

PERMIT NUMBER: B 2100 2948

DATE ACCEPTED:

**RESIDENTIAL BUILDING PERMIT APPLICATION**  
 HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS  
 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4  
 www.howardcountymd.gov

**BUILDING SITE ADDRESS REQUIRED**

Street Address: 11685 Cedarline Ct Unit: \_\_\_\_\_  
 City: Ellicott City State: MD Zip Code: 21042  
 Subdivision/Village/Complex Name: Fairside SDP/WP/BA #: \_\_\_\_\_  
 Lot: \_\_\_\_\_ Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grading Permit #: \_\_\_\_\_

**DESCRIPTION OF WORK REQUIRED**

Existing Use: Residential Proposed Use: Residential Estimated Cost: \$ 150,000  
 Trade Work to Be Completed (Separate Permits Required):  Mechanical (HVACR)  Electrical  Plumbing  None  
Addition To Existing Home, 612 SF OF INLOW SITE

**PROPERTY OWNER INFORMATION REQUIRED**

Owner(s) Name(s) (As it appears on tax records): NAVID NASSER ASL Primary Residence:  Yes  No  
 Owner's Street Address: 11685 Cedarline Ct  
 City: Ellicott City State: MD Zip Code: 21042  
 Phone: 240-414-6782 Email: N.Nasser@hotmail.com

**APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION**

Business Name: N&B Construction Contact Name: NAVID NASSER  
 Street Address: 11685 Cedarline Ct  
 City: Ellicott City State: MD Zip Code: 21042  
 Phone: 240-414-6782 Email: N.Nasser@hotmail.com

**CONTRACTOR INFORMATION REQUIRED**

Business Name: N&B Construction  
 Licensee's Name: N&B Construction License #: 86241  
 Street Address: 11685 Cedarline Ct  
 City: Ellicott City State: MD Zip Code: 21042  
 Phone: \_\_\_\_\_ Email: N.Nasser@hotmail.com

**ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE**

Business Name: Transforming Architecture Name: KAREN PITSLY  
 Street Address: 7612 Browns Bridge Rd  
 City: Highland State: MD Zip Code: 20777  
 Phone: 301-776-2666 Email: MFO@TransformingArchitecture.com

**BUILDING CHARACTERISTICS REQUIRED**

Primary Structure:  SF Dwelling  SF Townhouse  SF Duplex  Mobile Home  Multi-Family Dwelling (MF\*) Condo:  Yes  No  
 Utilities:  Electric  Gas Water Supply:  Public  Private (Well) Sewage Disposal:  Public  Private (Septic)  
 Heating System:  Electric  Natural Gas  Propane  Other: \_\_\_\_\_ Roadside Tree Project:  No  Yes: # \_\_\_\_\_  
 Sprinkler System:  NFPA 13  NFPA 13R  NFPA 13D  None Fire Alarm System:  Yes  No  Voice Evac

**ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)**

Model Name & Options:  
 # of Bedrooms (SF): 4 # of efficiency units (MF\*): \_\_\_\_\_ # of 1 BR (MF\*): \_\_\_\_\_ # of 2 BR (MF\*): \_\_\_\_\_ # of 3 BR (MF\*): \_\_\_\_\_  
 # Rooms: \_\_\_\_\_ # Full Baths: 4 # Half Baths: 2 # Fireplaces: 2  
 Garage/Carport Info:  Attached Garage  Detached Garage  Integral Garage  Carport  None  
 Basement/Foundation Info:  Slab on Grade  Post & Pier  Unfinished Basement  Finished Basement:  Full or  Partial  
 1<sup>st</sup> Fl Width: \_\_\_\_\_ 1<sup>st</sup> Fl Depth: \_\_\_\_\_ 2<sup>nd</sup> Fl Width: \_\_\_\_\_ 2<sup>nd</sup> Fl Depth: \_\_\_\_\_ Bsmt Width: \_\_\_\_\_ Bsmt Depth: \_\_\_\_\_  
 Energy Method:  Prescriptive  Performance  UA Alternative  ERI Gross Area: 612 sq ft Occupiable Area: 612 sq ft

**AGREEMENT/ DISCALIMER REQUIRED**

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

[Signature] DATE SIGNED: 8/4/2021

**FOR OFFICE USE ONLY** CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

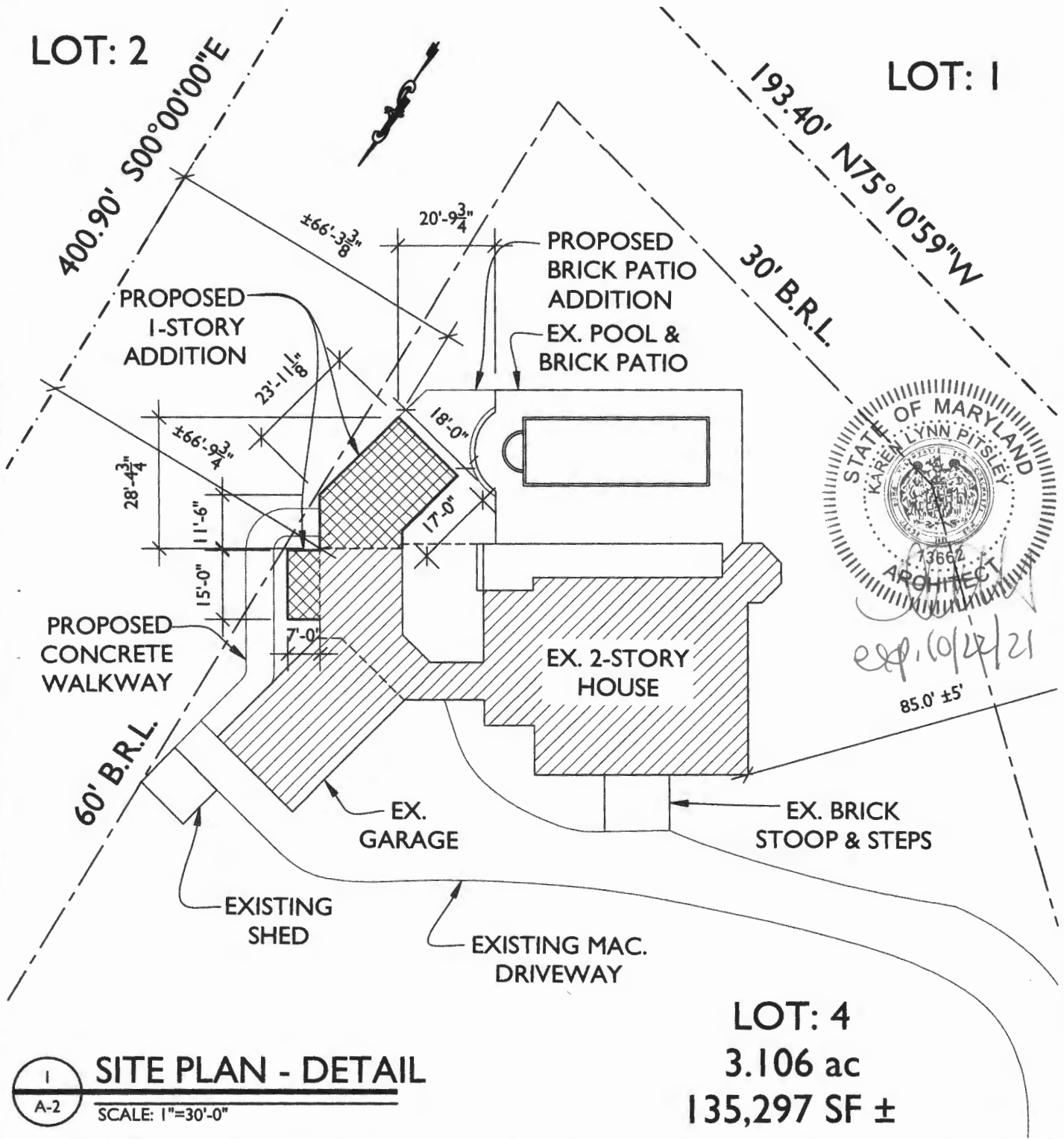
AGENCIES REQUIRED/APPROVALS:  
 PR  DPZ  DED  Health 8.16.21  SHA  CID

