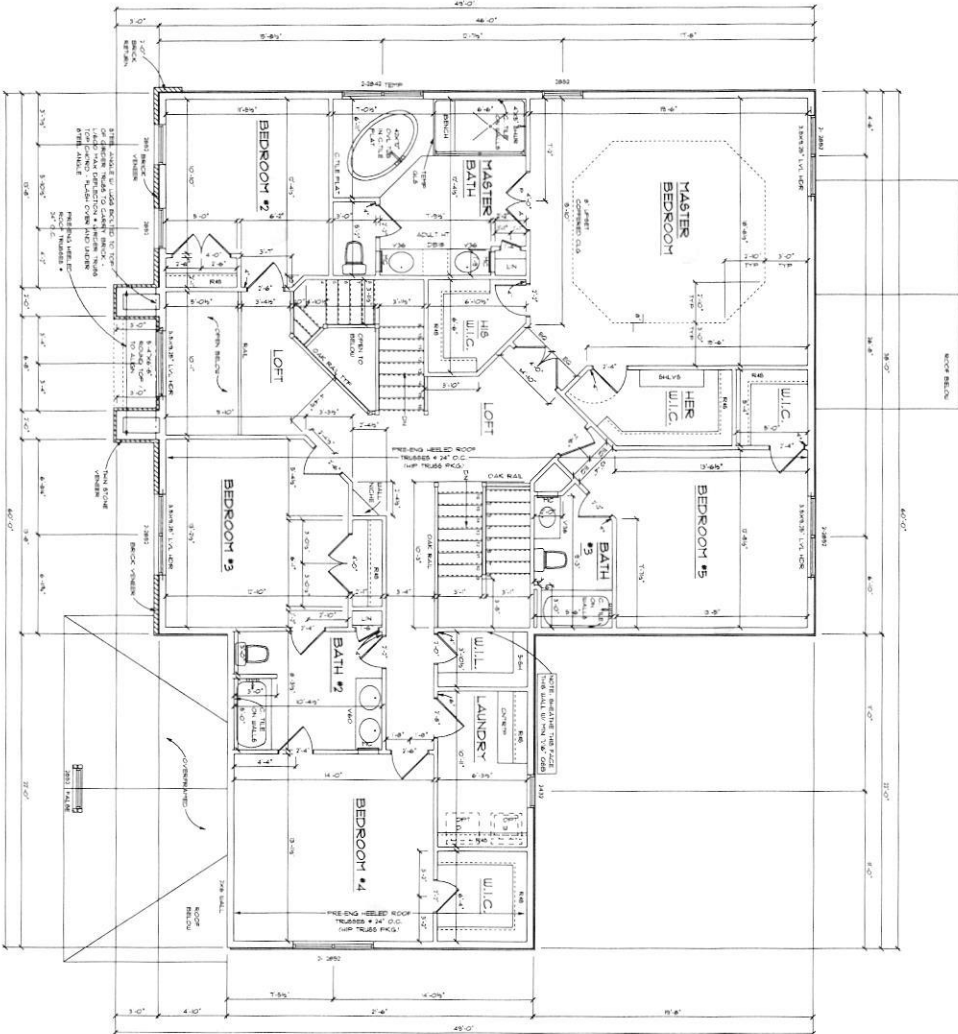
The Abbey - 3 Car

Estates at River Hill LOT 15

REVISIONS	DATE	DESCRIPTION
1	06-20-2019	9/11/19

A-5
© 2019

ADULT HEIGHT MASTER
BATH VANITIES
NOTE CARPENTER
KASE HIGGINS



NOTE: 9' IN WALLS
APPROX. 21/8" DEEP FLOOR
APPROX. 5/8" DEEP OPEN TOWER
Second Floor Plan
SCALE 1/4" = 1'-0"

NOTE: 9' CEILING & LOFT
2X6 EXTERIOR WALLS U.O.N.

2015 CODE

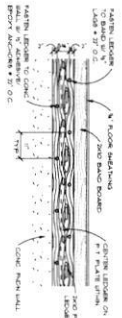
NO.	DATE	REVISIONS
1	06-20-2019	
2		
3		
4		
5		

