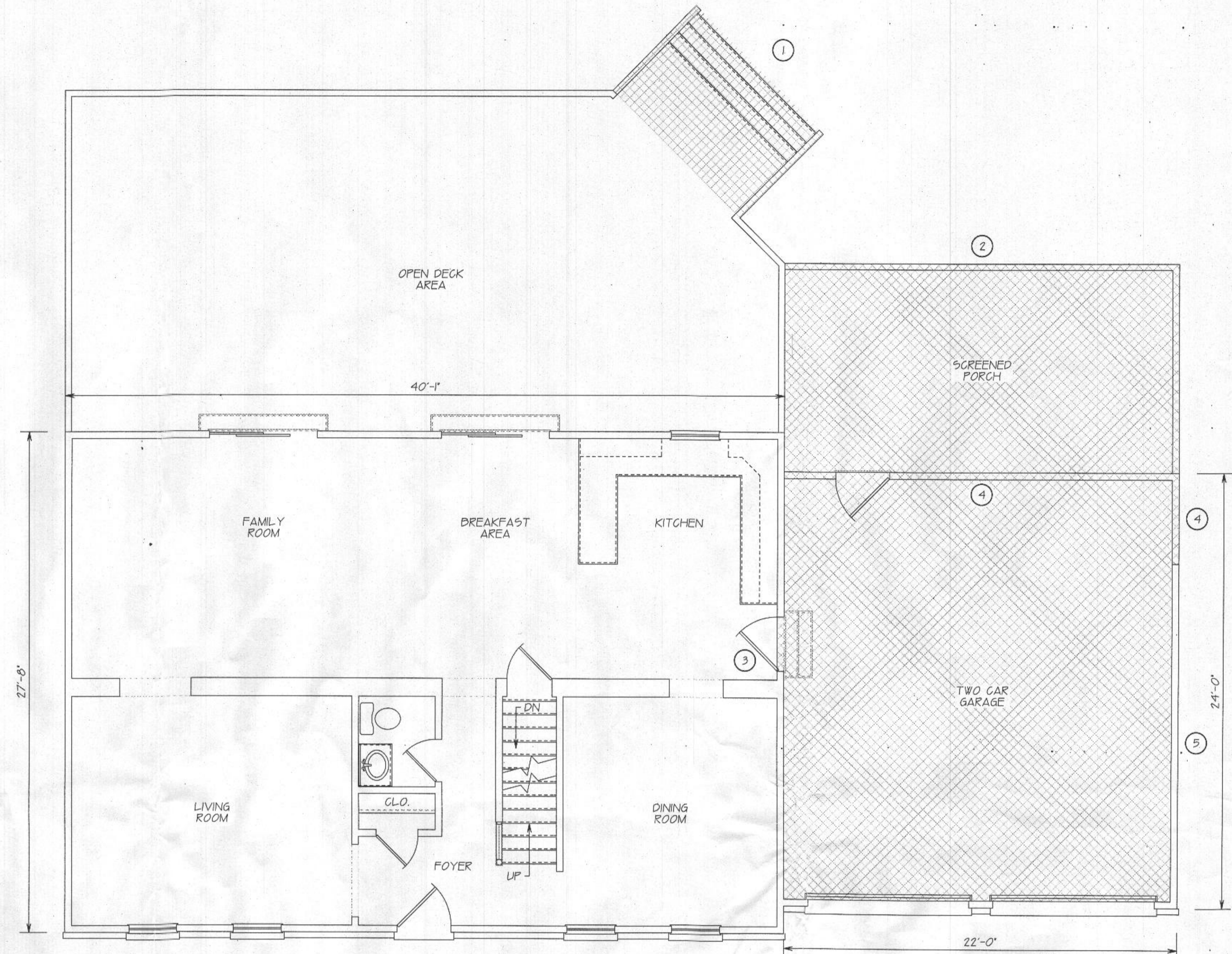


FINISHED AREA: 567 sq'  
UNFINISHED AREA: 460 sq'  
TOTAL BASEMENT AREA: 1,027 sq'

EXISTING LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1' 0"



FIRST FLOOR LIVING AREA: 1109 sq'  
GARAGE AREA: 528 sq'

EXISTING FIRST LEVEL FLOOR PLAN

SCALE: 1/4" = 1' 0"

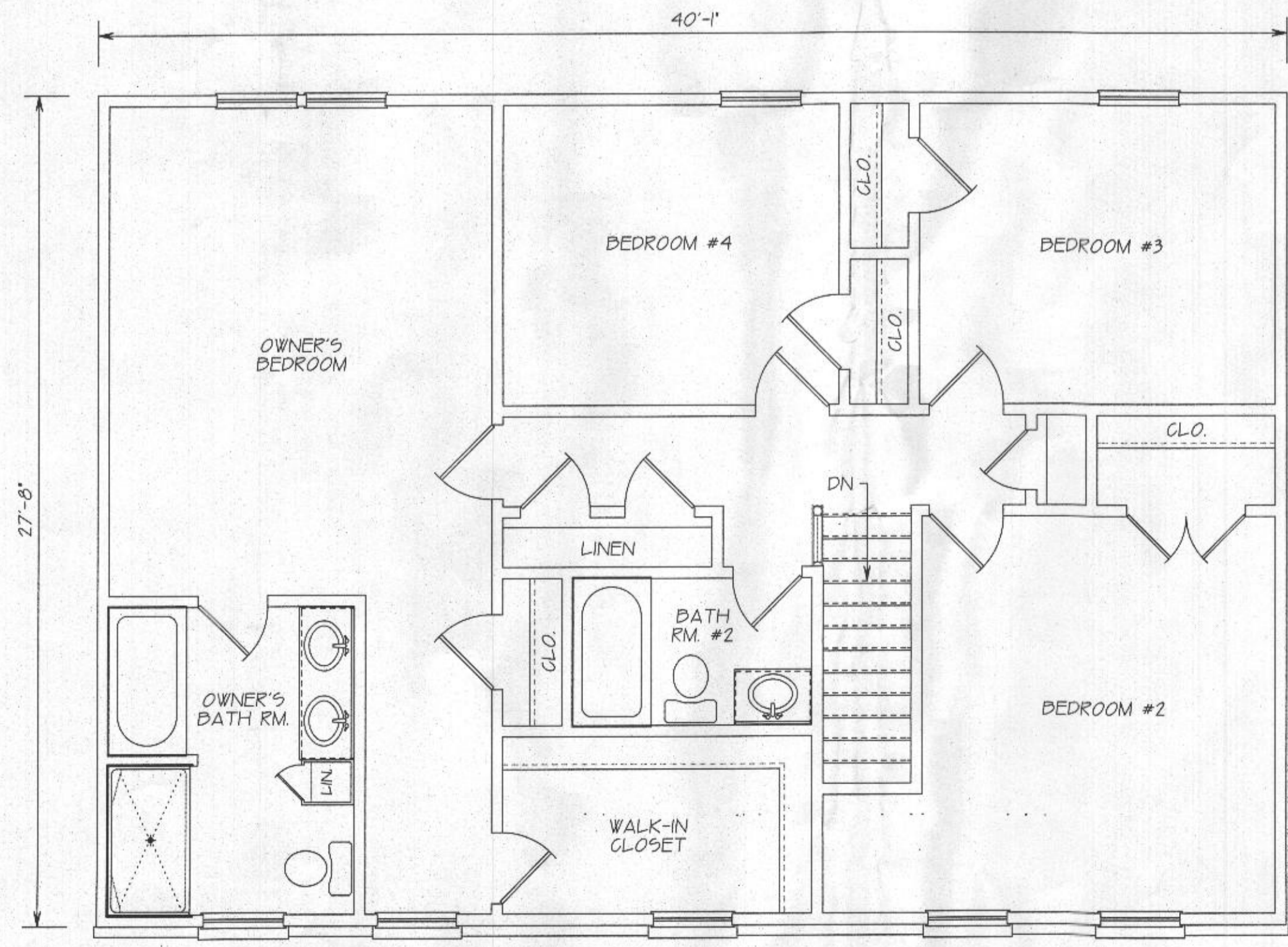
- ① REMOVE LANDING & STAIRS
- ② REMOVE SCREENED PORCH
- ③ REMOVE SWING DOOR. NEW POCKET DOOR
- ④ REMOVE WALL AND/OR DOOR
- ⑤ REMOVE ROOF TRUSSES, SHEATHING & SHINGLES



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BEDROOM AREA: 227 sq'  
OWNER'S SUITE 453 sq'  
BEDROOM #2 AREA: 208 sq'  
BEDROOM #3 AREA: 145 sq'  
BEDROOM #4 AREA: 136 sq'  
COMMON AREA: 167 sq'  
TOTAL 2ND FLOOR AREA: 1109 sq'

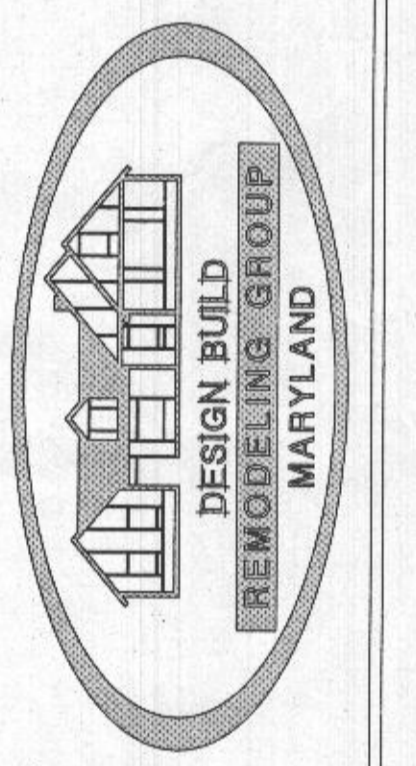


EXISTING SECOND LEVEL FLOOR PLAN

SCALE: 1/4" = 1' 0"

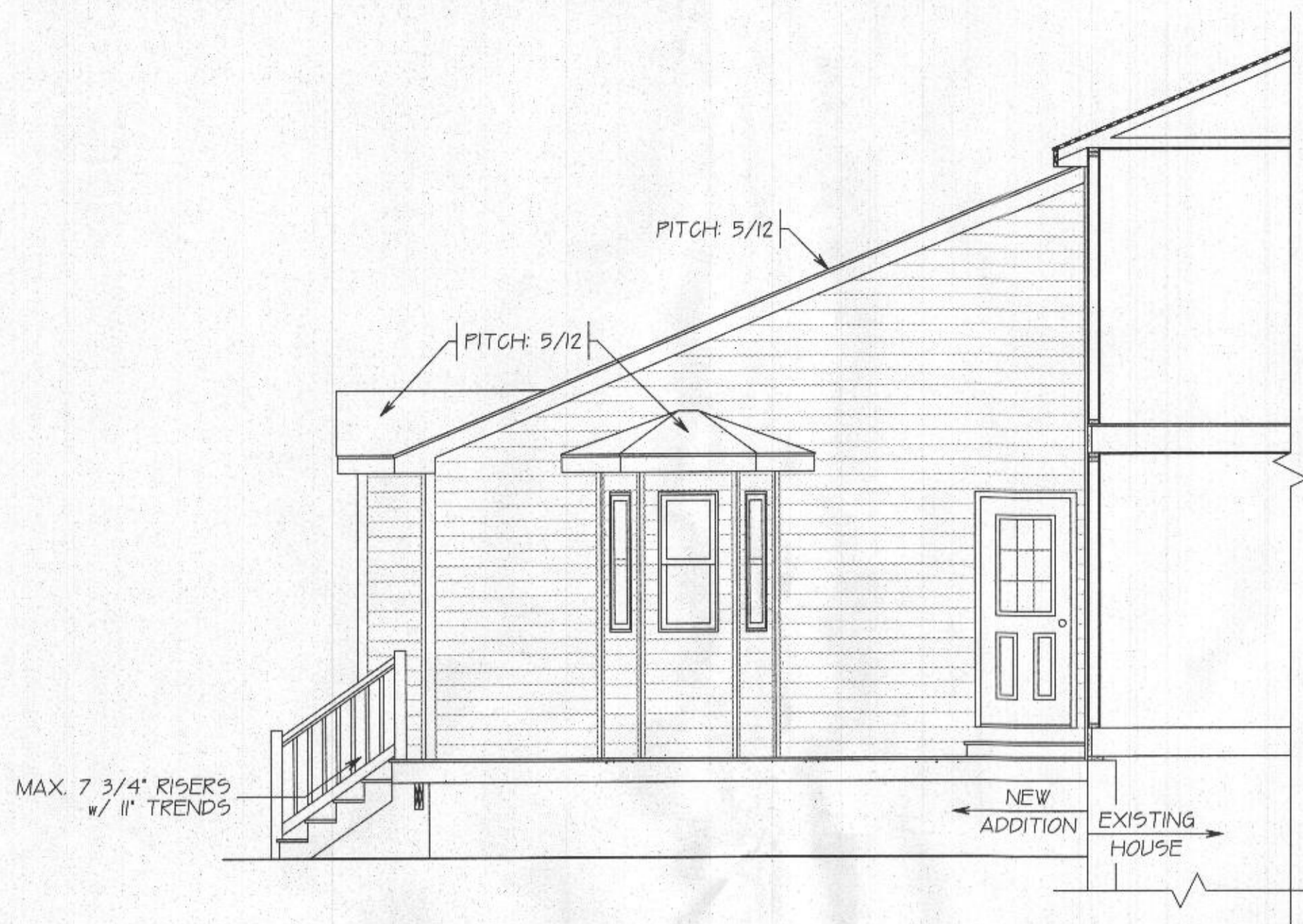
EXISTING LOWER FIRST & SECOND LEVEL FLOOR PLAN - DEMO  
NEW ADDITION FOR GILBERT RESIDENCE  
1755 DRAGON WOOD  
CLARKSVILLE, MARYLAND 21029  
DATE: 7-15-2021  
DRAWN BY: PFG  
SCALE: 1/4" = 1' 0"