SUBMITTAL FEES: \$2500 PAYMENT: CK# 2478 ACCEPTED BY: AKH

**RECEIVED**  
 AUG 05 2021  
 LICENSES & PERMITS DIVISION

LOT: 2

LOT: 1



*exp. 10/22/21*  
85.0' ±5'

1  
A-2

**SITE PLAN - DETAIL**

SCALE: 1"=30'-0"

LOT: 4  
3.106 ac  
135,297 SF ±



7612 Browns Bridge Rd  
Highland, MD 20777  
301-776-2666  
301-776-2886 fax  
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**NASSERI RESIDENCE**

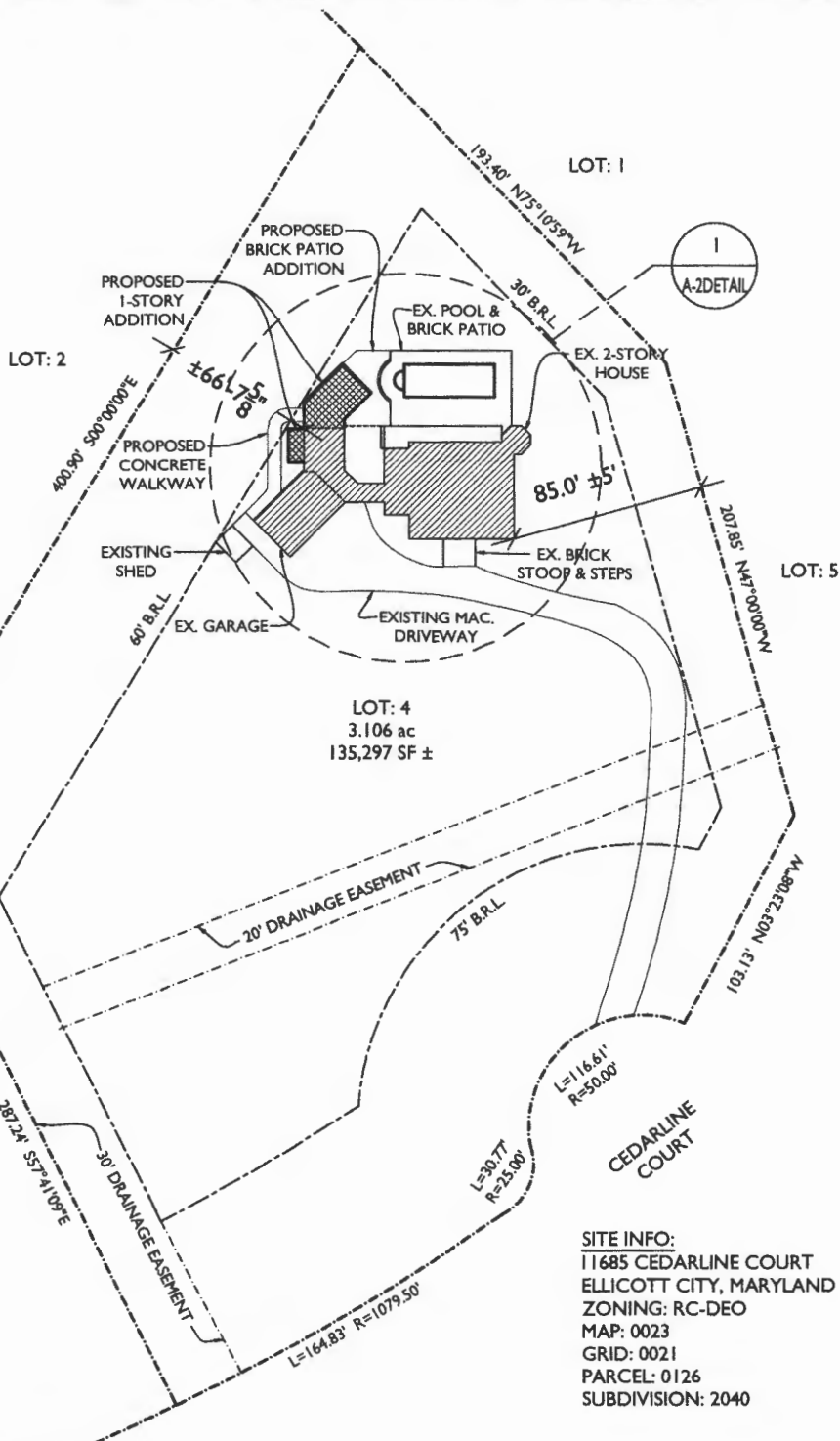
11685 CEDARLINE COURT  
ELLCOTT CITY, MD 21042

**SITE PLAN - DETAIL**

SCALE: AS NOTED    DATE: 05/21/2021    PROJECT: 21-565



*Exp. 10/22/21*



**SITE INFO:**  
 11685 CEDARLINE COURT  
 ELLICOTT CITY, MARYLAND 21042  
 ZONING: RC-DEO  
 MAP: 0023  
 GRID: 0021  
 PARCEL: 0126  
 SUBDIVISION: 2040

**I SITE PLAN**  
 A-1 SCALE: 1"=80'-0"



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**NASSERI RESIDENCE**  
 11685 CEDARLINE COURT  
 ELLICOTT CITY, MD 21042

**SITE PLAN**  
 SCALE: AS NOTED DATE: 05/21/2021 PROJECT: 21-565

**SCOPE OF WORK**

ADD 612 sqft ADDITION TO REAR OF EXISTING HOME FOR A NEW 875 sqft ACCESSORY APARTMENT TO INCLUDE A KITCHEN, ENTERTAINMENT SPACE, BEDROOM, BATHROOM, AND POWDER ROOM. A SHARED LAUNDRY SPACE WILL BE ADDED TO BE ACCESSED FROM THE ACC. APT. AND THE MAIN HOUSE. ADD 463 sqft OF ADDITIONAL BACK PATIO SPACE. ADD 342 sqft CONCRETE WALKWAY FROM EXISTING DRIVEWAY TO ACCESSORY APARTMENT.