SHEET NO. A-6
 © 2019

The Abbey - 3 Car

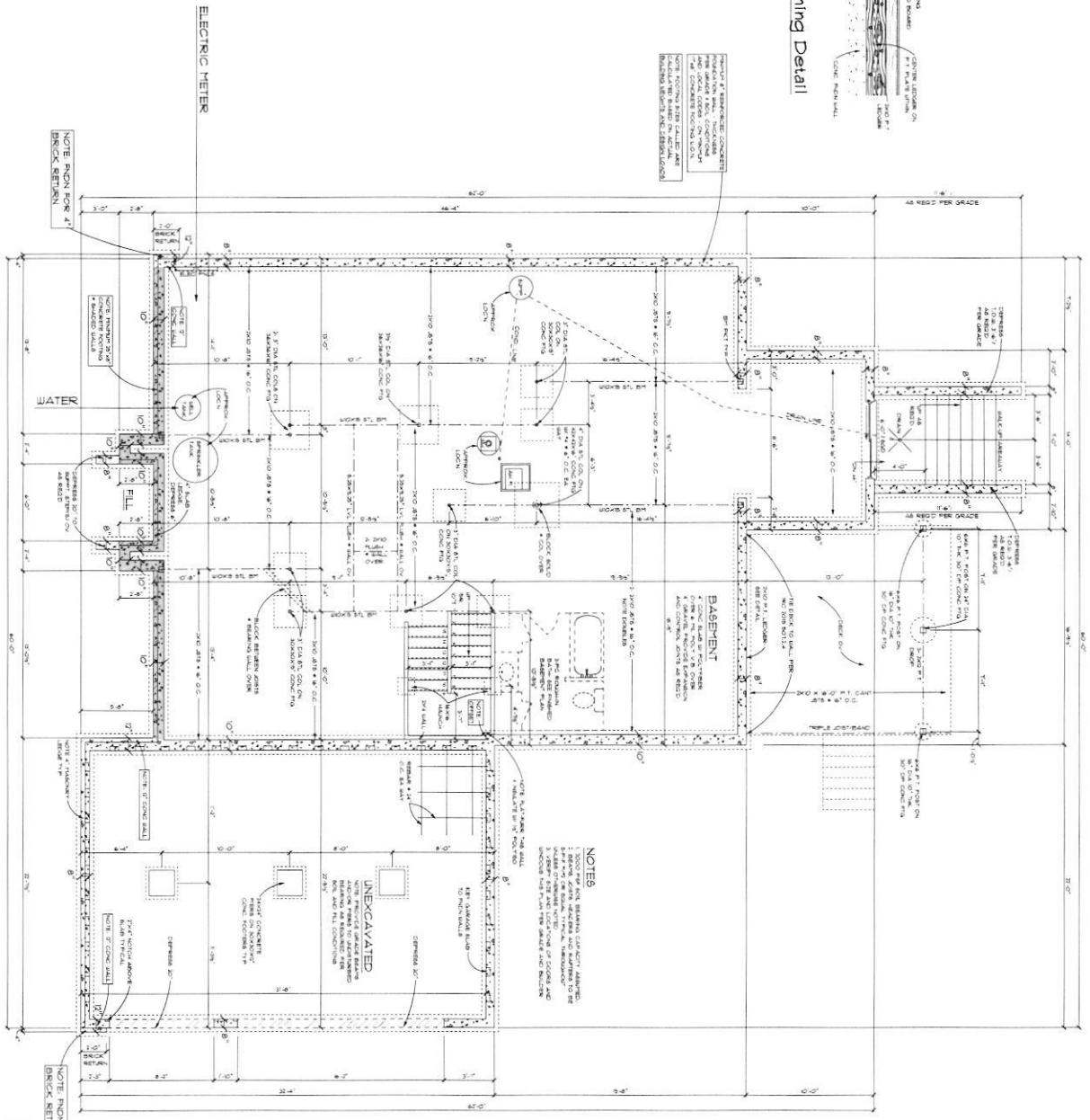


TRINITY HOMES MARY LAND LLC T/A



Ledger Fastening Detail
SCALE: 1/2" = 1'-0"

NOTE: 1" REINFORCED CONCRETE
LEDGER BEAM SHALL BE CASTED AND
CURED IN PLACE. ALL REBAR SHALL
BE CASTED TO THE TOP OF THE
CONCRETE. SEE DETAIL FOR REBAR
PLACEMENT AND TIE SPACING.



Foundation Plan
SCALE: 1/4" = 1'-0"

HYAC
C.F.A. = 4823

2015 CODE

NOTE: PLUMBER
PASSIVE RADON SYSTEM
3" PVC PIPE VENTED THROUGH
ROOF (LOCATION PER PLUMBER)

HYAC EQUIPMENT - GOODMAN
ZONE 1: 50A EFFICIENT PROPANE GAS
HEAT PUMP (4.0 EER) (1.0 TON)
ZONE 2: 14 SEER HEAT PUMP (4.0 TON)

NOTES
1. 3000 PSI MIN. STRENGTH CONCRETE
SHALL BE USED FOR ALL FOUNDATION
ELEMENTS. ALL REBAR SHALL BE
CASTED TO THE TOP OF THE
CONCRETE. SEE DETAIL FOR REBAR
PLACEMENT AND TIE SPACING.

UNEXCAVATED
ALL EXISTING FOUNDATION
ELEMENTS SHALL REMAIN
UNLESS OTHERWISE NOTED.

NOTE: 8'-0" FOUNDATION WALLS

NOTE: NON-FRAME
BRICK RETURN

NOTE: NON-FRAME
BRICK RETURN

House Type Change

TRINITY HOMES MARY LAND, LLC
3675 PARK AVENUE
ELLICOTT CITY, MD 21043
443-324-9806

RECEIVED

NOV 12 2020

LICENSES & PERMITS
DIVISION

November 12, 2020

To: Howard County Department of Licenses and Permits

From: Michael Pfau, President
Trinity Homes Mary Land, LLC
3675 Park Avenue
Ellicott City, MD 21043

RE: Revised permit for B19003298

Dear Sir or Madam,

This letter will serve as a request to revise an existing permit for B19003297, located at 13612 Olivia Way, Highland, MD 20777, also known as Estates at River Hill Lot 15.