CREATIVE OUTLOOKS, LLC  
PHILIP F. GUGLIUZZA  
CUSTOM HOME PLANNING & DESIGN  
HOME ADDITION-REMODELING DESIGN  
COMPLETE CONSTRUCTION PLANS  
PFG@CREATIVEOUTLOOKS.COM



ADDITIONS: GARAGE, FAMILY ROOM,  
OWNER'S SUITE & BATHROOMS,  
KITCHEN, HALLS & MORE  
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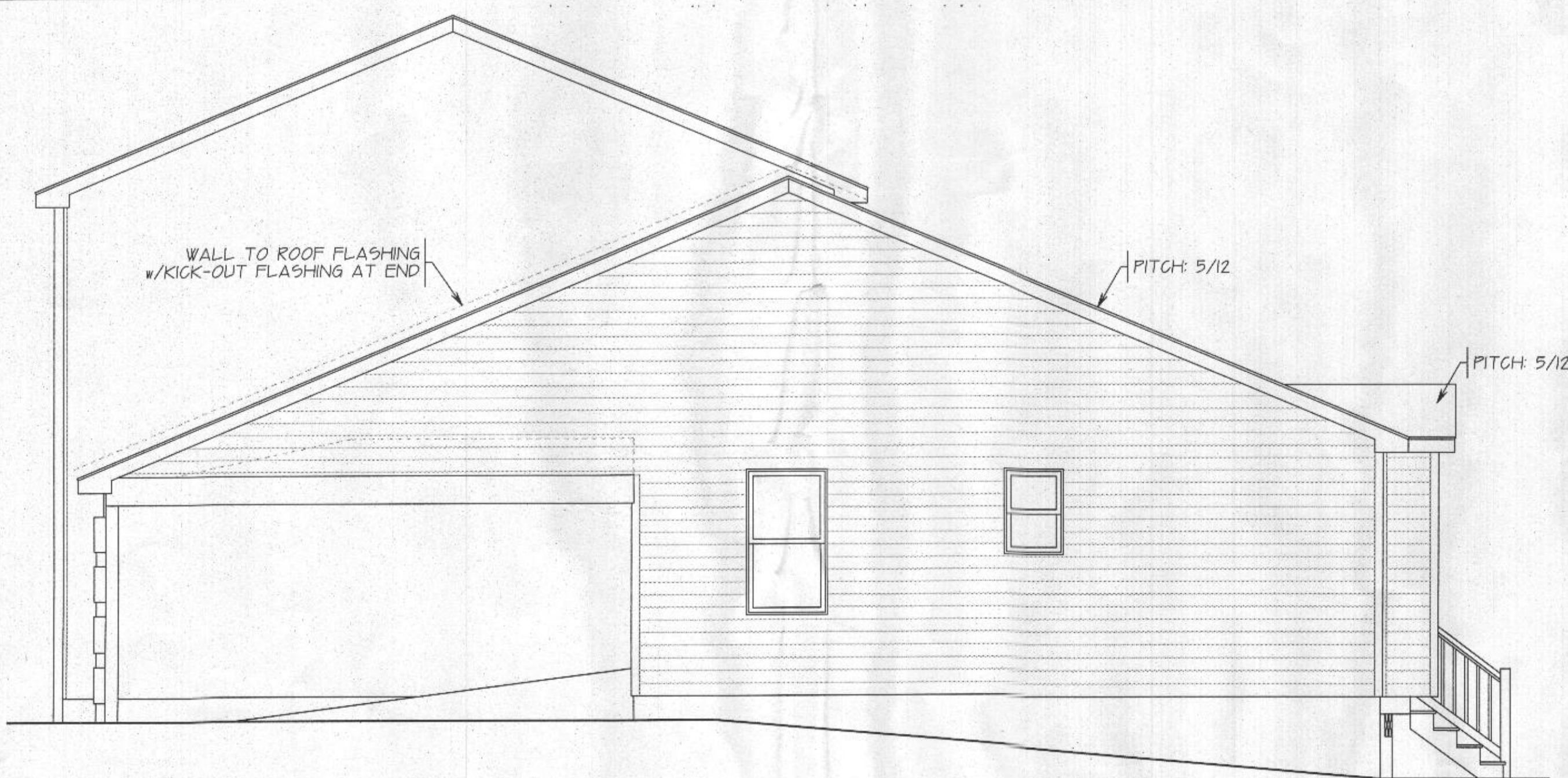
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LEFT SIDE ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION

- INSULATION
- STANDARD TRUSS HEEL: R-49 ATTIC INSULATION RAISED TRUSS HEEL: R-38 ATTIC INSULATION WITH MIN. R-30 INSULATION OVER EXTERIOR WALL PLATE.
  - WALLS R-20
  - BASEMENT WALLS R-10 CONTIGUES OR R-13 CAVITY
  - SLAB PERIMETER R-10
  - CRAWL SPACE WALLS R-10
  - FLOORS R-19
  - WINDOWS MUST HAVE A U-VALUE OF .40
  - SKYLIGHT & DOOR PERFORMANCE CRITERIA:

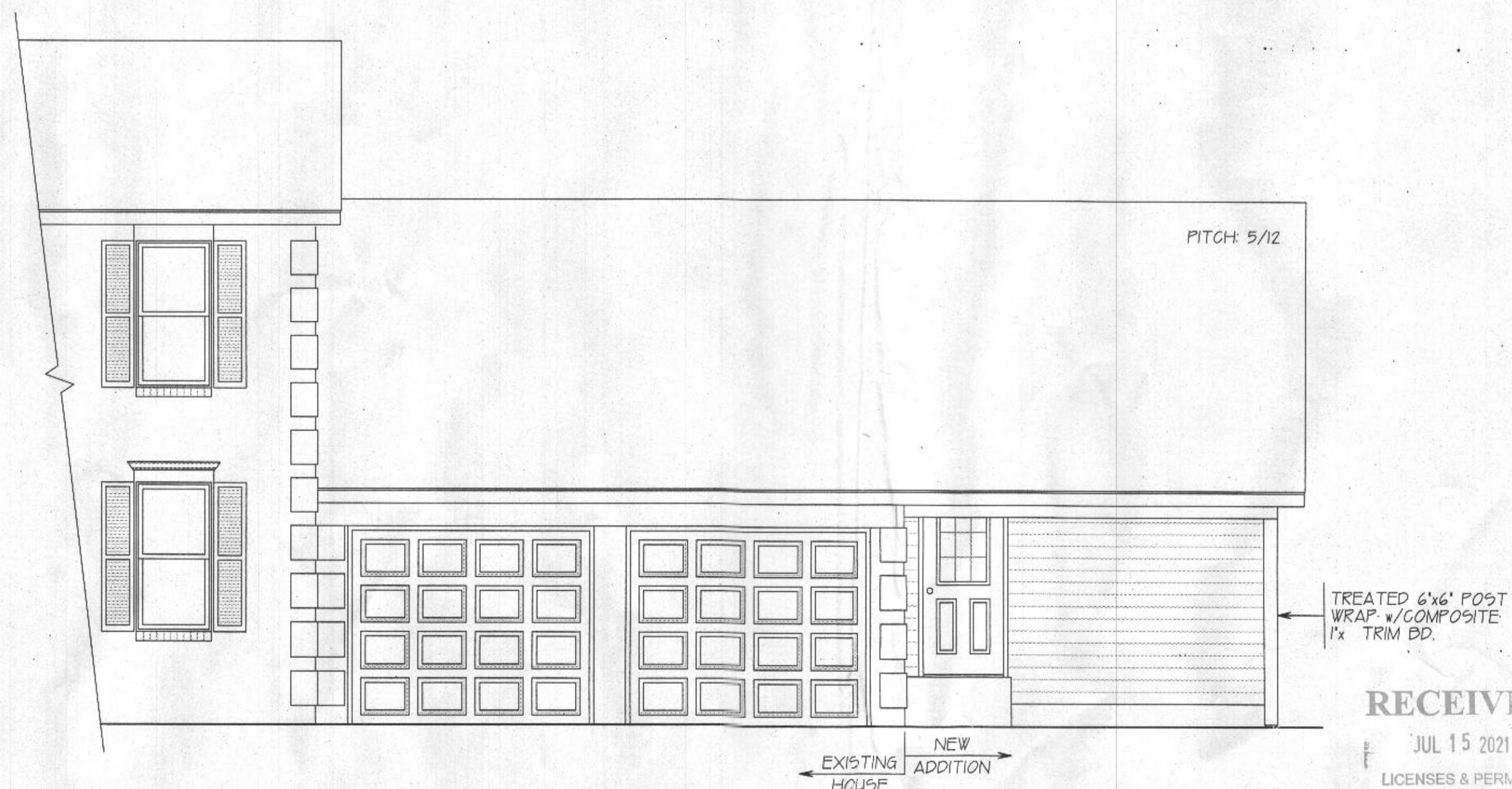
NORTH-CENTRAL SKYLIGHT CRITERIA:	U-FACTOR ≤ 0.32	SHGC ≤ 0.40
NORTH-CENTRAL DOOR CRITERIA:	U-FACTOR ≤ 0.55	SHGC ≤ 0.40
GLAZING LEVEL OF GLAZING	U-FACTOR ≤ 0.21	NO RATING
≤ 1/2-LITE	≤ 0.27	≤ 0.30
> 1/2-LITE	> 0.32	> 0.30

PRESCRIPTIVE METHODS

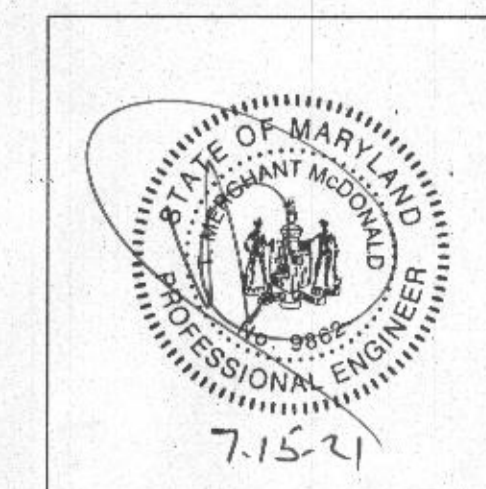
- R3011 CLIMATE ZONE 4A
- R4012 COMPLIANCE METHOD: MANDATORY AND PRESCRIPTIVE PROVISIONS
- R40211 VAPOR RETARDER: WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE 2018 EDITION.
- R40212 ATTIC INSULATION: R-49 w/STANDARD TRUSS HEEL R-20 OR R-13 + R5 CONTINUOUS INSULATION
- R40212 WOOD FRAME WALL: R-13/R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATT'S FULL HEIGHT
- R40212 BASEMENT WALL INSULATION: R-13/R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATT'S FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0"
- R40212 CRAWL SPACE WALL INSULATION: R-19 BATT INSULATION
- R40212 FLOOR INSULATION OVER UNCONDITIONED SPACE: R-19 BATT INSULATION
- R40212 WINDOW U-VALUE/SHGC: .40 (SHGC)
- R402.2.10 SLAB ON GRADE FLOORS LESS THAN 12' BELOW GRADE: R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR 2'-0" VERTICALLY.
- R402.2.4 ATTIC ACCESS: ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49
- R402.4 BUILDING THERMAL ENVELOPE (AIR LEAKAGE): EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2018 IECC WITH CAULK, GASKETS WEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL. SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW SEALING FOR DIFFERENTIAL EXPANSION AND CONTRACTION.
- R402.4.12 BUILDING THERMAL ENVELOPE TIGHTNESS TEST: BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 774 OR ASTM E 1827 WITH (BLOWER DOOR) AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING INSPECTOR.
- R402.4.2 FIREPLACES: NEW WOOD BURNING FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. FIREPLACE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 127 (FACTORY BUILT FIREPLACE AND UL 907 (MASONRY FIREPLACE).