2,834 EX. FIRST FLOOR CONDITIONED GROSS SQFT  
2,974 EX. SECOND FLOOR CONDITIONED GROSS SQFT  
+ 612 PROPOSED ADDITIONAL CONDITIONED GROSS SQFT  
= 6,420 TOTAL GROSS CONDITIONED SQFT

774 EX. GARAGE UNCONDITIONED GROSS SQFT

**RESIDENTIAL NOTES & SPECIFICATIONS**

**GENERAL CONSTRUCTION NOTES**  
1. THESE STRUCTURAL NOTES AND SPECIFICATIONS SHALL BE CONSIDERED PART OF THE FINAL DESIGN PACKAGE (INCLUDING CONSTRUCTION DRAWINGS) FOR THE PROJECT SPECIFICALLY DESCRIBED ABOVE. NEITHER THE STRUCTURAL NOTES NOR THE DRAWINGS ALONE ARE SUFFICIENT IN DESCRIBING A COMPLETE DESIGN.  
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSION ON DRAWINGS SHALL GOVERN. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER/ARCHITECT BEFORE PROCEEDING WITH FABRICATION OF ASSEMBLIES.  
3. STEEL STAIRS, ROOF AND/OR FLOOR TRUSSES  
3.1. WHERE THERE IS CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.  
4. PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR FINISHES.  
5. ALL CLOSETS ARE TO HAVE THE SAME FINISH AS THE ADJOINING ROOM UNLESS OTHERWISE NOTED.  
6. PROVIDE PLUMBING FIXTURE ACCESS PANEL AT EACH TUB AND SHOWER ENCLOSURE AS REQUIRED BY LOCAL JURISDICTION.  
7. PROVIDE HANDRAILS 34"-38" ABOVE NOSINGS ON ALL STAIRS. PROVIDE GUARDRAILS AT RASED FLOORS, BALCONIES, ETC. 30" OR MORE ABOVE GRADE OR FLOOR BELOW. GUARDS SHALL BE MINIMUM 42" HIGH AND HAVE CLOSURES SPACED TO PREVENT PASSAGE OF A 4" SPHERE.  
8. PROVIDE NOMINAL 2X FIBER BLOCKING AT EVERY FLOOR INTERVAL, BULKHEAD AND CHASE. IF OPEN WEB FLOOR TRUSSES ARE UTILIZED, PROVIDE 1/2" GB DRAFT STOPPING, NOT TO EXCEED 1,000 SF.  
9. PROVIDE A MINIMUM 6'-8" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 7-1/2" AND TREADS SHALL BE AT LEAST 10-1/2".  
10. PROVIDE SOFT VENTS, ROOF VENTS, OR GABLE END VENTS AS SHOWN ON THE DRAWINGS. MAINTAIN MINIMUM 1200 CFM VENTILATION FOR HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARDBOARD BARRIERS IN EACH TRUSS/Rafter BAY TO MAINTAIN FREE AIR FLOW.  
11. MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL BE REQUIRED TO SEAL ALL PENETRATIONS IN FLOORS AND EXTERIOR WALLS CAUSED BY THEIR TRADES.  
12. ROUGH CARPENTRY CONTRACTORS SHALL SEAL ALL PANEL BUTT JOINTS AND PLATES AT FLOORS, CEILING, WINDOWS, DOOR FLANGES AND JAMBS.  
13. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECIFICATIONS.  
14. SLOPE ALL EXTERIOR PLATFORMS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12' TO DRAIN OR AS NOTED ON PLANS.  
15. PROVIDE TERMITE PROTECTION INCLUDING SOIL TREATMENT BY LICENSED EXTERMINATOR.

**SPECIFICATIONS - GENERAL CONDITIONS**  
1. ALL WORK SHALL CONFORM TO ALL LOCAL AND NATIONAL ORDINANCES & BUILDING CODES APPLICABLE TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO INTERNATIONAL RESIDENTIAL CODE - 2018.  
2. DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. CONTRACTOR AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS, EQUIPMENT, ETC. AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.  
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, EASEMENTS AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.  
4. DESIGN STANDARDS  
USE GROUP: RESIDENTIAL  
CONST. TYPE: TWO STORY WOOD FRAME W/ BRICK & SIDING  
5. DESIGN LOADS (IRC TABLE 301.5) WIND LOAD: ± 15  
ROOF LIVE LOAD: 40 PSF WIND SPEED: 115 MPH  
GROUND SNOW LOAD: 40 PSF IMPORT FACTOR: 1  
FLOOR LIVE LOAD (FF): 40 PSF EXP. FACTOR: "C"  
FLOOR LIVE LOAD (EF): 30 PSF SESMIC DESIGN CAT.: 2  
ATTIC LIVE LOAD (ATTIC): 20 PSF WEATHERING: SEVERE  
GARAGE LIVE LOAD: 50 PSF ZONE: 4A  
GUARD RAILS: 200 LBS. FORCE IN ANY DIRECTION  
SOIL BEARING: ASSUMED 2,000 PSF FROST LINE DEPTH - 30"  
TERMITE: VERY HEAVY DECATY: VERY HEAVY  
RADON RESISTANT CONSTRUCTION REQ'D: YES

**CONCRETE**  
1. CONCRETE FOR THIS PROJECT SHALL BE NORMAL WEIGHT (145 PCF) AND CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) STANDARD 318.99.  
2. CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.  
3. ALL REINFORCING BAR SHALL BE GRADE 60 (FY=60,000 PSI)  
4. ALL INTERIOR CONCRETE SLABS SHALL BE 4" THICK AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH 6x6 - W1.4 x W1.4 WVF AND BE POURED OVER A SIX (6) MIL POLY VAPOR BARRIER OVER ALL FLOOR GRANULAR FILL.  
5. ALL INTERIOR CONCRETE SLABS 30'-0" OR GREATER IN ANY DIMENSION SHALL HAVE CONTROL JOINTS.  
6. ALL EXTERIOR CONCRETE SLABS SHALL BE AIR ENTRAINED (AIR CONTENT BETWEEN 5% AND 7%) INCLUDING THE GARAGE SLAB. AND HAVE 4" GRANULAR FILL MIN BELOW CONCRETE SLAB.  
7. WHERE PORCH (NOT MONOLITHICALLY POURED), PATIO OR OTHER CONCRETE FLAT WORK ADJACENT AN EXISTING CONCRETE SLAB PROVIDE A 1/2" ASPHALT IMPREGNATED FIBER BOARD EXPANSION JOINT.  
8. ALL REINFORCING SHALL CONFORM TO "SPECIFICATIONS FOR DEFORMED BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT" (ASTM 1 615-60). WELDED WIRE FABRIC SHALL CONFORM TO LATEST ASTM A185.  
9. REINFORCEMENT FOR THE ANCHORAGE OF CONNECTING WORK, IF NOT CONTINUOUS, AND REINFORCEMENT FOR TEMPERATURE AND ALL OTHER PURPOSES NOT SPECIFICALLY PROVIDED, SHALL LAP 30 BAR DIAMETERS OR 18" MINIMUM AT ALL SPLICES. OR SHALL HAVE DOWELS OF THE SAME BAR SIZE AND SPACING AS THAT OF REINFORCING TO BE SPLICED OR WORK TO BE CONNECTED.  
10. MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT:  
CONCRETE DEPOSITED AGAINST GROUND 3"  
FORMED CONCRETE IN CONTACT WITH GROUND 2"  
FORMED CONCRETE NOT IN CONTACT WITH GROUND 1 1/2"