The House type changed from an Abbey model to the Yorkshire Manor II, please find the following Description of Work:

- SFD,
- Yorkshire Manor II
- 2 story,
- Full Basement with Finished Rec Room, Storage and Full Bath.
- 3-car garage
- 5 Bedrooms
- 4-Full baths
- 1- half bath
- Dining Room
- Foyer
- Living Room
- Play room
- Library
- Family Room
- Kitchen

TRINITY HOMES MARY LAND, LLC
3675 PARK AVENUE
ELLICOTT CITY, MD 21043
443-324-9806

RECEIVED

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Trinity Homes Mary Land, LLC
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- Foyer
- Living Room
- Play room
- Library
- Family Room
- Kitchen

CC: P+Z
Heath

- Sun-Room
- Gallery
- Laundry

Please find attached the following:

- Three (3) sets of house plans.
- Five (5) sets of Plot Plans
- Accela print-out showing the existing permit has been issued
- Check for \$50.00

Please call me if you have any questions or need anything else from. Please discard if you have too many copies. With COVID wanted to err on have to many rather than too few.

Respectfully,



Tim Keane
tkeane@trinityhomes.com
4433249806

[Home](#) [Building](#) [Fire](#) [Licenses](#) [Enforcement](#)

[Search Applications](#) | [Schedule an Inspection](#)

Building B19003297:
Residential New Single Family Dwelling Permit

Record Status: Issued

Please Revise

▼ **Work Location**

13612 OLIVIA WAY
 HIGHLAND MD 20777

▼ **Application Details**

Applicant:

TIM KEANE
 TRINITY HOMES MARY LAND LLC
 3675 PARK AVENUE SUITE 301
 ELLICOTT CITY, MD, 21043
 Phone:4104800023
 Cell4433249806
 TKEANE@TRINITYHOMES.COM

Licensed Professional:

TIM KEANE TKEANE@TRINITYHOMES.COM
 TRINITY HOMES MARY LAND LLC
 3675 PARK AVENUE SUITE 301
 ELLICOTT CITY, MD, 21043
 Primary Phone:4104800023
 Secondary Phone:4433249806
 Home Bldr 7646

Description of Work:

SFD/ MODEL 'THE ABBEY', 2 STORY, Full Basement,
 Basement = Unfinished, 10R, 3FB, 1HB, 1FP, 3 Car
 Attached, 5BR, Deck, ENERGY METHOD = Prescriptive
 Method, Subject to CB-76-2018.

Owner:

ESTATES AT RIVER HILL LLC
 3675 PARK AVE, SUITE 301
 ELLICOTT CITY MD 21043
 Primary Phone:4104800023

► **More Details**

▼ **Fees**

Paid:

Date	Invoice Number	Amount
07/01/2020	623155	\$8,243.40
07/01/2020	623155	\$16,674.15
07/01/2020	623155	\$112.41
07/01/2020	623155	\$1,124.10
07/01/2020	623155	\$9,429.95

< Prev Additional Results: 1 2 Next >

Total paid fees: \$35,734.01

▼ **Inspections**

Upcoming

Completed (2)

Fail - 1; Pass - 1

Fail 488-Sediment Control Release (3179302)
 Result by: Tomasz Zychowicz on 09/28/2020 at 03:38 PM

[View Details](#)

Pass 488-Sediment Control Release (3196420)

[View Details](#)

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: *Tim Keane, Trinity Homes Maryland, LLC*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*
Well & Septic Program

RE: *13612 Olivia Way*, Potential Basement Bedroom

DATE: October 10, 2019

I have reviewed the floor plans in support of Building Permit **B19003297** for a new home at **13612 Olivia Way** and noted that there is a rough-in for a full bathroom in the unfinished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the basement to finished living space.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **five (5)**-bedroom design to accommodate a future finished basement. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.

Result by: Tomasz Zychowicz on 11/05/2020 at 02:21 PM

▼ Processing Status

- ✓ ▶ Application Acceptance
DAP
- ✓ ▶ Sediment Control
- ✓ ▶ Building Review
- ✓ ▶ Zoning
- ✓ ▶ Dev Engineering
- ✓ ▶ Health Dept
- ✓ ▶ State Highway
- ✓ ▶ Building Permit Issuance
- ✗ ▶ Final Building
- ✗ ▶ Final Grading
C of C

▼ Related Permits

[View Entire Tree »](#)

Permit Number	Permit Type	Project Name	Date	View
▼ G19000139	Residential Grading Permit		06/14/2019	View
B19003295	Residential New Single Family Dwelling Permit		09/27/2019	View
B19003296	Residential New Single Family Dwelling Permit		09/27/2019	View
B19003297	Residential New Single Family Dwelling Permit		09/27/2019	
B19003298	Residential New Single Family Dwelling Permit		09/27/2019	View



Building Permit Application

Howard County Maryland
 Department of Inspections, Licenses and Permits
 3430 Court House Drive
 Permits: 410-313-2455
 www.howardcountymd.gov

Date Received: _____

Permit No.: **B19003297**

Building Address: 13612 Olivia Way
 City: Highland State: MD Zip Code: 20777
 Suite/Apt. #: _____ SDP/WPT/DA #: GP-19-071
 Subdivision: ESTATED at River Hill
 Lot: 15 Tax Map: 34 Parcel: 389

Existing Use: VACANT LOT
 Proposed Use: NEW SFD
 Estimated Construction Cost: \$ 300,000.00

Description of Work: ABBY: FR, SUN ROOM, BREAKFAST KITCHEN, GALLERY, LIBRARY, L.R., 3 CAR GARAGE, D.R., 5 BEDROOM, 3 1/2 BATHS, LOFT, 16'x16' DECK