- R402.4.4 ROOMS CONTAINING FUEL-BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE ALLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE. EXCEPTIONS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE. 2. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R1006 OF THE IRC.
- R402.4.5 RECESSED LIGHTING: RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.
- R40311 THERMOSTAT: ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2018 IECC SECTION 403.11
- R40312 WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.
- R40331 MECHANICAL DUCT INSULATION: SUPPLY AND RETURN DUCTS IN ATTIC R-8 MINIMUM, R-6 WHEN LESS THAN 3' SUPPLY AND RETURN DUCTS OUTSIDE OF CONDITIONED SPACES R-8 MINIMUM. ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MINIMUM.
- R403.3.2 DUCT SEALING: ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M601.4) OF THE IRC. A DUCT TIGHTNESS TEST (DUCT BLOWER DOOR TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH-IN TEST. DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE.
- R403.6 MECHANICAL VENTILATION: OUTDOOR (MAKE-UP AND EXHAUST) AIR DUCTS TO BE PROVIDED WITH AUTOMATIC OR GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.
- R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICIENCY TO COMPLY WITH TABLE R403.6.1
- R403.7 EQUIPMENT SIZING SHALL COMPLY WITH R403.7
- R4041 LIGHTING EQUIPMENT: A MINIMUM OF 75% OF ALL LAMP(S) (LIGHTS) MUST BE HIGH EFFICACY LAMP(S). THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING ELECTRICAL PANEL OR WITHIN 6 FEET OF THE ELECTRICAL PANEL AND BE READILY VISIBLE.

IECC CODE COMPLIANCE



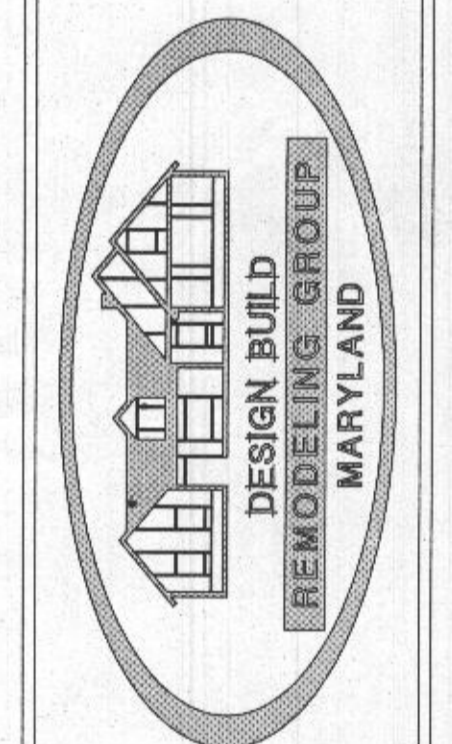
FRONT ELEVATION



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ELEVATIONS & IECC CODE COMPLIANCE  
NEW ADDITION FOR: GILBERT RESIDENCE 11753 DRAGON WOOD CLARKSVILLE, MARYLAND 21029  
DATE: 7-5-2021  
DRAWN BY: PFG  
SCALE: 1/4" = 1' 0"

CREATIVE OUTLOOKS, LLC  
PHILIP F. GUGLIUZZA  
CUSTOM HOME PLANNING & DESIGN  
HOME ADDITION-REMODELING DESIGN  
COMPLETE CONSTRUCTION PLANS  
PHONE: 410-586-1022  
PFCREATIVEOUTLOOKS@GMAIL.COM



ADDITIONS: GARAGE, FAMILY ROOM, OWNER'S SUITE & BATHROOMS, IN-LAW SUITES & MORE  
KITCHEN REMODEL & ADDITIONS  
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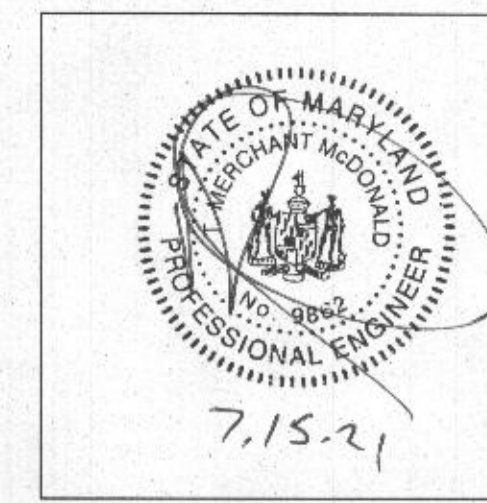
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SHEET No.  
2 of 6

NOTE:

1. CARBON MONOXIDE ALARMS REQUIRED FOR DWELLINGS THAT USE FOSSIL FUELS ONE PER FLOOR LEVEL CENTRAL LOCATION.
2. SMOKE DETECTORS TO BE HARD WIRED WITH BATTERY BACK-UP, ONE IN EACH BEDROOM AND ONE PER FLOOR LEVEL.
3. EXTERIOR DIMENSIONS ARE FROM OUTSIDE OF WALL SHEATHING (6" THICKNESS).
4. INTERIOR DIMENSIONS ARE FROM FACE OF STUDS (3 1/2" OR 5 1/2" THICKNESS).
5. INTERIOR DOORS ARE SHOWN 4" FROM ADJACENT WALL.
6. ALL EXHAUST FANS SHALL BE VENTED TO EXTERIOR.
7. HEADER SHALL BE (2) 2"x10", UNLESS NOTED OTHERWISE.
8. OPENINGS GREATER THAN 4'-0" WIDE REQUIRED DOUBLE 2"x6" JACK STUDS EACH SIDE.
9. CONTRACTOR SHALL VERIFY/COORDINATE ALL BEARING POINT/LOADS ARE DIRECT BEARING ON STEEL BEAM, LVL OR FOUNDATION WALL. PROVIDE SOLID BLOCKING AS NEEDED IN FLOOR SYSTEM.
10. MINIMUM JOIST BEARING ON WOOD-1/2", MASONRY-3"
11. PROVIDE GRACE ICE AND WATER SHIELD (OR EQUAL) ALONG EDGE AND VALLEY.
12. SAFETY GLAZING IS REQUIRED IN THE FOLLOWING AREA: ALL GLASS DOORS, SIDE LITES, AND WINDOWS TO A HEIGHT OF 60" WITHIN 24" OF A DOR FRAME, AREAS AROUND SHOWERS, TUBS, SPAS/POOLS, STAIR LANDINGS, RAILING/GUARDRAIL, AND WALKING SURFACES. WINDOWS HAVING A SILL HEIGHT OF LESS THAN 18" TO THE FLOOR AND GREATER THAN 9'0" IN GLAZING AREA WILL REQUIRED SAFETY GLAZING. FOR FURTHER INFORMATION SEE SECTION R308. NOTE LAMINATED PLASTIC GLAZING AND SAFETY FILM DO NOT PASS FOR SAFETY GLAZING UNLESS FURTHER DOCUMENTATION IS PROVIDED AND APPROVED BY COUNTY.
13. ALL INTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE LANDINGS AND TREADS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE AT THE TOP OF THE LANDING. EXTERIOR STAIRWAY TO BASEMENTS REQUIRE A MEANS TO ILLUMINATE AT THE BOTTOM OF THE LANDING.

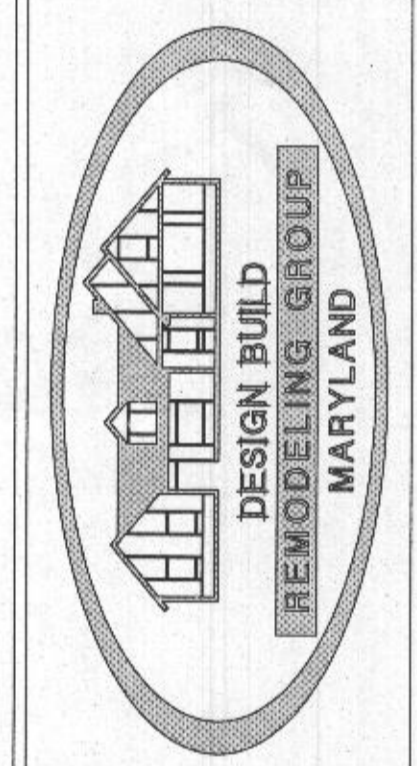
14. HANDRAIL REQUIREMENTS:
  1. ONE SIDE OF STAIRWAY WITH FOUR OR MORE RISERS CONTINUOUS FOR FULL LENGTH (RIGHT SIDE DESCENDING RECOMMENDED).
  2. GRASPABLE PER SECTION R317.8.3.
  3. BETWEEN 34"-38" ABOVE NOSING. PROJECTING FROM WALL MIN. 1 1/2" TO INNER EDGE AND MAX. 4 1/2" TO OUTER EDGE.
  4. ENDS SHALL BE RETURNED TO WALL OR SHALL HAVE TERMINATE IN THE NEWEL POSTS TO SAFETY TERMINALS.
15. GUARDRAIL: OPEN SIDE(S) OF STAIR SHALL HAVE A GUARDRAIL NOT LESS THAN 34" IN HEIGHT MEASURED ABOVE TREAD NOSING. BALUSTERS/PICKETS, INTERMEDIATE RAILS, AND ORNAMENTAL CLOSURES SHALL BE INSTALLED 50 AS NOT TO ALLOW THE PASSAGE OF A SPHERE 4" OR MORE IN DIAMETER ON LEVEL SURFACES, AND NO MORE THAN A 4 3/8" SPHERE ALONG A RUN OF STAIRS.
16. PORCHES, BALCONY DECKS AND OTHER RAISED SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW (MEASURED 36" HORIZONTALLY FROM THE EDGE OF THE OPEN SIDE) SHALL HAVE GUARDRAILS, NOT LESS THAN 36" HIGH SUBDIVIDED PER (7H) ABOVE.
17. A READILY ACCESSIBLE ACCESS OPENING NOT LESS THAN 22"x30" WITH 30" HEAD HEIGHT CLEARANCE SHALL BE PROVIDED TO ANY ATTIC AREA OR OTHER LOCATION HAVING A CLEAR HEIGHT OF 30" OR MORE. CLOSETS (EXCEPT WALK-IN) ARE NOT CONSIDERED READILY ACCESSIBLE. PROVIDE A LIGHT IN THE ATTIC WITH THE VICINITY OF THE ACCESS PANEL. IN ALL NEW CONSTRUCTION IF AIR HANDLER UNITS, WATER HEATERS, OR OTHER SERVICEABLE EQUIPMENT ARE INSTALLED WITH THE ATTIC, ACCESS MUST BE PROVIDED BY PERMANENT OR FULL DOWN STAIRS.



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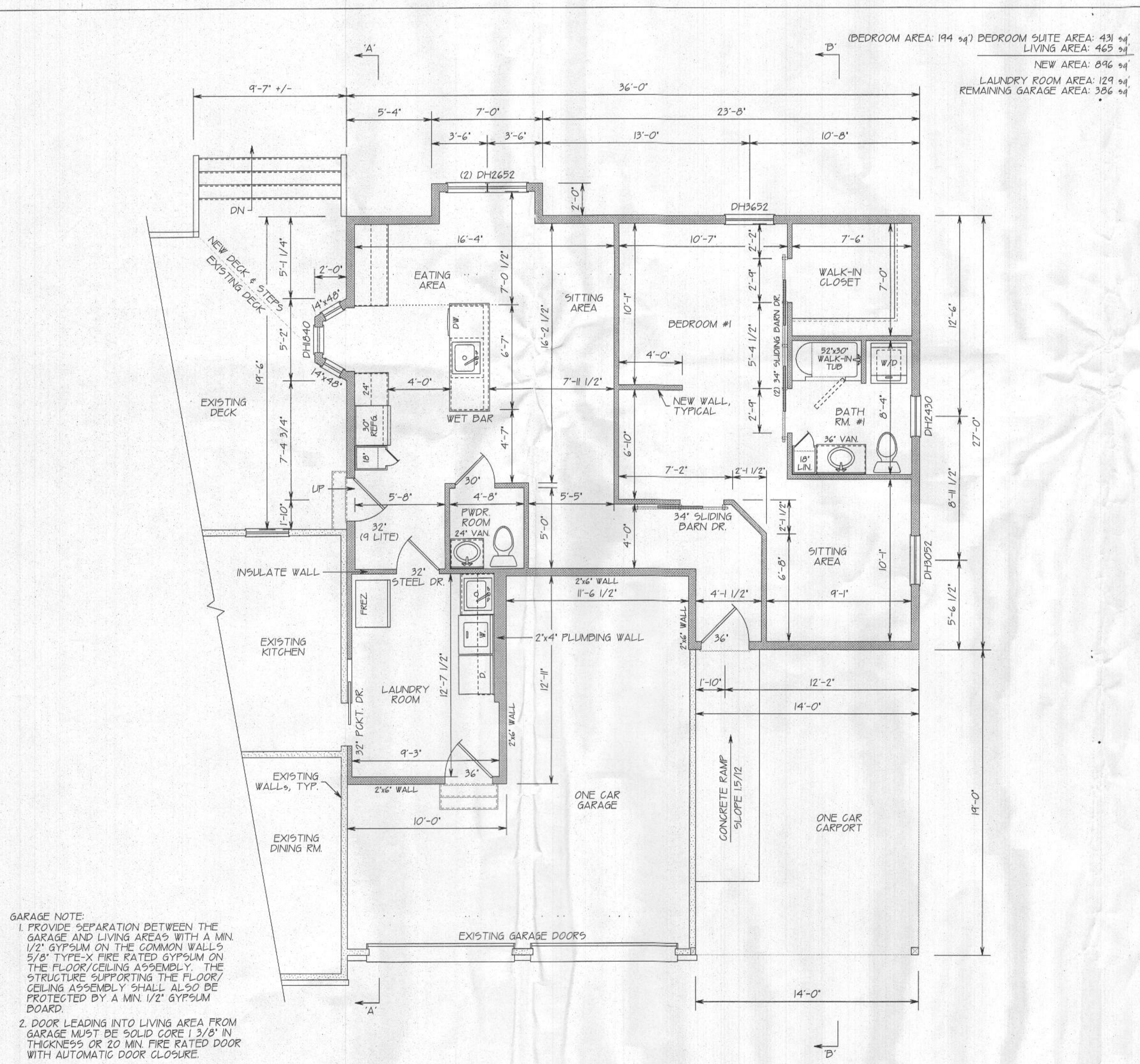
FIRST LEVEL FLOOR PLAN & ROOF PLAN  
 NEW ADDITION FOR  
 GILBERT RESIDENCE  
 11753 DRAGON WOOD  
 CLARKSVILLE, MARYLAND 21029  
 DATE: 7-15-2021  
 DRAWN BY: PFG  
 SCALE: 1/4" = 1'-0"