**PREPARATION FOR SLAB**  
1. REMOVE ALL VEGETATION AND TOP SOIL CONTAINING ORGANIC MATERIALS FROM THE ENTIRE AREA TO BE COVERED BY THE BUILDING.  
2. IF FILL IS REQUIRED TO RAISE SLAB, SCARIFY THE SUB GRADE TO A DEPTH OF 6" AND RECOMPACT TO A MINIMUM DENSITY OF 92% AND A MAXIMUM OF 98% OF STANDARD PROCTOR DENSITY (ASTM-D-698) WITH A MOISTURE CONTENT AT OR SLIGHTLY ABOVE OPTIMUM.  
3. INSTALL FILL IN LOOSE LIFTS OF 8" THICK AND UNIFORMLY COMPACTED AS IN THE NOTE ABOVE.  
4. FILL MATERIALS SHALL BE VERY SANDY TO CLAYEY SAND WITH A PLASTICITY INDEX (PI) IF BETWEEN 2 AND 15.

**FOUNDATION PERIMETER INSULATION**  
1. INSTALL EXPANDED RIGID CLOSED CELL POLYSTYRENE FOAM BORDER FED SPEC HH-15428. DENSITY 2.1 LBS PER CU. FT. "R" VALUE PER 1" THICKNESS - 5.41

**STAIR DIMENSION:**  
MAX R: 7' 0"  
MIN T: 10"

**SHEET INDEX**

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**STRUCTURAL STEEL NOTES**

1. MATERIALS  
STRUCTURAL STEEL AND PLATE ASTM A36  
UNFINISHED BOLTS ASTM A307  
HIGH-STRENGTH BOLTS ASTM A325  
WELDING ELECTRODES ASTM 1233, CLASS E70  
2. BEAM TO BEAM AND COLUMN CONNECTIONS SHALL BE AISC STANDARD (FULL DEPTH) WHERE REACTIONS EXCEED MINIMUM CONDITIONS, THE APPROPRIATE CONNECTIONS SHALL BE DETERMINED BY FABRICATOR (CONTRACTOR).  
3. ALL MAJOR CONNECTIONS SHALL BE HIGH STRENGTH FRICTION BOLTS OR WELDS OF EQUAL STRENGTH. ANCHOR BOLTS SHALL BE UNFINISHED BOLTS.  
4. STEEL WORK SHALL BE FABRICATED AND ERRECTED IN ACCORDANCE WITH LATEST AISC SPECIFICATIONS.  
5. SUBMIT SHOP DRAWINGS FOR ALL STEEL WORK.  
6. STEEL LINTELS - FOR ALL OPENINGS AND RECESSES IN STONE OR BRICK FACED WALLS NOT SPECIFICALLY DETAILED, PROVIDE ONE STEEL ANGLE FOR EACH 4 INCHES OF WALL THICKNESS. STEEL ANGLES TO HAVE MINIMUM BEARING OF 4" AT EACH END. HORIZONTAL LEG SHALL BE 3 1/2" UNLESS OTHERWISE SHOWN.  
7. LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS) NOTE ALL LINTELS ARE TO RECEIVE SHOP APPLIED CORROSION PROTECTION.  
8. STEEL BEAM POCKETS, SIZE AS INDICATED ON PLANS. BEAMS SHALL HAVE A MINIMUM BEARING OF 16" IN LENGTH MEASURED PARALLEL TO THE BEAM UPON SOLID MASONRY NOT LESS THAN 4" IN THICKNESS OR UPON A METAL BEARING PLATE OF ADEQUATE DIMENSIONS TO DISTRIBUTE THE LOAD SAFELY. AREA AROUND BEAM TO RECEIVE PARGE FINISH.  
9. STEEL PLATE IS ANCHORED TO STEEL BEAM WITH 3/8" DIAMETER STEEL BOLTS OR EQUIVALENT POWER ACTIVATED FASTENERS AT 48" O/C. FASTENERS TO BE LOCATED A NEAR TO CENTER OF BEAM AS POSSIBLE.  
10. STEEL BEAMS SHALL HAVE A MINIMUM BEARING OF 4 INCHES IN CONCRETE POCKETS AND A MINIMUM BEARING OF 3 INCHES ON STEEL COLUMNS. STEEL BEAMS SHALL BE CENTERED OVER COLUMNS BELOW.

**MASONRY**  
1. MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES. EACH TIE SHALL BE 24" ON CENTER HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 1/4 SQUARE FEET OF WALL AREA. ADDITIONAL METAL TIES SHALL BE PROVIDED AROUND ALL WALL OPENINGS GREATER THAN 16". THESE TIES SHALL BE NOTED MORE THAN 3" ON CENTER AND PLACED WITHIN 12" OF THE WALL OPENING.  
2. CONCRETE MASONRY UNITS SHALL MEET ASTM C90 GRADE A, 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSIVE STRENGTH OF BLOCK TO BE 2000 PSI.  
3. CARE AND PROPER MEASURES SHALL BE EMPLOYED TO PREVENT ANY SUPER IMPOSED LOADS (I.E. WIND LOADS, SHOWING OR OTHER LATERAL FORCES) FROM BUILDING OR DISTORTING FINISHED MASONRY WALLS BY WAY OF SHORING, BRACING OR OTHER MEANS AS SITE REQUIRES.  
4. USE TYPE "M" MORTAR FOR MASONRY BELOW GRADE IN CONTACT WITH EARTH.  
5. USE TYPE "N" MORTAR FOR EXTERIOR, ABOVE GRADE LOAD BEARING OR NON-LOAD BEARING MASONRY WALLS AND FOR OTHER AREAS IF NOT OTHERWISE NOTED. EXCEPTION - MASONRY CONSTRUCTION REQUIRING HEAT RESISTANT MORTAR SHALL HAVE A REPAIRABLE AIR SETTING MORTAR.  
6. BRICK VENEER TO BE INSTALLED WITHIN 3/16" DIA WEEP HOLES SPACED AT A MAXIMUM OF 24" O.C. HORIZONTALLY.