Occupant/Tenant Name: N/A
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: ESTATED at River Hill LLC
 Address: 3675 Park Ave
 City: EC State: MD Zip Code: 21043
 Phone: 443.324.9806 Fax: 410.480.0013
 Email: TKeane@TrinityHome.com

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: N/A
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: Trinity Homes Maryland LLC
 Contact Person: Tim Keane
 Address: 3675 Park Ave
 City: EC State: _____ Zip Code: 21043
 License No.: 7646
 Phone: 443.324.9806 410.480.0013
 Email: TKeane@TrinityHome.com

Engineer/Architect Company: N/A
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> DW Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1st floor: <u>60' x 71'8"</u>
Area of construction (sq. ft.):	2nd floor: <u>49 60</u>
Use group:	Basement:
<u>Construction type:</u>	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input checked="" type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>5</u>
<input type="checkbox"/> State Certified Modular	<u>Multi-family Dwelling</u>
<input checked="" type="checkbox"/> Roadside Tree Project Permit	No. of efficiency units:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No. of 1 BR units:
Roadside Tree Project Permit #	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
	Footings:
	Roof:
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	<u>Fireplace</u>
Sprinkler System:	
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Grading Permit Number:	<u>G19000139</u>
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: T. Keane
 Email Address: TKeane@TrinityHome.com
 Title/Company: Developer

Print Name: Tim Keane
 Date: 9/22/19

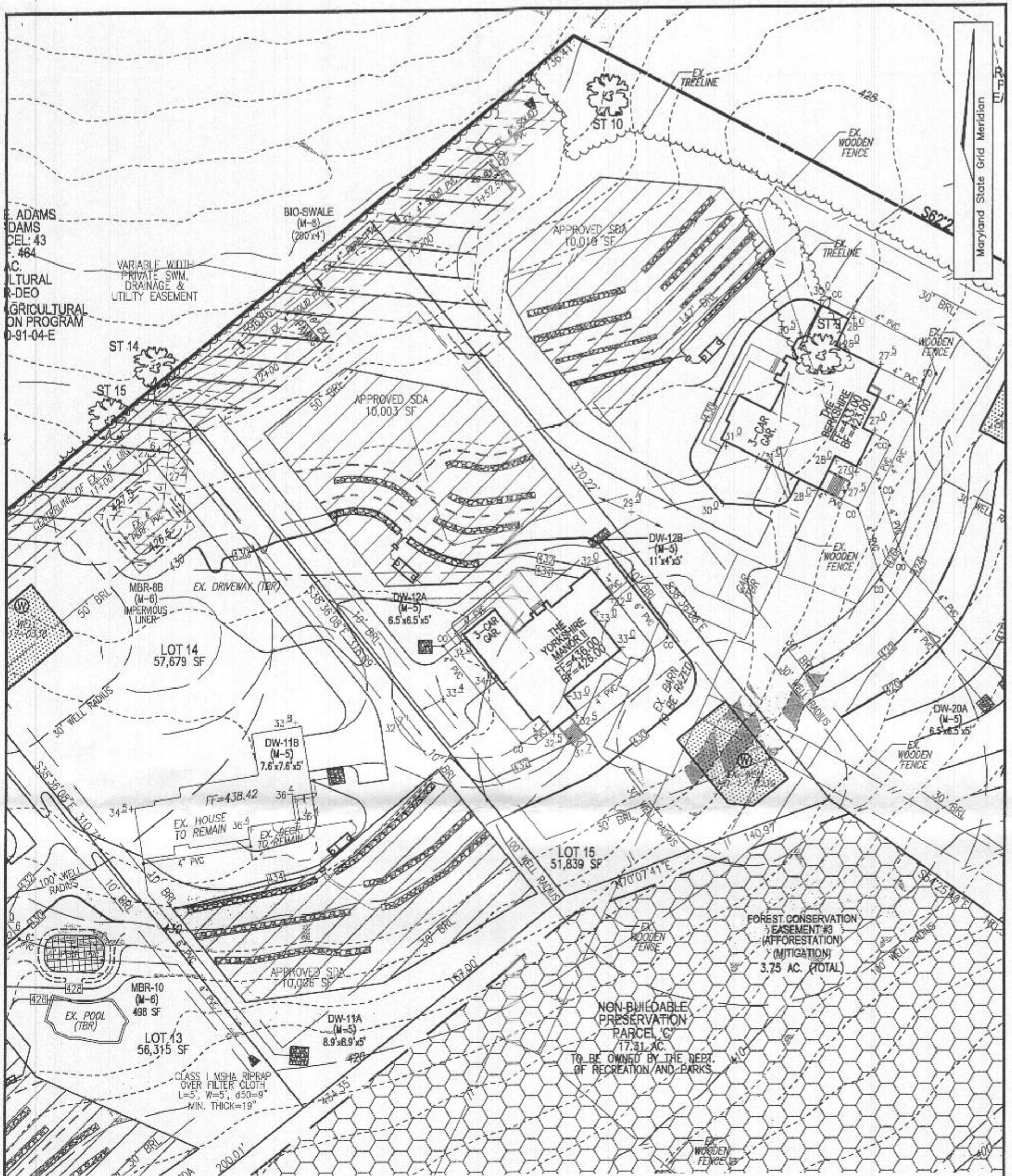
Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>10/10/19</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>0026306</u>