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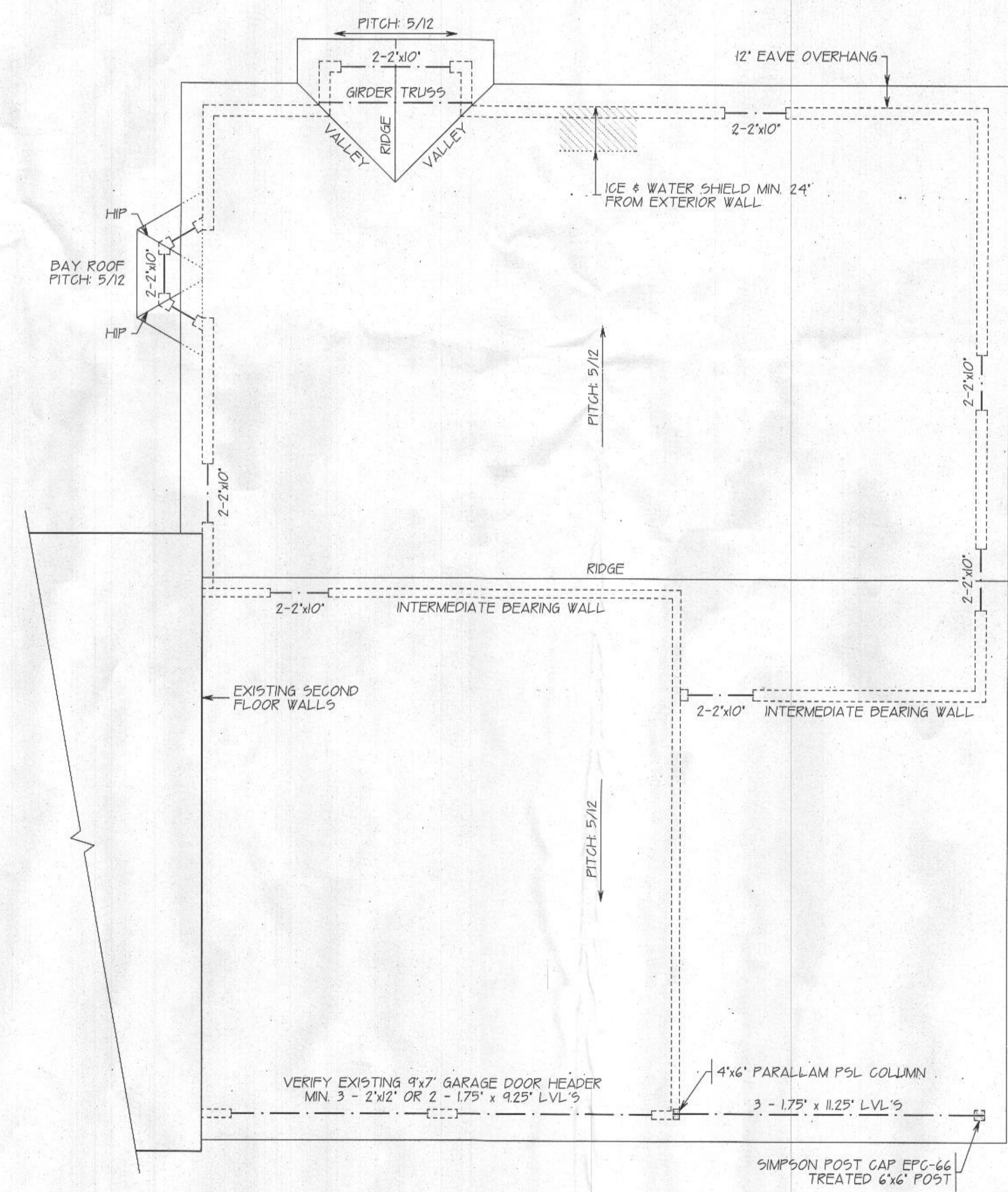


ADDITIONS: GARAGE, FAMILY ROOM, OWNER'S SUITE & BATHROOMS, IN-LAW SUITES & MORE WHICH INCLUDE RENOVATIONS BASEMENTS/DISABILITY NEEDS  
 P.O. BOX 1285 MARYLAND 21764  
 ELDERSDORF, MARYLAND 21764  
 PHONE: 443-500-2266

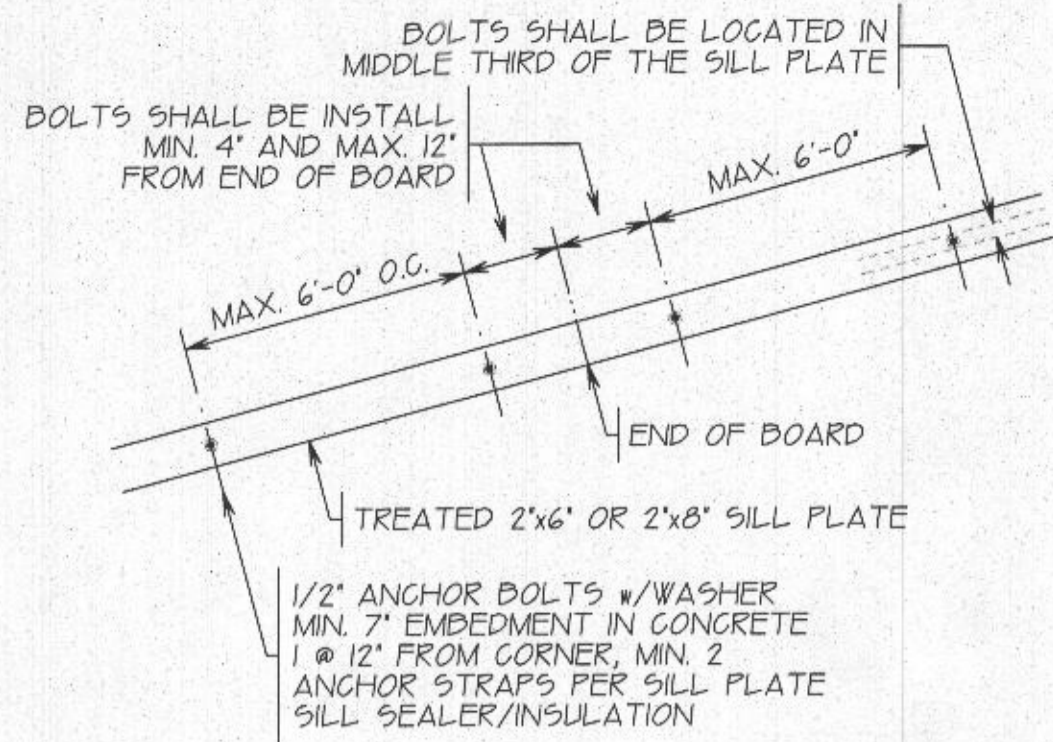
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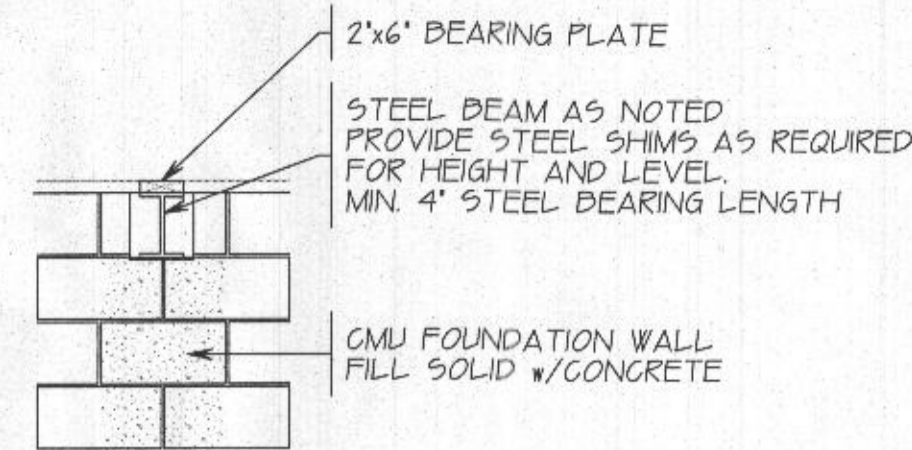
- NOTE:
1. OPENING GREATER THAN 4'-0" REQUIRED DOUBLE 2"x6" JACK STUDS AT EACH END.
  2. TRUSS CONFIGURATION SHOWN DIAGRAMMATICALLY ONLY. CONSULT TRUSS MANUFACTURER FOR SPECIFICATIONS & ACTUAL CONFIGURATION. T.P.I. APPROVED.
  3. PROVIDE KICK-OUT FLASHING WHERE ROOF-TO-WALL INTERSECT/STOP.



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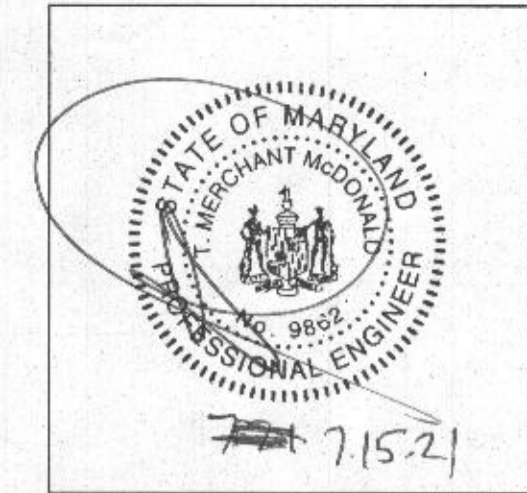
SILL PLATE DETAIL