**HEADERS**  
1. ALL HEADERS ARE TO BE DOUBLE 2X12 UNLESS SPECIFICALLY NOTED OTHERWISE.

**WOOD FRAMING**  
1. UNLESS OTHERWISE NOTED, ALL INTERIOR PARTITIONS TO BE CONSTRUCTED WITH 2X4 STUDS @ 16" O.C. WITH DOUBLE TOP PLATE.  
2. ALL FRAMING LUMBER SHALL BE SPF No. 1/No. 2 AND HAVE A MINIMUM ALLOWABLE EXTREME FIBER BENDING STRESS OF 875 PSI AND A MINIMUM MODULUS OF ELASTICITY OF 1,400,000 PSI.  
3. ALL FLOOR DECKS ARE TO BE GLED TO SUPPORTING BEAMS AND JOIST WITH PL-400 ADHESIVE AS MANUFACTURED BY "CONTECH" OR APPROVED EQUAL.  
4. ALL WOOD BEAMS MADE OF TWO OR MORE MEMBERS SHALL BE GLED WITH PL-400 ADHESIVE AND NAILED TOGETHER @ 12"  
5. ALL WOOD POSTS MADE UP OF MULTIPLE PIECES SHALL BE GLED WITH PL-400 ADHESIVE AND NAILED @ 12" O.C. BOTH SIDES.  
6. DIRECTLY UNDER PARTITIONS WHICH RUN TO JOISTS (AND ARE OTHERWISE UNSUPPORTED) INSTALL DOUBLE JOISTS.  
7. ALL RAFTERS AND JOISTS SHALL HAVE WOOD OR METAL CROSSBRIDGING AT 8' O.C. OR AT CENTER OF SPAN WHICHEVER IS LESS.  
8. CONTINUOUS LOAD PATH - STEEL HARDWARE CONNECTORS TO GUARD AGAINST UPLIFT FORCES SHALL BE INSTALLED FROM THE FOUNDATIONS TO THE ROOF RAFTERS AT ALL STUDS. THESE SHALL INCLUDE BUT ARE NOT LIMITED TO FOUNDATION CONNECTORS, FLOOR TO FLOOR CONNECTORS, AND ROOF RAFTER HURRICANE CONNECTORS/ANCHORS.  
9. MINIMUM BEARING FOR WOOD JOIST, RAFTERS AND BEAMS SHALL BE 3 1/2" ON WOOD AND 4" ON MASONRY.  
10. INSTALL WOOD JOIST HANGER & WOOD BEAM HANGER CONNECTIONS AS FOLLOWS:  
JOIST HANGER MIN. CAPACITY - 800#  
BEAM HANGER MIN. CAPACITY - 3500#  
11. INSTALL MINIMUM DOUBLE STUDS AT JAMBS OF ALL OPENINGS IN WALLS OR AS SHOWN ON PLAN.  
12. ALL MANUFACTURED TRUSSES ARE TO BE IN ACCORDANCE WITH ASCE 7-16.  
13. FOUNDATION ANCHORAGE: SILL PLATES AND WALLS SUPPORTED DIRECTLY ON CONT. FOUNDATIONS SHALL BE ANCHORED ACCORDING TO IRC R403.1.6.  
14. ALL SILL PLATES AND LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE.

**FINISHES**  
1. ALL FINISHES SHALL BE CLASS C OR BETTER WITH A FLAME SPREAD OF 76-200 OR BETTER AND A SMOKE DEVELOPED INDEX OF 0-450.

**AIR LEAKAGE**  
BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:  
1. ALL JOINTS, SEAMS AND PENETRATIONS.  
2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.  
3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR TRANSOM, JAMBS AND FRAMING.  
4. UTILITY PENETRATIONS  
5. DROPPED CEILING OR CHASES ADJACENT TO THE THERMAL ENVELOPE.  
6. KNEE WALLS.  
7. WALLS AND CEILING SEPARATING A GARAGE FROM CONDITIONED SPACES.  
8. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.  
9. COMMON WALLS BETWEEN DWELLING UNITS.  
10. ATTIC ACCESS OPENINGS.  
11. RIM JOIST JUNCTION.  
12. OTHER SOURCES OF INFILTRATION.

**ROOM FINISH SCHEDULE**

ROOM NAME	FLOOR		WALLS		CEILING		REMARKS
	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH	
LAUNDRY							
BATH	X	X			X	X	
CLOSET							
BEDROOM	X	X			X	X	
POWDER ROOM							
PANTRY	X	X			X	X	
COAT CLOSET							
KITCHEN	X	X			X	X	
DESK AREA	X	X			X	X	
ENTERTAINMENT AREA	X	X			X	X	
PATIO		X					

**CABINET SCHEDULE**

NO.	DESIGNATION	W-D-H	TYPE	REMARKS
01	REP	0.75-24-96	TALL	REFRIGERATOR END PANEL
02	W	36-24-24	WALL	WALL 24" DEEP
03	REP	0.75-24-96	TALL	REFRIGERATOR END PANEL
04	W	33-12-42	WALL	WALL DOUBLE DOOR - EXTEND STILE
05	MW	30-12-42	WALL	MICROWAVE SHELF
06	W	33-12-42	WALL	WALL DOUBLE DOOR - EXTEND STILE
07	W	30-12-36	WALL	WALL DOUBLE DOOR
08	W	30-12-36	WALL	WALL DOUBLE DOOR
09	JAD	24-24-34.5	BASE	BASE 3 DRAWERS
10	BPP	9-24-34.5	BASE	BASE PANTRY PULLOUT
11	TR	9-24-34.5	BASE	TRAY BASE
12	JAD	24-24-34.5	BASE	BASE 3 DRAWERS
13	B	12-24-34.5	BASE	BASE SINGLE DOOR
14	B	12-24-34.5	BASE	BASE SINGLE DOOR
15	JAD	18-24-34.5	BASE	BASE 3 DRAWERS
16	SB	36-24-34.5	BASE	SINK BASE
17	WBP	18-24-34.5	BASE	WASTE BASKET PULLOUT
18	JAD	24-24-34.5	BASE	BASE 3 DRAWERS
19	B	30-18-34.5	BASE	BASE DOUBLE DOOR - FULL HEIGHT
20	B	30-18-34.5	BASE	BASE DOUBLE DOOR - FULL HEIGHT
21	B	30-18-34.5	BASE	BASE DOUBLE DOOR - FULL HEIGHT
22	B	30-18-34.5	BASE	BASE DOUBLE DOOR - FULL HEIGHT
23	VSB	36-21-34.5	BASE	VANITY SINK BASE
24	VSB	48-21-34.5	BASE	VANITY SINK BASE
25	W	33-12-42	WALL	WALL DOUBLE DOOR - WIDE STILE
26	W	33-12-42	WALL	WALL DOUBLE DOOR - WIDE STILE
27	B	33-24-34.5	BASE	BASE DOUBLE DOOR - WIDE STILE
28	B	33-24-34.5	BASE	BASE DOUBLE DOOR - WIDE STILE

**DOOR SCHEDULE**

NO.	DOOR	SIZE	INT/EXT	SADDLE	LABEL	REMARKS
01		3/0x6/8	INT	NO	NO	SINGLE DOOR
02		3/0x6/8	INT	NO	NO	SINGLE DOOR
03		3/0x6/8	INT	NO	NO	SINGLE DOOR
04		2/4x6/8	INT	NO	NO	SINGLE DOOR
05		3/0x6/8	INT	NO	NO	SINGLE DOOR
06		6/0x6/8	EXT	YES	YES	SLIDING DOOR
07		(2)2/0x6/8	INT	NO	NO	DOUBLE DOOR
08		(2)2/0x6/8	EXT	NO	NO	DOUBLE DOOR
09		(2)3/0x6/8	EXT	YES	YES	FULL LITE X/O DOUBLE DOOR
10		(4)2/6x6/8	EXT	YES	YES	FOUR PANEL SLIDING DOOR