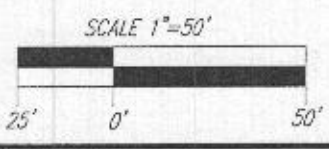


SITE GRADING
SCALE: 1"=50'

OWNER
ESTATES AT RIVER HILL, LLC
MICHAEL PFAU, MEMBER
3675 PARK AVENUE, SUITE 301
ELLCOTT CITY, MD 21043
(410) 480-0023

DEVELOPER
TRINITY HOMES MARY LAND, LLC
3675 PARK AVENUE, SUITE 301
ELLCOTT CITY, MD 21043
(410) 480-0023

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLCOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com



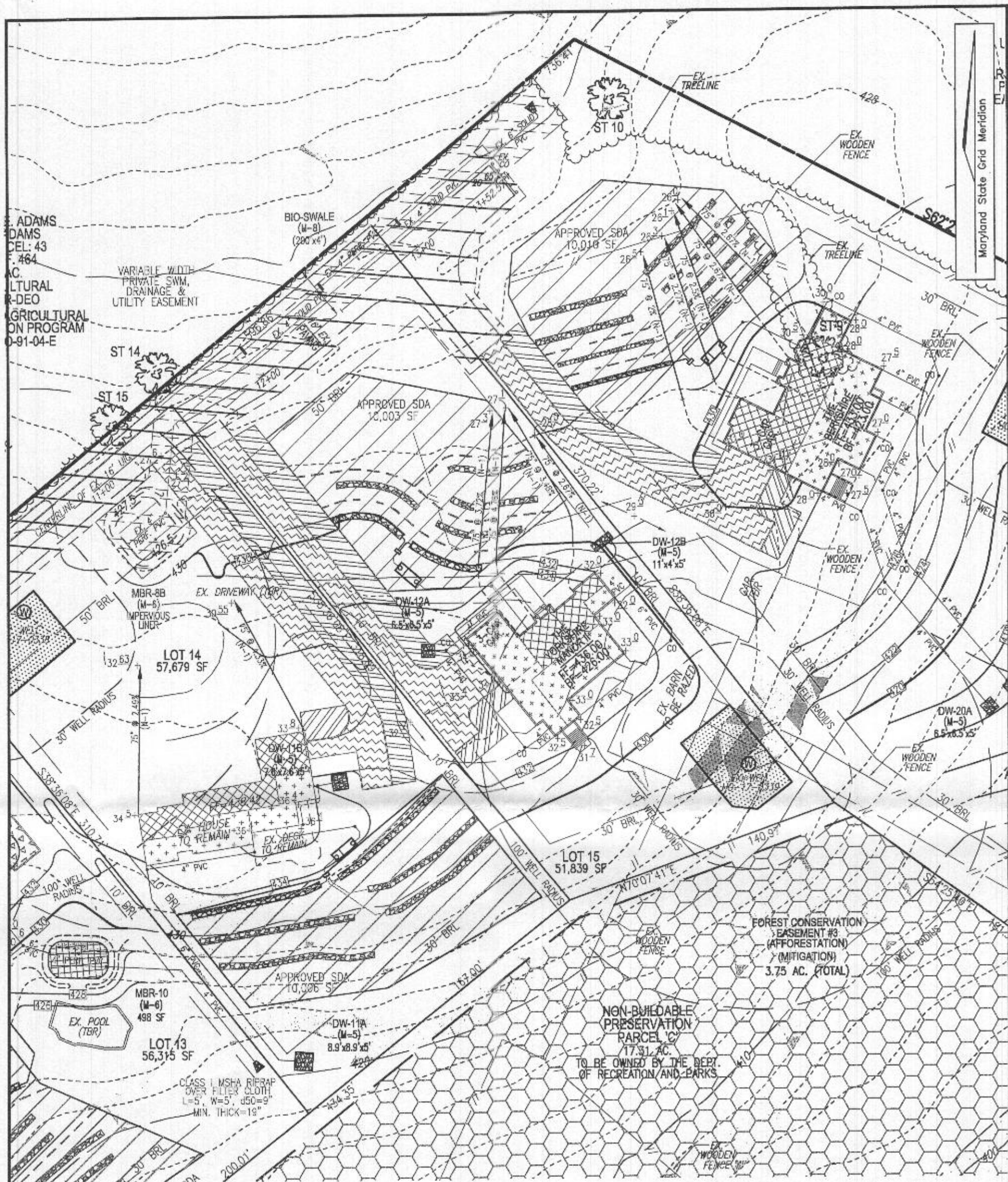
PLOT PLAN
THE ESTATES AT RIVER HILL - LOT 15
13612 OLIVIA WAY
HIGHLAND, MD 20777

SCALE	AS SHOWN
DRAWN BY	JMR
CHECKED BY	RHV
DATE	NOVEMBER 04, 2020
W. O. #	15-39
SHEET#	2 OF 5

5TH ELECTION DISTRICT
TAX MAP: 34 PARCEL: 389
DPZ REF'S: ECP:16-064, WP-17-034,
WP-17-128, SP-17-007, F-18-064

BLOCK: 23
ZONED: RR-DEO
HOWARD COUNTY, MARYLAND

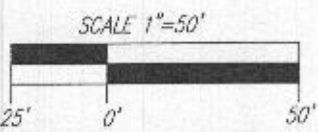
K:\projects\15_39\15_39\15_39.dwg 11/04/2020 2:49:51 PM