BEAM POCKET DETAIL

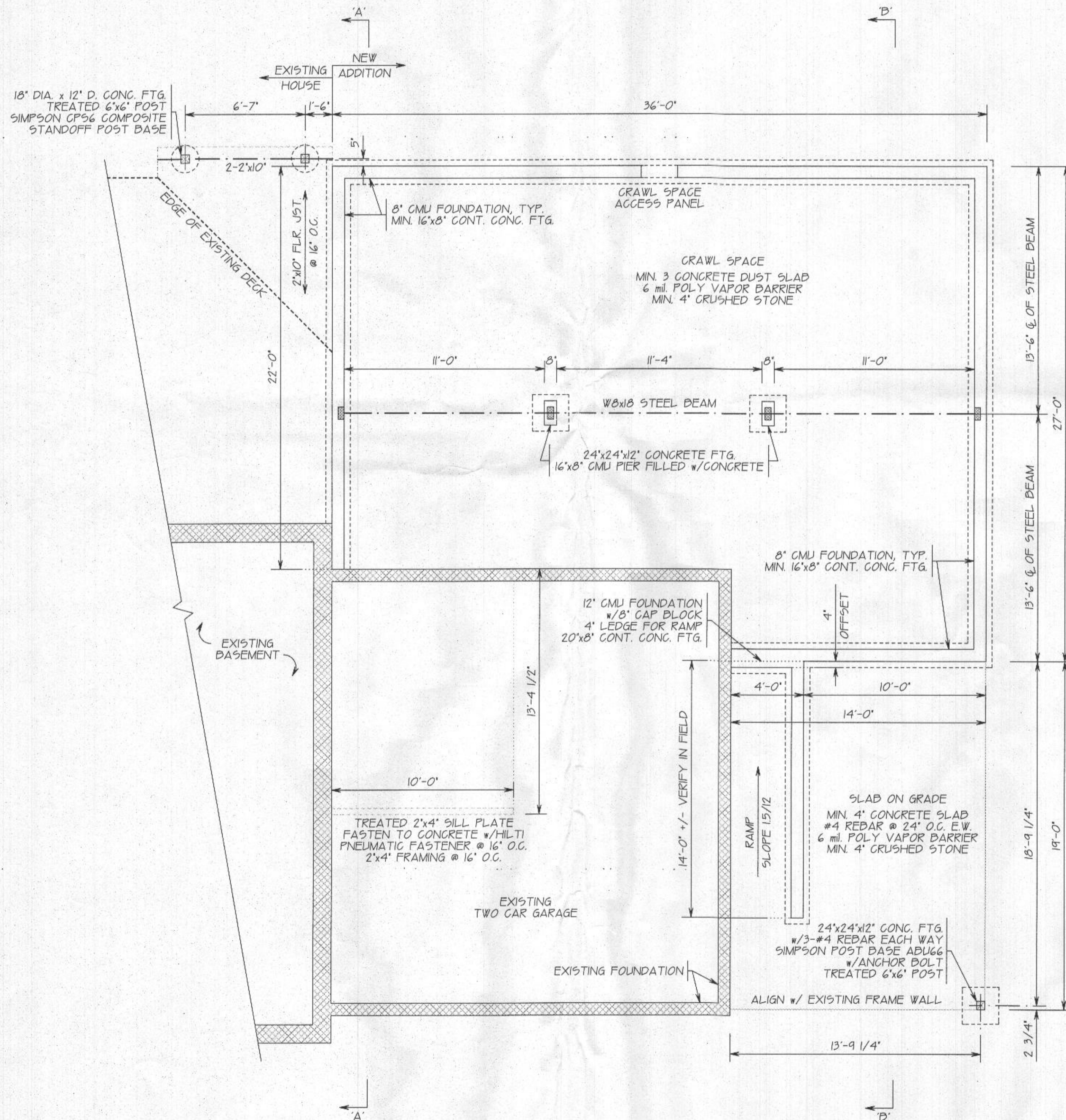
FOOTING SHALL BEAR ON UNDISTURBED SOIL AND BELOW FROST LINE (MIN. 30" FROM FINISH GRADE TO BOTTOM).  
 MIN. CONTINUOUS FOOTING SIZE: DEPTH 8" WIDTH FOUNDATION WALL THICKNESS + 4" EACH SIDE  
 MIN. MASONRY CHIMNEY FOOTING SIZE: DEPTH 12" WIDTH & LENGTH: W & L MASONRY + 6" ALL SIDES.  
 MIN. COLUMN OR PIER FOOTING SIZE (FOR NORMAL RESIDENTIAL LOADING AND ASSUMED 2,000 PSF SOIL BEARING CAPACITY UNLESS OTHERWISE DETERMINED BY CALCULATION) IS 24"x24"x12" THICK FOR ONE STORY, AND 30"x30"x15" FOR TWO STORY.  
 FOUNDATION WALLS SHALL EXTEND AT LEAST 6" ABOVE FINISHED GRADE AT ALL POINTS; 4" ABOVE FOR MASONRY VENEER.  
 LOTS SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' FOR SURFACE DRAINAGE REQUIREMENTS SEE STANDARD STORMWATER MANAGEMENT PLAN INFORMATION PACKAGE FROM COUNTY PLANNING & DEVELOPMENT REVIEW.  
 RADON MITIGATION PER APPENDIX "F". VENT PP MUST EXTEND VERTICALLY STRAIGHT THROUGH THE ROOF FROM THE SUB-SLAB WITH 45 DEGREE ELBOWS ALLOWED TO BEND AROUND OBSTACLES.  
 ALLOWABLE SOIL BEARING IS ASSUMED AS 2000psf UNLESS GEOTECHNICAL INVESTIGATIONS DETERMINE OTHERWISE.  
 FOR OPENINGS IN THE CONCRETE FOUNDATION WALL OF 6' OR GREATER, PROVIDE A #5 REBAR IN EACH FACE OVER THE OPENING, EXTEND REBAR 2' BEYOND OPENING EDGES.

FOUNDATION NOTES

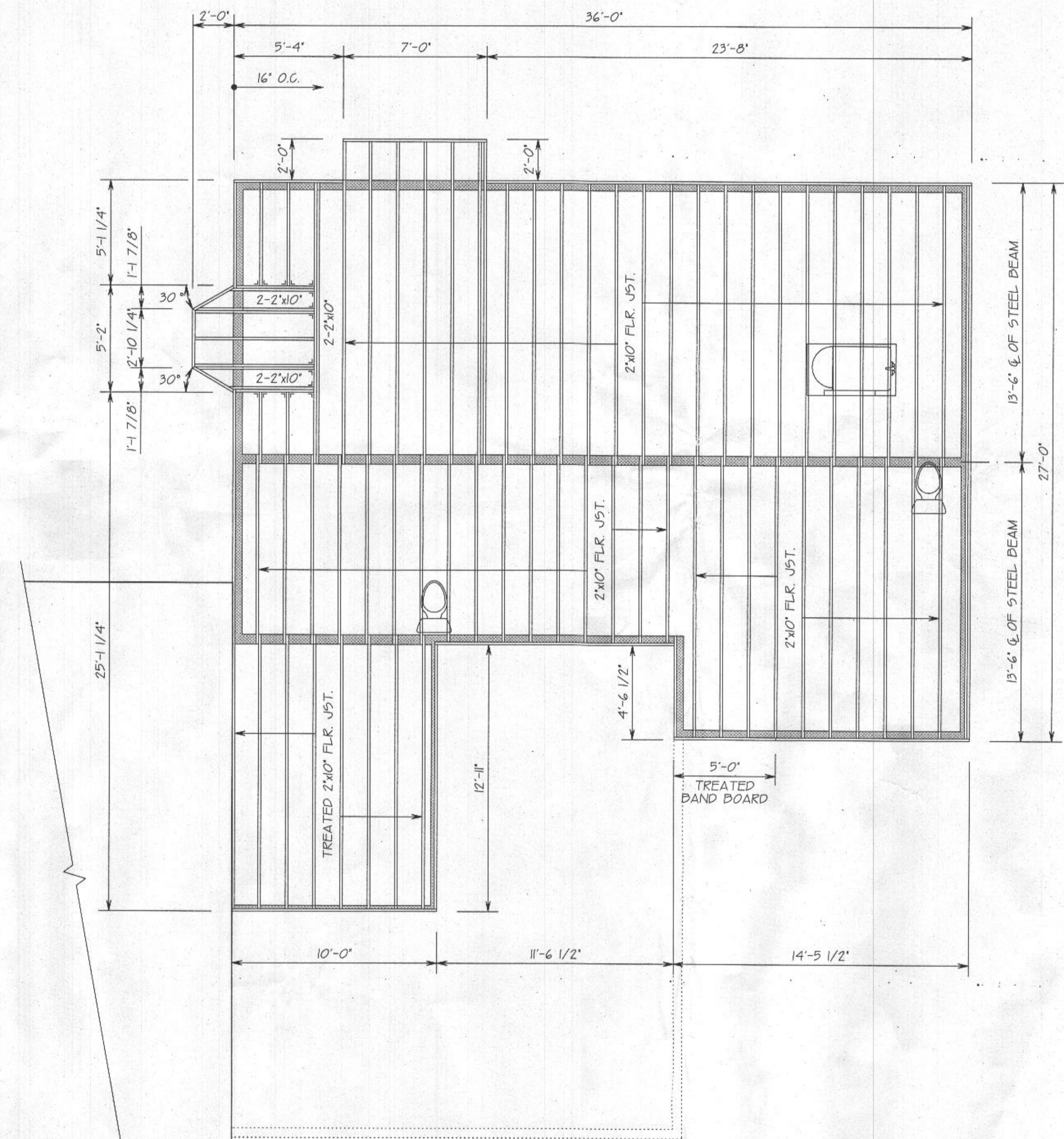


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FOUNDATION PLAN & FIRST FLOOR FRAMING LAYOUT  
 NEW ADDITION FOR GILBERT RESIDENCE  
 11753 DRAGON WOOD  
 CLARKSVILLE, MARYLAND 21029  
 DATE: 7-5-2021 DRAWN BY: PFG SCALE: 1/4" = 1'-0"

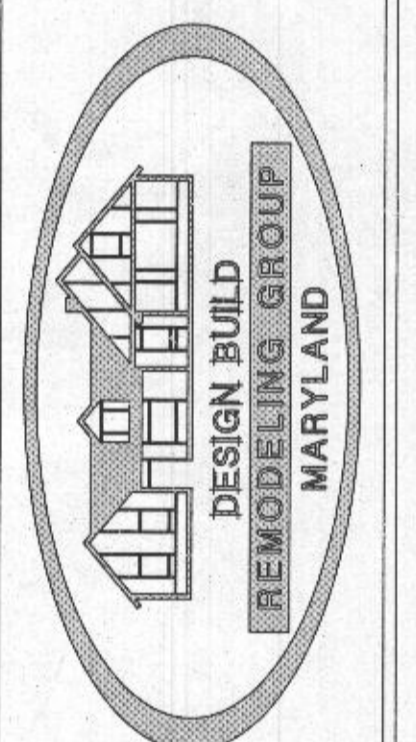


FOUNDATION PLAN



FIRST FLOOR FRAMING LAYOUT

CREATIVE OUTLOOKS, LLC  
 PHILIP F. GHEUZIZZA  
 CUSTOM HOME PLANNING & DESIGN  
 HOME ADDITION-REMODELING DESIGN  
 COMPLETE CONSTRUCTION PLANS  
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 PFG@CREATIVEOUTLOOKS.COM



ADDITIONS: GARAGE, FAMILY ROOM, OWNER'S SUITE & BATHROOMS, IN-LAW SUITES & MORE  
 KITCHEN REMODEL & ADDITIONS  
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 3 of 6