**WINDOW SCHEDULE**

WINDOW		REMARKS	
TYPE	MAT. SIZE	OPERATION	REMARKS
A	VINYL EX x EX	CASEMENT	EX WINDOW TO BE USED
B	VINYL 3/0x5/0	CASEMENT	EGRESS
C	VINYL (2) 5/0x5/0	SLIDING	MULLED IN FACTORY
D	VINYL (3) 5/0x5/0 W/ (6) 2/6x1/0 TRANSOMS	SLIDING	MULLED IN FACTORY SEE ELEVATIONS

MIN. DUAL PANE, LOW-E & ARGON GAS FILLED. MAX. U = .31  
TRIM TO MATCH TRIM ON EX. HOUSE

**HEADER SCHEDULE (U.N.O.)**

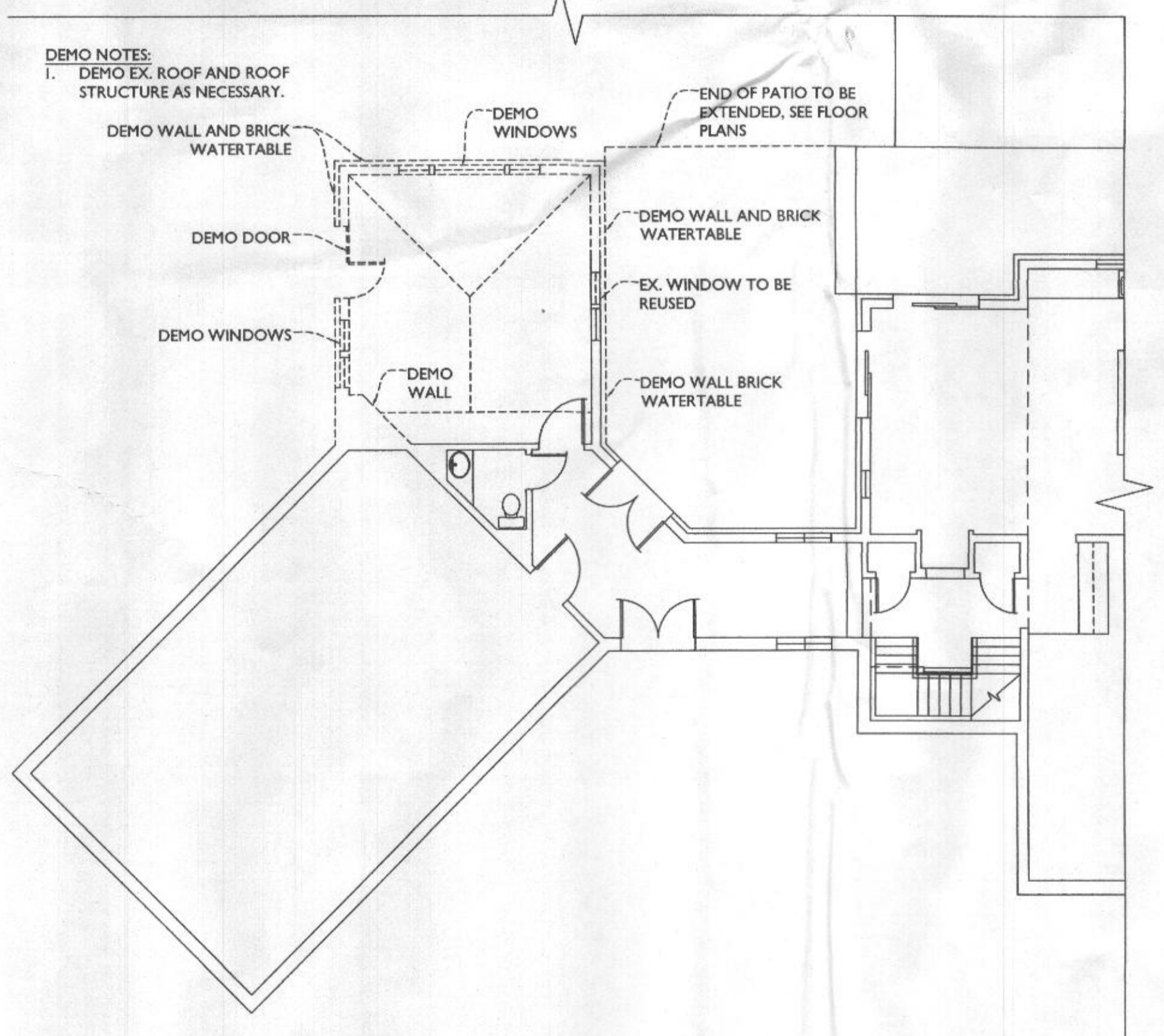
OPENING SIZE	HEADER SIZE
OPENINGS UP TO 3'	(2) 2x10
OPENINGS GREATER THAN 3' UP TO 6'	(2) 1.75 x 9.50 1.9E MICROLAM
OPENINGS GREATER THAN 6' UP TO 8'	(2) 1.75 x 11.875 1.9E MICROLAM

**REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS**

MAX. WALL HT. (FT.)	MAX. UNBALANCED BACKFILL HT.	MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 10" NOMINAL WALL THICKNESS		
		SOIL CLASSES	MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 8" NOMINAL WALL THICKNESS	MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 12" NOMINAL WALL THICKNESS
9	5	GW, GC, SW & SP SOILS	#4 @ 56" O.C.	#4 @ 48" O.C.
		GM, GC, SM, SM-SC & ML SOILS	#4 @ 56" O.C.	#4 @ 48" O.C.
		SC, MH, ML-CL & INORG. CL SOILS	#4 @ 40" O.C.	#4 @ 32" O.C.
			#5 @ 48" O.C.	#4 @ 48" O.C.
9	7	GW, GC, SW & SP SOILS	#4 @ 56" O.C.	#4 @ 48" O.C.
		GM, GC, SM, SM-SC & ML SOILS	#4 @ 56" O.C.	#4 @ 48" O.C.
		SC, MH, ML-CL & INORG. CL SOILS	#4 @ 40" O.C.	#4 @ 32" O.C.
			#5 @ 48" O.C.	#4 @ 48" O.C.
9	9	GW, GC, SW & SP SOILS	#4 @ 56" O.C.	#4 @ 48" O.C.
		GM, GC, SM, SM-SC & ML SOILS	#4 @ 56" O.C.	#4 @ 48" O.C.
		SC, MH, ML-CL & INORG. CL SOILS	#4 @ 40" O.C.	#4 @ 32" O.C.
			#5 @ 48" O.C.	#4 @ 48" O.C.