SWM LAYOUT
SCALE: 1"=50'

OWNER
ESTATES AT RIVER HILL, LLC
MICHAEL PFAU, MEMBER
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ELLICOTT CITY, MD 21043
(410) 480-0023

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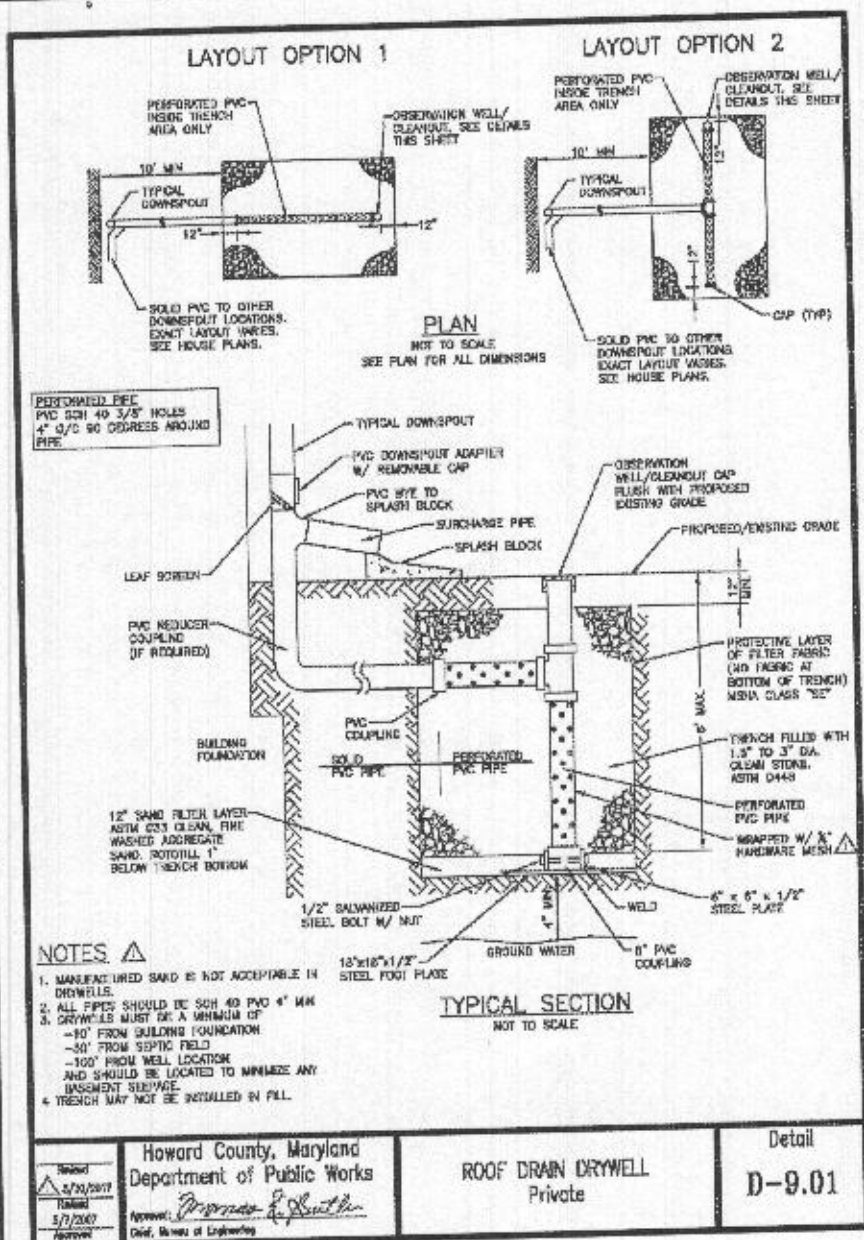
PLOT PLAN
THE ESTATES AT RIVER HILL - LOT 15
13612 OLIVIA WAY
HIGHLAND, MD 20777