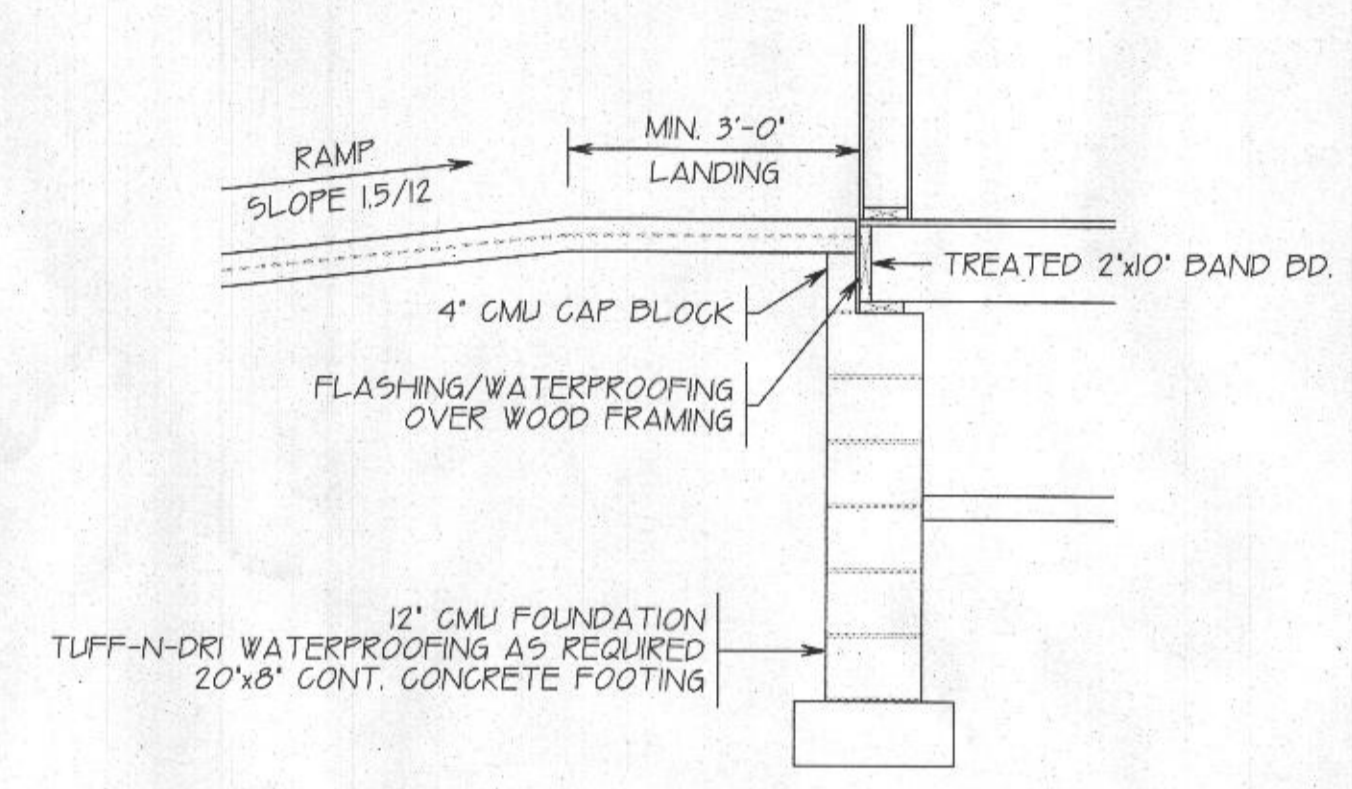
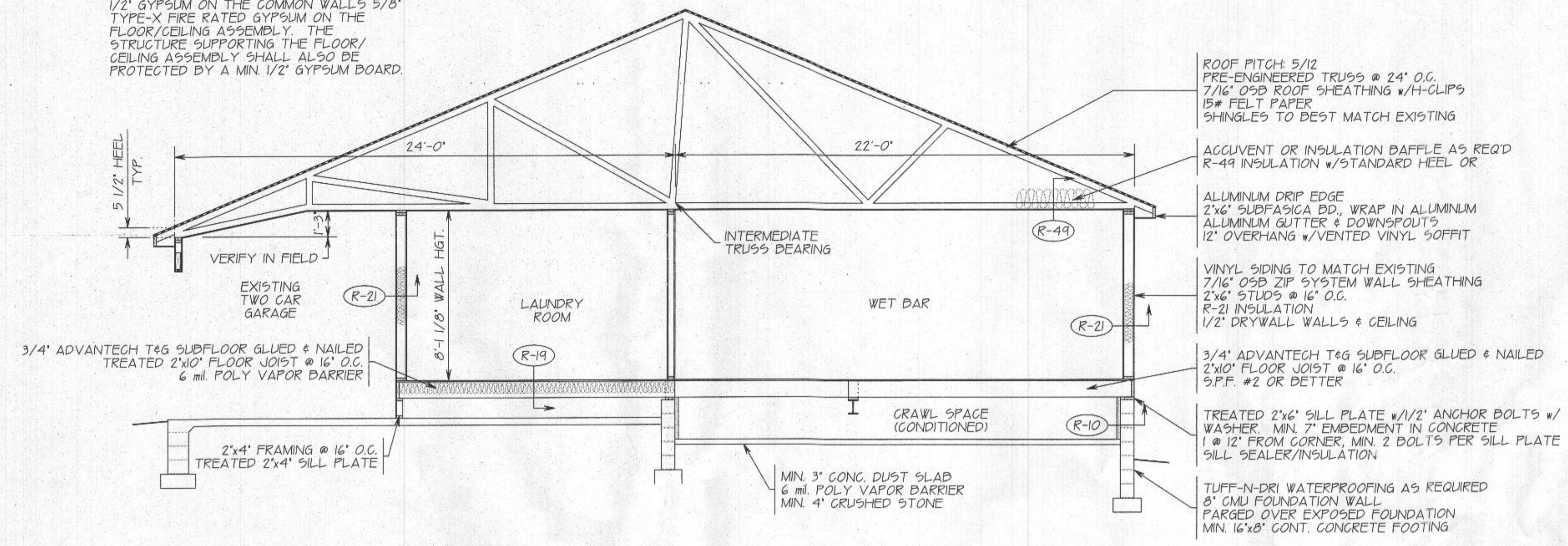


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 Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.  
 License No. 9862, Expiration Date: 5-17-22  
**TMM CONSULTING SERVICES, LLC**  
 7941 HOLLOW RD.  
 MIDDLETOWN, MD 21769  
 240-434-9516

BUILDING SECTIONS  
 NEW ADDITION FOR  
 GILBERT RESIDENCE  
 11753 DRAGON WOOD  
 CLARKSVILLE, MARYLAND 21029  
 DATE 7-5-2021 DRAWN BY P.F.G. SCALE 1/4" = 1'-0"

NOTE:  
 PROVIDE SEPARATION BETWEEN THE GARAGE AND LIVING AREAS WITH A MIN. 1/2" GYPSUM ON THE COMMON WALLS 5/8" TYPE-X FIRE RATED GYPSUM ON THE FLOOR/CEILING ASSEMBLY. THE STRUCTURE SUPPORTING THE FLOOR/CEILING ASSEMBLY SHALL ALSO BE PROTECTED BY A MIN. 1/2" GYPSUM BOARD.

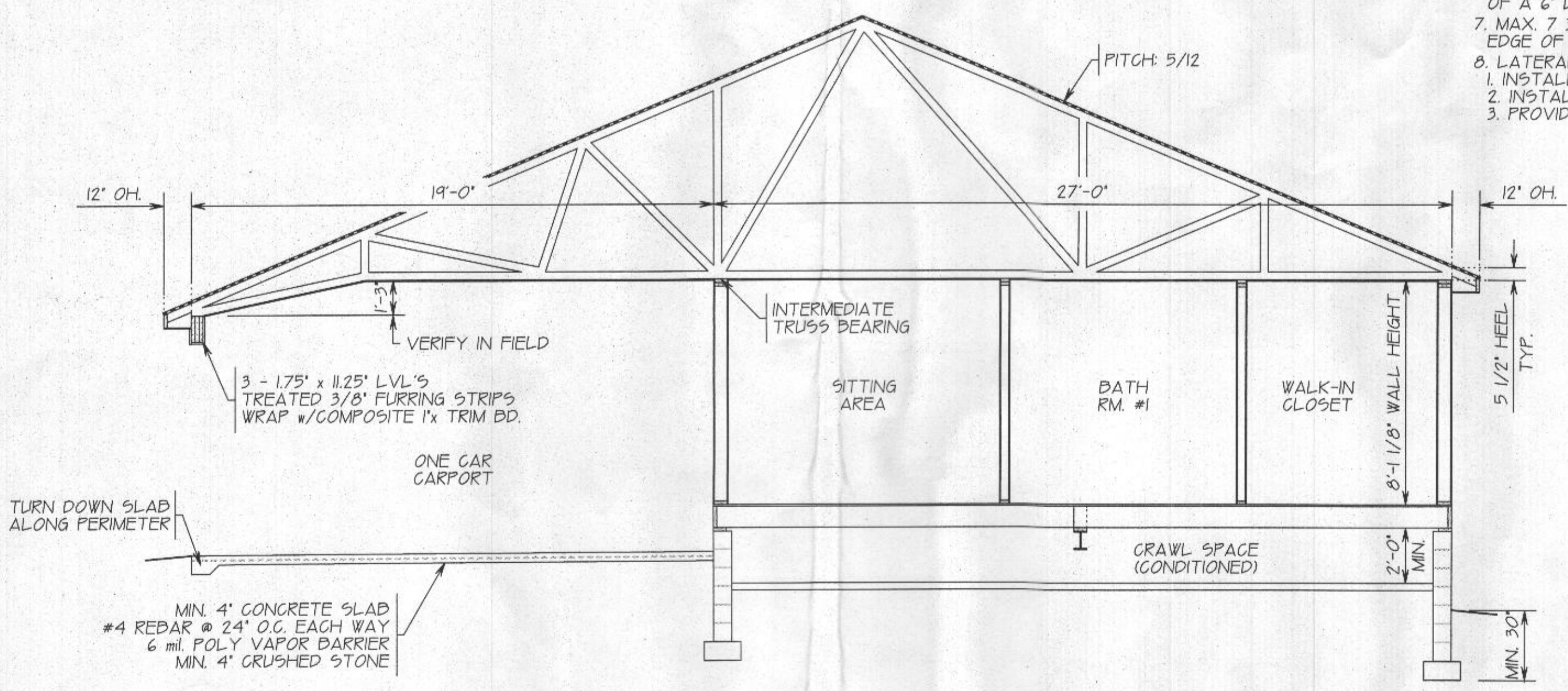
TRUSS CONFIGURATION SHOWN DIAGRAMMATICALLY ONLY  
 CONSULT TRUSS MANUFACTURER FOR SPECIFICATIONS &  
 ACTUAL CONFIGURATION. T.P.I. APPROVED



BUILDING SECTION 'A-A'

DETAIL AT RAMP & HOUSE

- DECK NOTES:
- ALL LUMBER SHALL BE PRESSURE-TREATED SOUTHERN FINE GRADE #2 OR DETTER
  - ALL SCREW AND NAILS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL
  - ALL HARDWARE (JOIST HANGERS, POST ANCHORS & BEAM, ETC.) SHALL BE GALVANIZED WITH 185 oz/sq ft OF ZINC (G-185 COATING) OR SHALL BE STAINLESS STEEL "ZMAX" BY SIMPSON STRONG-TIE OR "TRIPLE ZINC" FROM USP
  - TREATED 2"x12" STRINGERS @ 12" O.C. ATTACHED TO BAND BOARD w/ SIMPSON L50 ADJUSTABLE STRINGER CONNECTOR AS REQUIRED.
  - OPENINGS FOR REQUIRED GUARDS ON THE SIDE OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4" TO PASS THROUGH
  - TRIANGULAR OPENING SHALL NOT PERMIT THE PASSAGE OF A 6" DIAMETER SPHERE
  - MAX 7 3/4" RISERS, MIN. 10" TREAD EDGE OF NOSE TO EDGE OF NOSE
  - LATERAL LOAD CONNECTION OPT:  
 1. INSTALL (2) 1500# CONNECTORS WITH 24" OF EACH END OF DECK  
 2. INSTALL (4) 750# CONNECTORS WITH (2) AT EACH END OF DECK  
 3. PROVIDE DIAGONAL BRACING WITH 2"x MEMBERS AT ALL POST