**STEEL LINTEL SCHEDULE (U.N.O.)**

STEEL ANGLE SIZE	# STORIES ABOVE	# OF 1/2" REBARS
3 x 3 x 1/4	NONE	1
4 x 3 x 1/4	ONE	1
6 x 3-1/2 x 1/4	TWO	2
2 - 6 x 3-1/2 x 1/4	TWO	4



**FIRST FLOOR DEMO PLAN**  
SCALE: 1/8"=1'-0"

**LINE TYPE KEY:**  
NEW WALL: [Pattern]  
EXIST. WALL: [Pattern]  
ABOVE LINE: [Pattern]  
FDN. WALL: [Pattern]  
DEMO WALL: [Pattern]



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I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 13662, EXPIRATION 10-22-2021.

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PROJECT PHASE  
**CD**

PROJECT TITLE  
**THE NASSERI RESIDENCE**

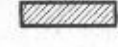
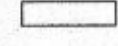


11685 Cedarline Lane  
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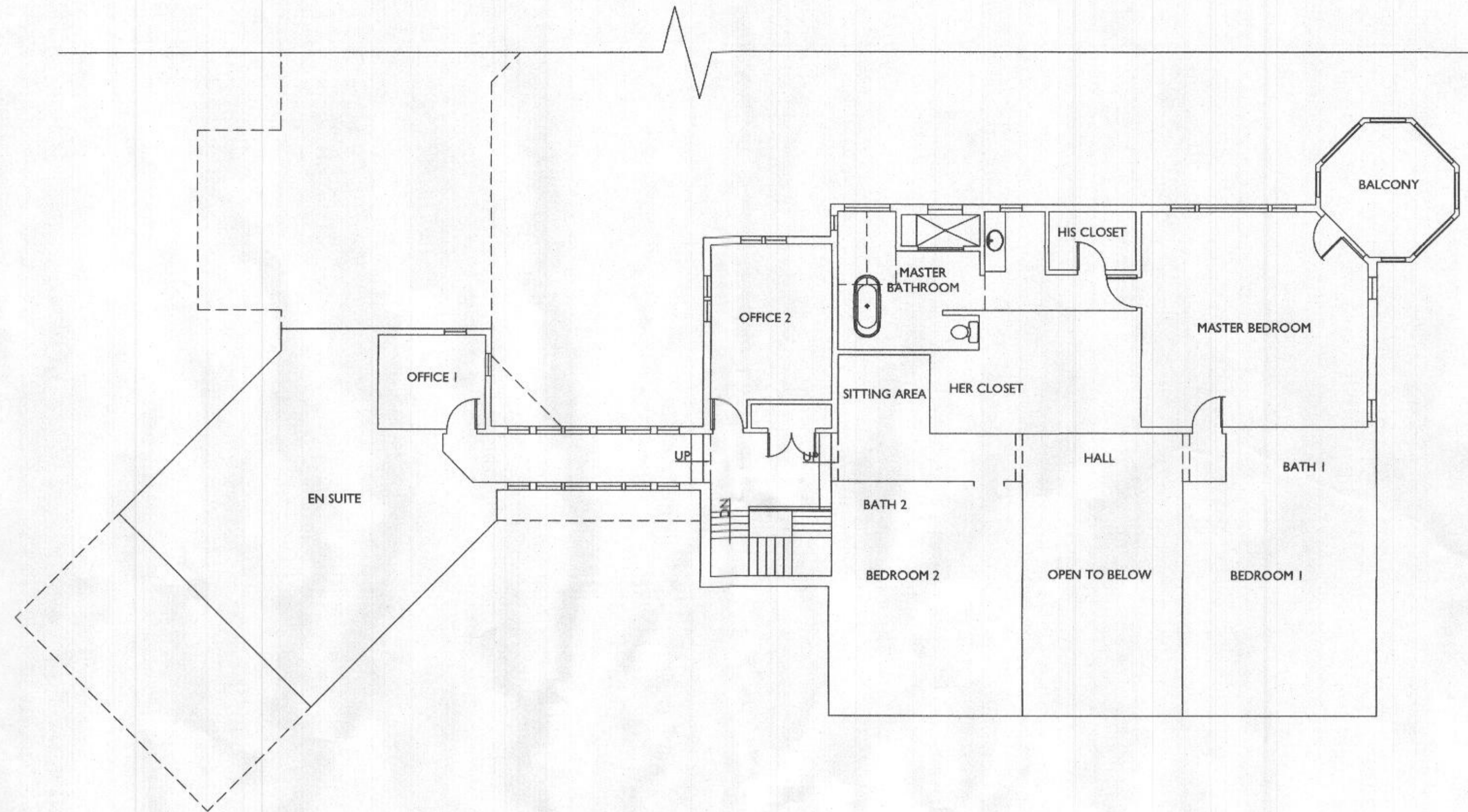
**REVISIONS**

SYMBOL	DATE	ISSUED FOR

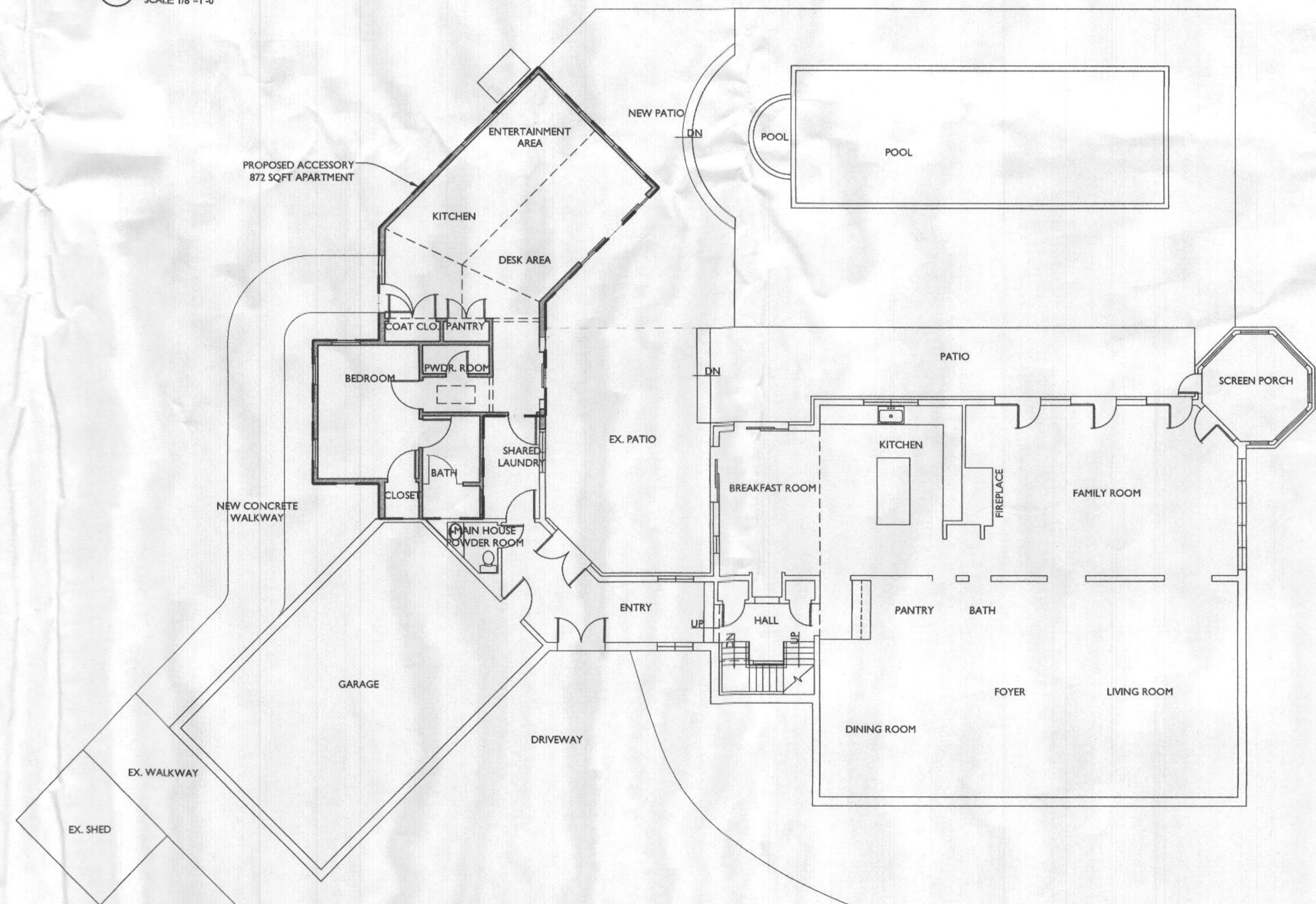
PROJECT NUMBER: 21-565  
DATE: 05/21/2021  
SCALE: AS NOTED  
DRAWING TITLE: PROJ. NOTES SCHEDULES, + DEMO PLAN