SCALE AS SHOWN
DRAWN BY JMR
CHECKED BY RHV
DATE NOVEMBER 04, 2020
W. O. # 15-39
SHEET# 3 OF 5

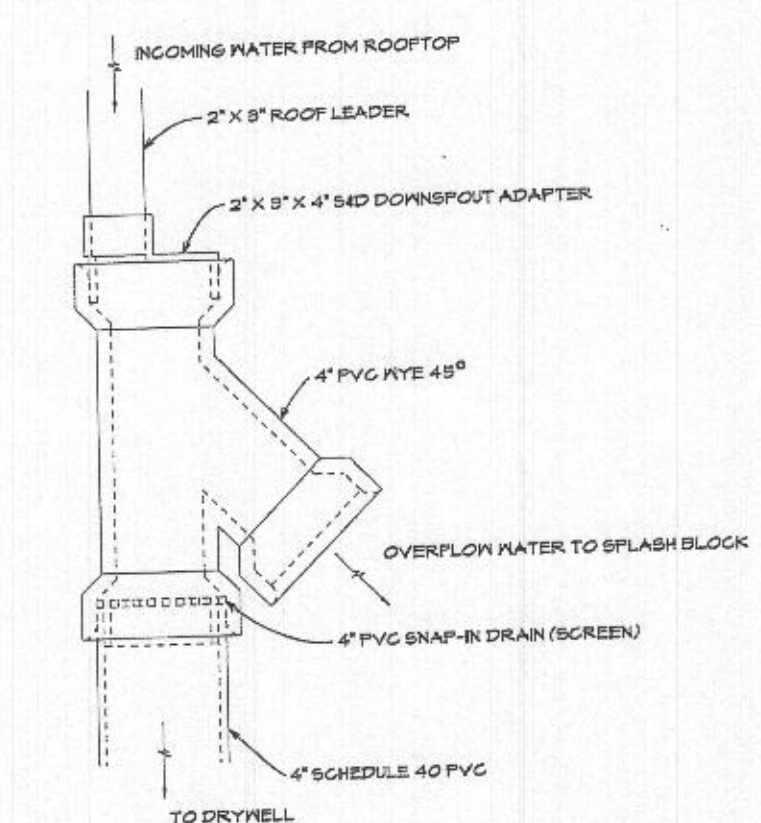
5TH ELECTION DISTRICT
TAX MAP: 34 PARCEL: 389
DPZ REF'S: ECP-16-064, WP-17-034,
WP-17-128, SP-17-007, F-18-064

BLOCK: 23
ZONED: RR-DEO
HOWARD COUNTY, MARYLAND

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**FIGURE 3
STANDARD DRYWELL DOWNSPOUT FITTINGS**



- NOTES:**
1. THE SNAP IN SCREEN IS REQUIRED TO PREVENT CLOGGING OF THE DRYWELL WITH DEBRIS.
 2. SEE FIGURE 3a "LIST OF POTENTIAL SUPPLIERS TO ACCOMPANY FIGURE 3 STANDARD DRYWELL DOWNSPOUT FITTINGS" FOR INFORMATION ON SOME LOCAL RETAILERS THAT SUPPLY COMPONENTS FOR THIS SYSTEM.

Martin B. Covington II, PE
 ORIGINALLY EFFECTIVE APRIL, 2006
 REVISED MARCH 19, 2008
 DISTRIBUTED AT C.C. SURVEYORS MFG.

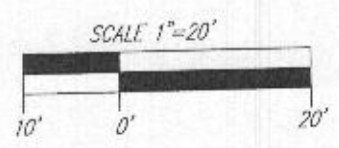
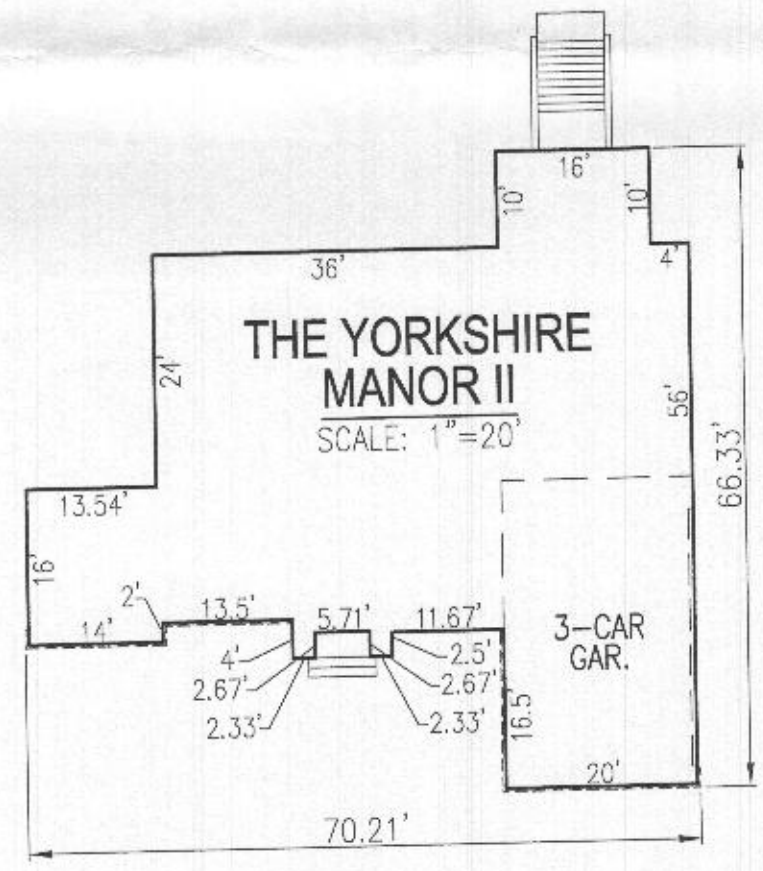
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES (I-1) AND DRY WELLS (M-5)

1. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS, AND AFTER EVERY LARGE STORM EVENT.
2. THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
3. THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
4. WHEN THE FACILITY BECOMES CLOGGED, SO THAT IT DOES NOT DRAIN WITHIN A SEVENTY-TWO (72) HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
5. THE MAINTENANCE LOGBOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
6. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS, UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

DW#	LOT	DRAINAGE AREA	VOLUME REQUIRED	PROPOSED DIMENSIONS	VOLUME PROVIDED
12A	15	1,048 SF	208 CF	6.5'x6.5'x5'	211 CF
12B	15	1,024 SF	203 CF	11'x4'x5'	220 CF