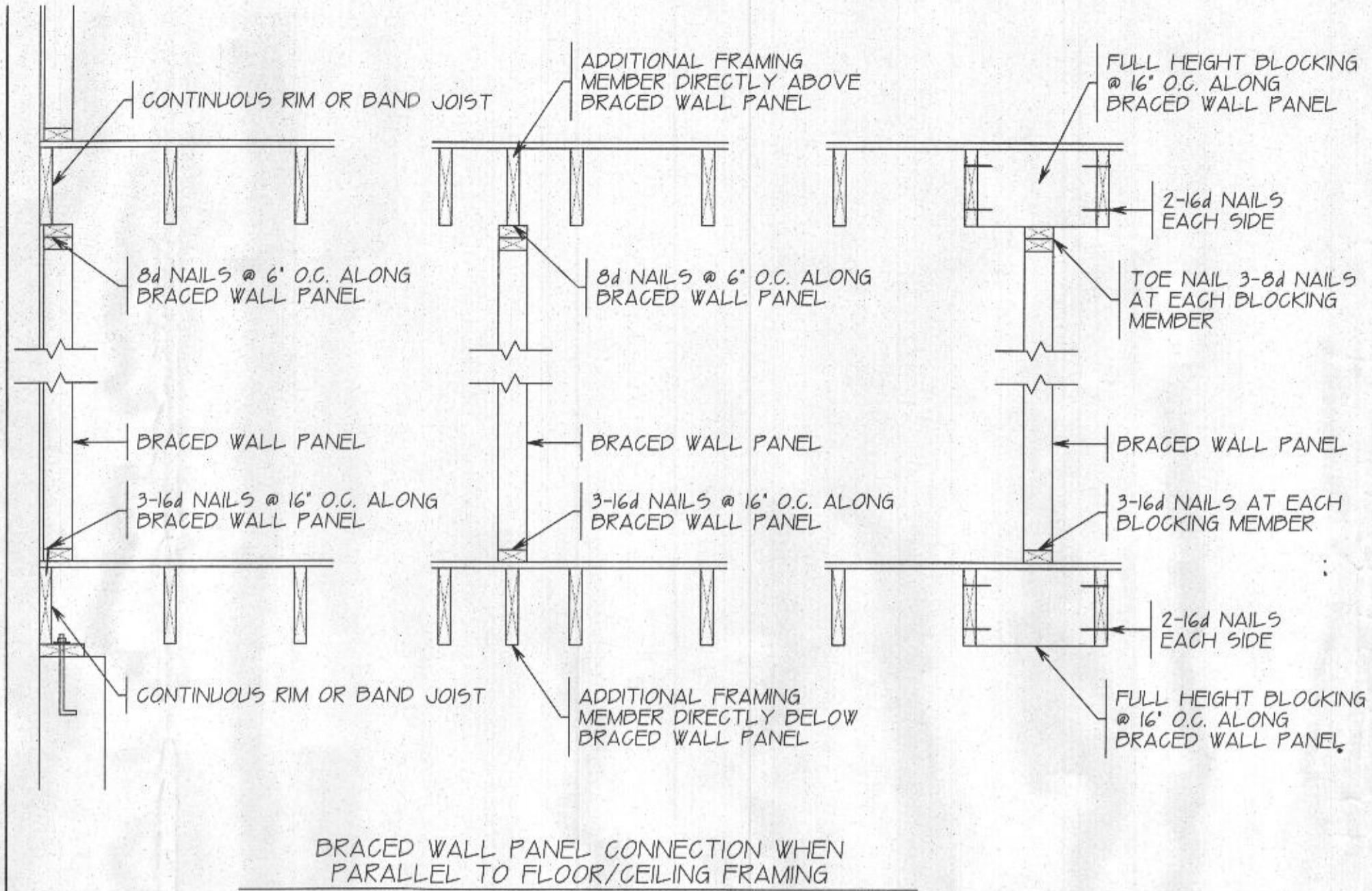
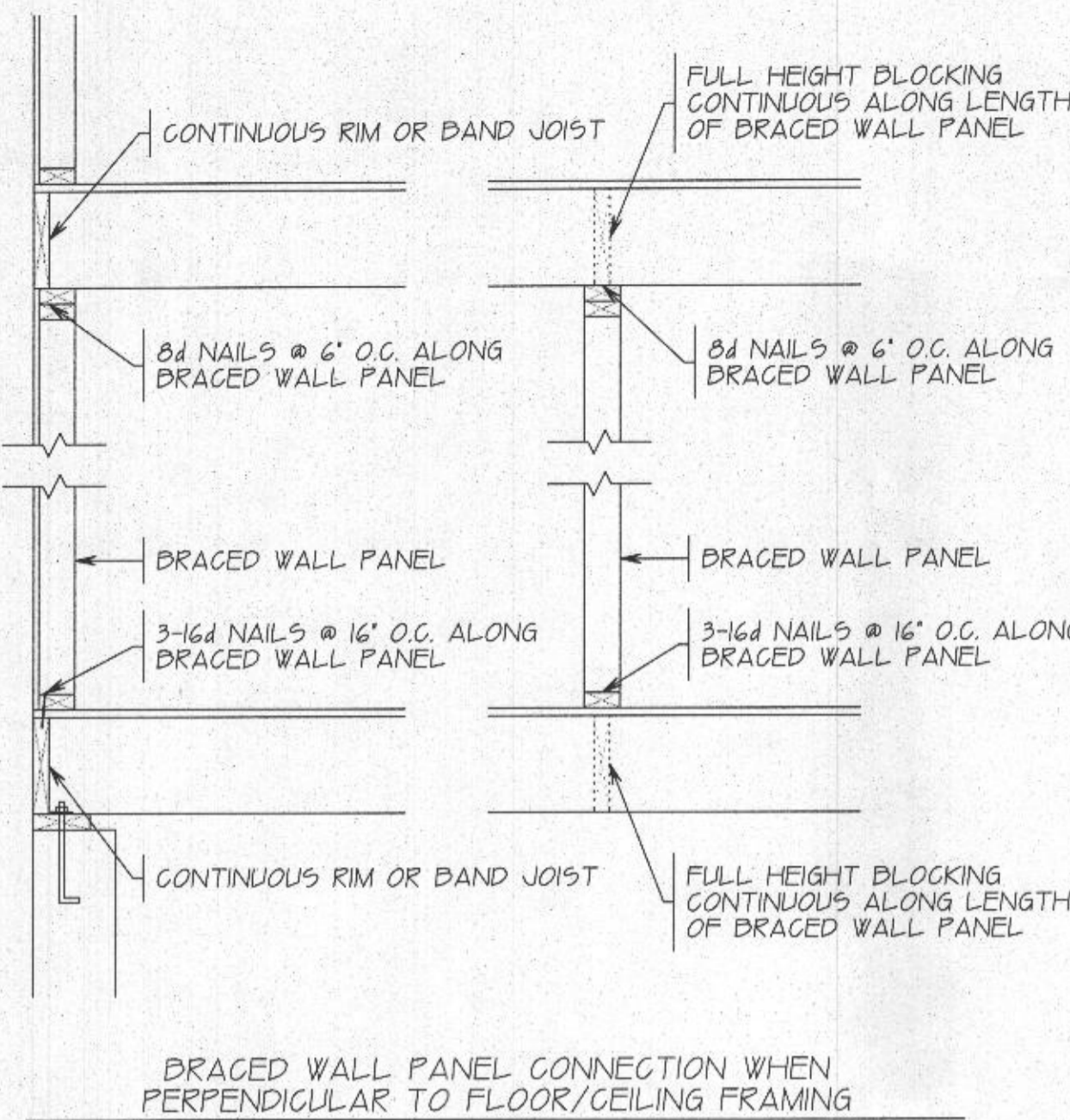
BUILDING SECTION 'B-B'

FASTENING SCHEDULE	
1. JOISTS TO SILL OR GIRDER	(3) 8d COMMON (0.131" DIA.x2 1/2"), TOENAIL
2. BRIDGING TO JOIST	(2) 8d COMMON, TOE NAIL EACH END
3. SOLE PLATE TO JOISTS OR BLOCKING	16d NAILS @ 16" o.c.
4. TOP PLATE TO STUD	(2) 16d COMMON (0.162" DIA.x3 1/2") END NAILS
5. STUD TO SOLE PLATE	(4) 8d COMMON OR (2) 16d COMMON
6. DOUBLE STUDS	16d @ 24" o.c.
7. DOUBLE TOP PLATE	16d @ 16" o.c.
8. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	(3) 8d COMMON, TOENAIL
9. RIM JOISTS TO TOP PLATE	8d @ 6" o.c.
10. TOP PLATE, LAPS AND INTERSECTIONS	(2) 16d COMMON
11. CONTINUOUS HEADER, TWO PIECES	16d COMMON @ 16" o.c.
12. CONTINUOUS HEADER TO STUD	(4) 8d COMMON, TOENAIL
13. RAFTER TO TOP PLATE	(3) 8d COMMON, TOENAIL
14. BUILT UP CORNER STUDS	16d @ 16" o.c.
15. BUILT UP GIRDER AND BEAMS	20d @ 24" o.c. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES, UNLESS NOTED ON DWG'S TO BE THROUGH BOLTED
16. COLLAR TIES TO RAFTER	(4) 12d FACE NAIL
17. JACK RAFTER TO HIP	(3) 10d COMMON, TOENAIL
18. ROOF RAFTER TO SINGLE 2x RIDGE BEAM	(2) 16d COMMON, TOENAIL
19. ROOF RAFTER TO RIDGE BEAM	JOIST HANGERS, MINIMUM 500 LB. SHEAR CAPACITY
20. JOIST TO RIBBON BOARD	(3) 16d, FACE NAIL
21. CORNER STUDS	16d COMMON 12" o.c. FACE NAIL
22. WOOD STRUCTURAL WALL PANEL SHEATHING	16d COMMON @ 6" o.c. INTO TOP PLATE, 8d COMMON @ 6" o.c. AT ALL EDGES AND 12" o.c. AT ALL OTHER LOCATIONS
23. PLYWOOD OR OSB DECKING LOCATIONS	6d COMMON @ 6" o.c. AT EDGES, 12" o.c. AT ALL OTHER LOCATIONS

ADDITIONS: GARAGE, FAMILY ROOM, OWNER'S SUITE & BATHROOMS, W-LAW SUITES & MORE ADDITIONS WHOLE-HOUSE RENOVATIONS BASEMENTS AGING/DISABILITY NEEDS  
 P.O. BOX 1285 ELDERSBURG, MARYLAND 21764  
 PHONE: 443-300-2266

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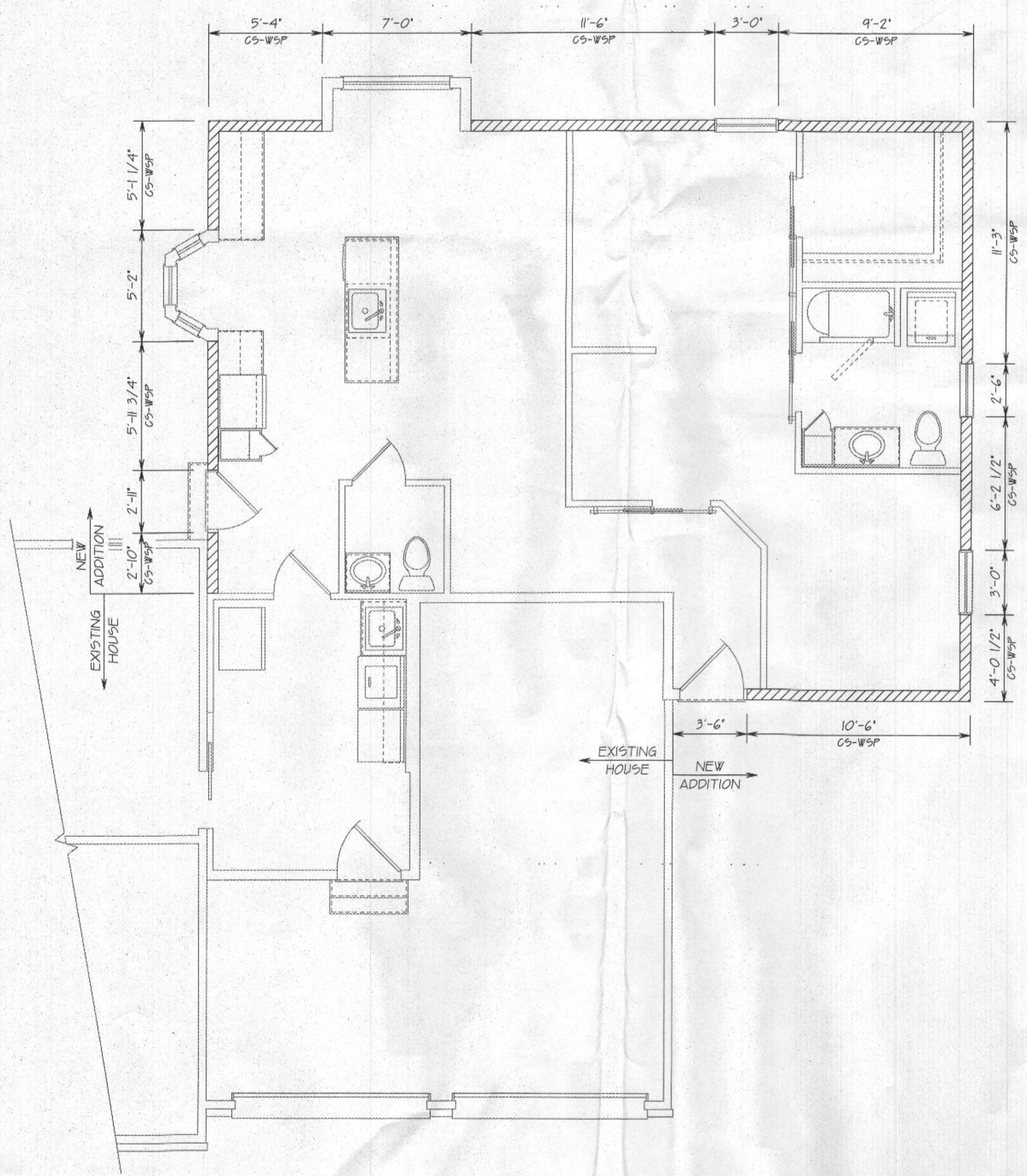
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 DIVISION  
 SCALE: 1/4" = 1'-0"



BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

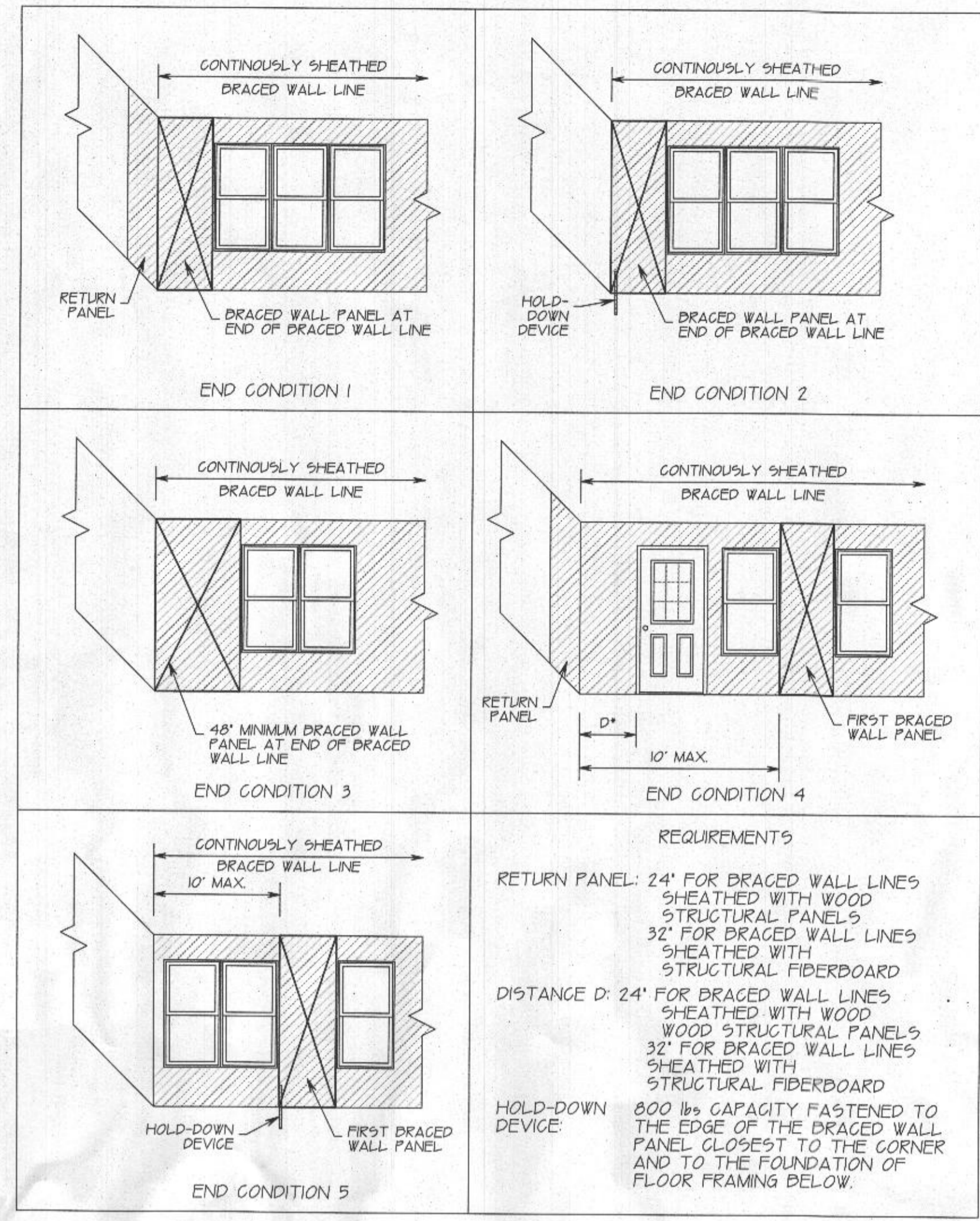
BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

BRACED WALL CONNECTION TO FLOOR/CEILING TABLE R602.10.8(1) & R602.10.8(2) of IRC 2018

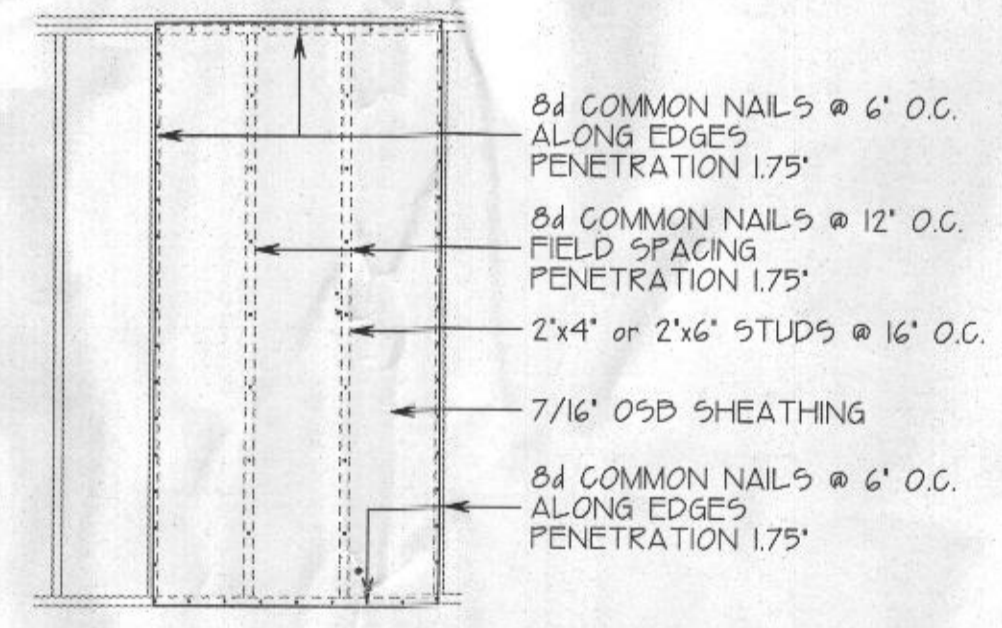


FIRST FLOOR WIND BRACING DIAGRAM

CS-WSP CONTINUOUS SHEATHING WOOD STRUCTURAL PANEL  
 1. CONTINUOUS SHEATHING WOOD STRUCTURAL PANEL - MINIMUM 24' PANEL SHALL BE LOCATED AT EACH END OF BRACED WALL LINE. MINIMUM THICKNESS PANEL 3/8" ATTACHED WITH 6d COMMON NAILS AT 6' O.C. SPACING (PANEL EDGES) AND AT 12' SPACING (INTERMEDIATE SUPPORTS) OR 16 ga x 1 3/4" STAPLES AT 3' O.C. (PANEL EDGES) AND 6' O.C. SPACING (INTERMEDIATE SUPPORTS). SOLE PLATE TO JOIST AT BRACED WALL PANELS 3-16d @ 16' O.C.

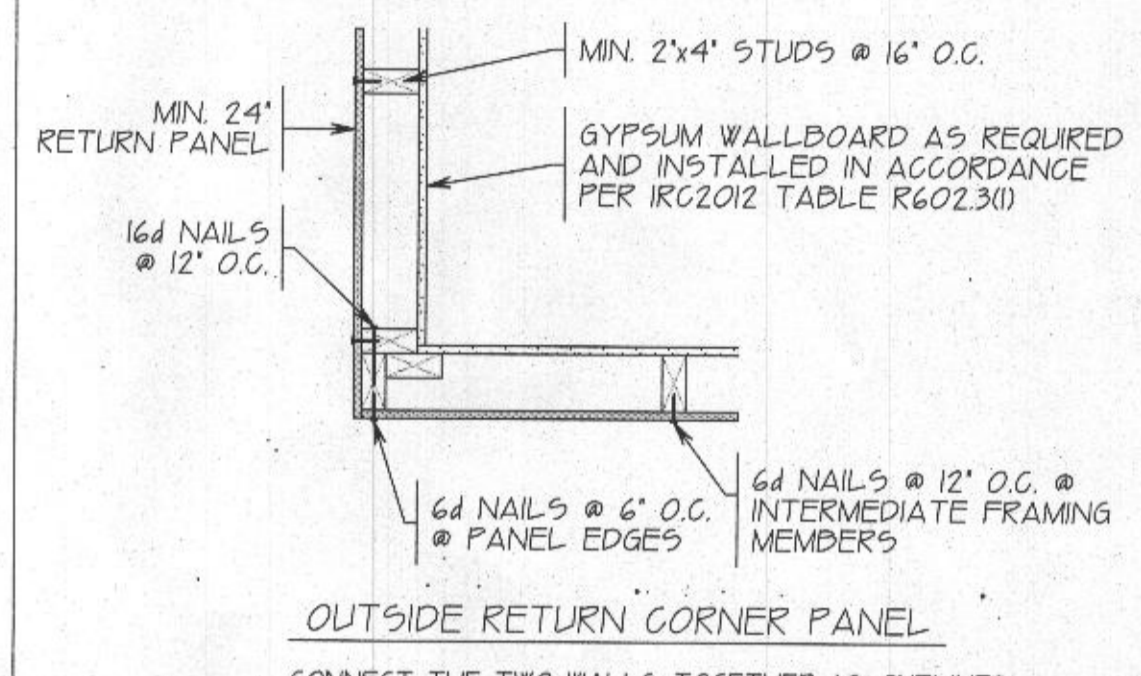


END CONDITIONS FOR BRACED WALL LINES FIGURE R602.10.7 of IRC 2018

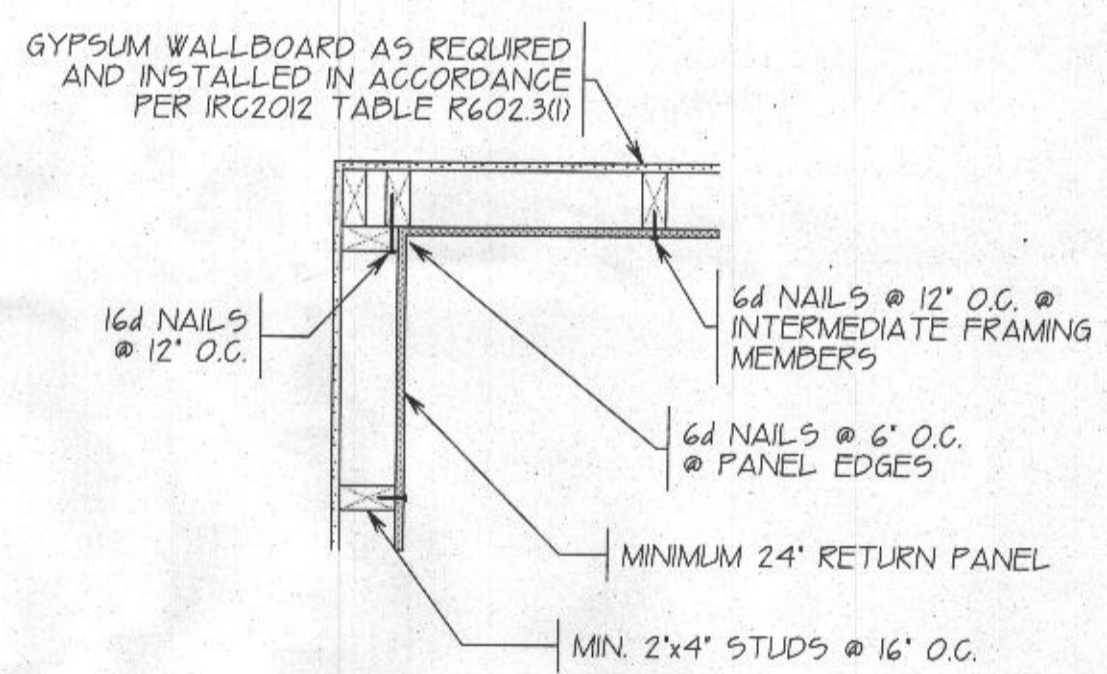


EXTERIOR WALL SHEATHING TO WALL FRAMING ASSEMBLY

REQUIREMENTS  
 RETURN PANEL: 24' FOR BRACED WALL LINES SHEATHED WITH WOOD STRUCTURAL PANELS  
 32' FOR BRACED WALL LINES SHEATHED WITH STRUCTURAL FIBERBOARD  
 DISTANCE D: 24' FOR BRACED WALL LINES SHEATHED WITH WOOD STRUCTURAL PANELS  
 32' FOR BRACED WALL LINES SHEATHED WITH STRUCTURAL FIBERBOARD  
 HOLD-DOWN DEVICE: 800 lb CAPACITY FASTENED TO THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION OF FLOOR FRAMING BELOW.



OUTSIDE RETURN CORNER PANEL



INSIDE RETURN PANEL CORNER

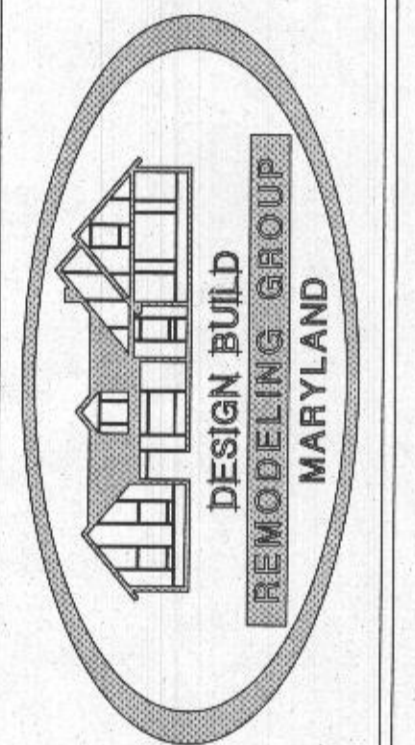
CORNER WALL DETAILS



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 240-439-9518

FIRST FLOOR WIND BRACING DIAGRAM  
 WIND BRACING DETAILS & NOTES  
 NEW ADDITION FOR  
 GILBERT RESIDENCE  
 1753 BRAGDON WOOD  
 CLARKSVILLE, MARYLAND 21029  
 DATE: 7-15-2021 DRAWN BY: P.F.G. SCALE: 1/4\"/>

CREATIVE OUTLOOKS, LLC.  
 PHILIP F. GUAGLUZZA  
 CUSTOM HOME PLANNING & DESIGN  
 HOME ADDITION-REMODELING DESIGN  
 COMPLETE CONSTRUCTION PLANS  
 PHONE: 410-596-1022  
 PFCREATIVEOUTLOOKS@GMAIL.COM



ADDITIONS: GARAGE, FAMILY ROOM, OWNER'S SUITE & BATHROOMS, IN-LAW SUITES & MORE  
 KITCHEN REMODEL & ADDITIONS  
 BASEMENTS RENOVATIONS  
 AGING/DISABILITY NEEDS  
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