SHEET NUMBER  
**A-100**

LINE TYPE KEY:  
 NEW WALL   
 EXIST. WALL   
 ABOVE LINE   
 FDN. WALL 



**KEY SECOND FLOOR PLAN**  
 2  
 A101 SCALE 1/8"=1'-0"



**KEY FIRST FLOOR PLAN**  
 1  
 A101 SCALE 1/8"=1'-0"



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PROJECT PHASE  
**CD**

PROJECT TITLE  
**THE NASSERI RESIDENCE**  
 11685 Cedarline Lane  
 Ellicott City, MD 21042

REVISIONS

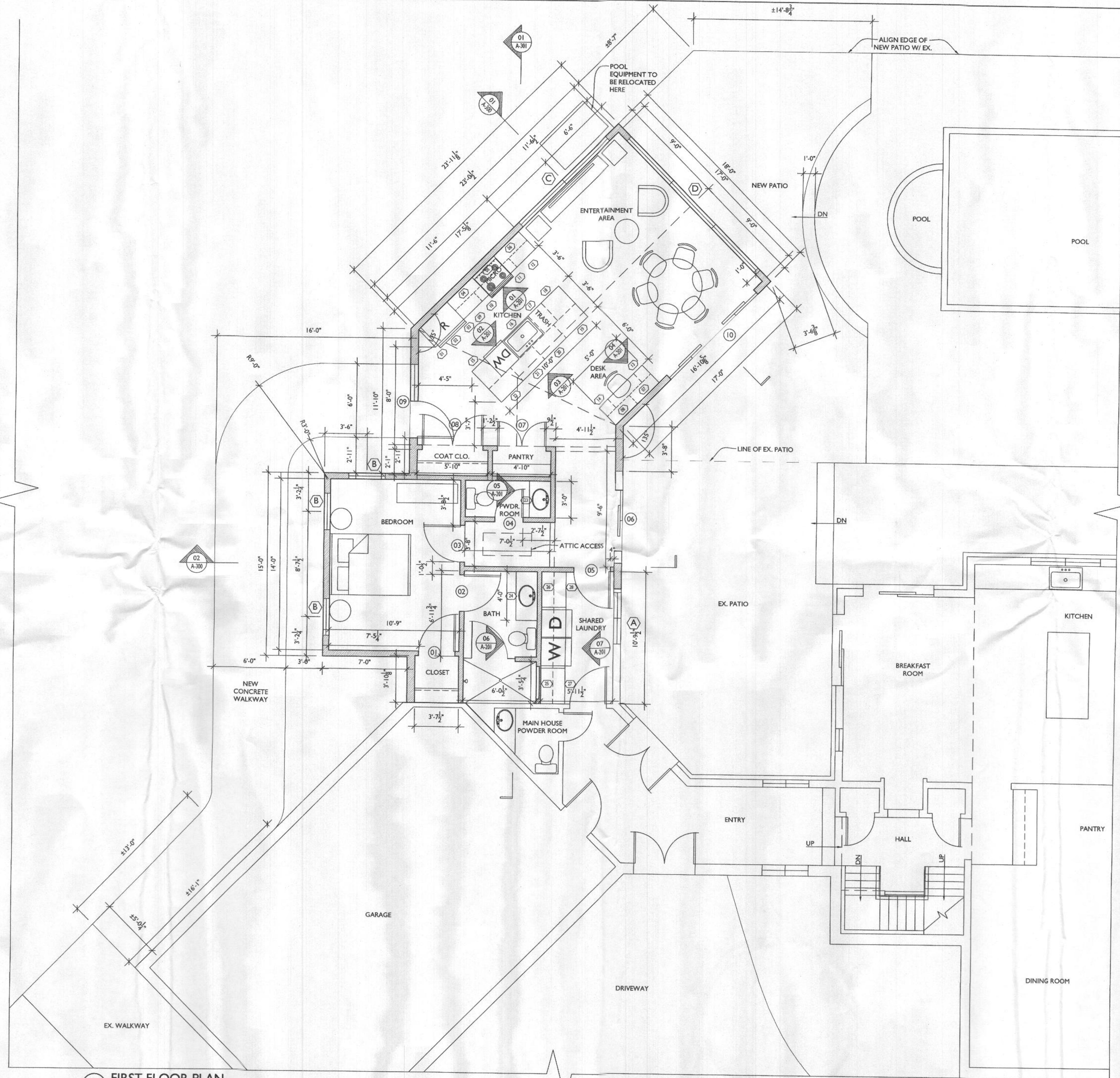
SYMBOL	DATE	ISSUED FOR

PROJECT NUMBER 21-565  
 DATE 05/21/2021  
 SCALE AS NOTED

DRAWING TITLE  
**KEY PLANS**

SHEET NUMBER  
**A-101**

LINE TYPE KEY:  
 NEW WALL [Solid line with hatching]  
 EXIST. WALL [Dashed line]  
 ABOVE LINE [Dotted line]  
 FDN. WALL [Cross-hatched line]



1 FIRST FLOOR PLAN  
 A102 SCALE: 1/4"=1'-0"



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PROJECT PHASE  
**CD**

PROJECT TITLE  
**THE NASSERI RESIDENCE**  
 11685 Cedarline Lane  
 Ellicott City, MD 21042

REVISIONS

SYMBOL	DATE	ISSUED FOR

PROJECT NUMBER 21-565  
 DATE 05/21/2021  
 SCALE AS NOTED

DRAWING TITLE  
**FLOOR PLAN**

SHEET NUMBER  
**A-102**