DRYWELL #12A
 $ESD_v = (0.95)(1.0)(1,048)/12 = 83 \text{ CF}$
 $83/0.4 = 208 \text{ CF (REQ.)}$
 $6.5'x6.5'x5' = 211 \text{ CF (PROV.)}$

DRYWELL #12B
 $ESD_v = (0.95)(1.0)(1,024)/12 = 81 \text{ CF}$
 $81/0.4 = 203 \text{ CF (REQ.)}$
 $11'x4'x5' = 220 \text{ CF (PROV.)}$



OWNER
 ESTATES AT RIVER HILL, LLC
 MICHAEL PFAU, MEMBER
 3675 PARK AVENUE, SUITE 301
 ELLICOTT CITY, MD 21043
 (410) 480-0023

DEVELOPER
 TRINITY HOMES MARYLAND, LLC
 3675 PARK AVENUE, SUITE 301
 ELLICOTT CITY, MD 21043
 (410) 480-0023

**PLOT PLAN
 THE ESTATES AT RIVER HILL - LOT 15
 13612 OLIVIA WAY
 HIGHLAND, MD 20777**

SCALE AS SHOWN
 DRAWN BY JMR
 CHECKED BY RHW
 DATE NOVEMBER 04, 2020
 W. O. # 15-39
 SHEET# 4 OF 5

5TH ELECTION DISTRICT
 TAX MAP: 34 PARCEL: 389
 DPZ REF'S: ECP:16-064, WP-17-034,
 WP-17-128, SP-17-007, F-18-064

BLOCK: 23
 ZONED: RR-DEO
 HOWARD COUNTY, MARYLAND

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N-1. DISCONNECTION OF ROOFTOP RUNOFF

CONSTRUCTION CRITERIA:

THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING THE CONSTRUCTION OF PROJECTS WITH PLANNED ROOFTOP DISCONNECTIONS:

- EROSION AND SEDIMENT CONTROL: EROSION AND SEDIMENT CONTROL PRACTICES (E.G., SEDIMENT TRAPS) SHALL NOT BE LOCATED IN VEGETATED AREAS RECEIVING DISCONNECTED RUNOFF
- SITE DISTURBANCE: CONSTRUCTION VEHICLES AND EQUIPMENT SHOULD AVOID AREAS RECEIVING DISCONNECTED RUNOFF TO MINIMIZE DISTURBANCE AND COMPACTION. SHOULD AREAS RECEIVING DISCONNECTED RUNOFF BECOME COMPACTED, SCARIFYING THE SURFACE OR ROTOTILLING THE SOIL TO A DEPTH OF FOUR TO SIX INCHES SHALL BE PERFORMED TO ENSURE PERMEABILITY. ADDITIONALLY, AMENDMENTS MAY BE NEEDED FOR TIGHT, CLAYEY SOILS.

INSPECTION:

A FINAL INSPECTION SHALL BE CONDUCTED BEFORE USE AND OCCUPANCY APPROVAL TO ENSURE THAT SIZING FOR TREATMENT AREAS HAVE BEEN MET AND PERMANENT STABILIZATION HAS BEEN ESTABLISHED.

N-2. DISCONNECTION OF NON-ROOFTOP RUNOFF

CONSTRUCTION CRITERIA:

THE FOLLOWING SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH NON-ROOFTOP DISCONNECTIONS:

- EROSION AND SEDIMENT CONTROL: EROSION AND SEDIMENT CONTROL PRACTICES (E.G., SEDIMENT TRAPS) SHALL NOT BE LOCATED IN AREAS DESIGNATED FOR NON-ROOFTOP DISCONNECTIONS.
- SITE DISTURBANCE: TO MINIMIZE DISTURBANCE AND COMPACTION, CONSTRUCTION VEHICLES AND EQUIPMENT SHOULD AVOID AREAS RECEIVING DISCONNECTED RUNOFF. SHOULD AREAS RECEIVING DISCONNECTED RUNOFF BECOME COMPACTED, SCARIFYING THE SURFACE OR ROTOTILLING THE SOIL TO A DEPTH OF FOUR TO SIX INCHES SHALL BE PERFORMED TO ENSURE PERMEABILITY. ADDITIONALLY, AMENDMENTS MAY BE NEEDED FOR TIGHT, CLAYEY SOILS.

INSPECTION:

A FINAL INSPECTION SHALL BE CONDUCTED BEFORE USE AND OCCUPANCY APPROVAL TO ENSURE THAT ADEQUATE TREATMENT AREAS AND PERMANENT STABILIZATION HAS BEEN ESTABLISHED.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF ROOFTOP RUNOFF (N-1) AND DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

1. MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE AREAS RECEIVING RUNOFF SHOULD BE PROTECTED FROM FUTURE COMPACTION OR DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED SHEETFLOW TO CONSERVATION AREA (N-3)

1. CONSERVATION AREAS SHALL REMAIN UNDISTURBED AND UNMANAGED OTHER THAN ROUTINE DEBRIS REMOVAL AND REPAIRING AREAS OF CONCENTRATED FLOW. INVASIVE AND NOXIOUS PLANT REMOVAL AND BI-ANNUAL MOWING FOR MEADOW AREAS MAY BE NEEDED. SIGNS DELINEATING THE LIMITS OF THE CONSERVATION AREA SHOULD BE MAINTAINED AND SUPPLEMENTAL PLANTINGS PERFORMED AS NEEDED.

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