

Menu Save Reset Cancel Help

Record Detail \* (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B21000110	01/14/2021
Description of Work		
SFD/ ENCLOSE EXISTING PORCH INTO MUDROOM ADDITON/, 0 STORY, Existing, OR, OFB, OHB, OFP, OTHER STRUCTURE = None, OBR, PORCH/DECK = N/A, ENERGY METHOD = N/A,		

check spelling

B21000110

Online Submittal

'OK' RB

1/25/2021

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
13700	CLARKSVILLE	PIKE	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.96839	39.16998
City	State	Zip Code	Primary
HIGHLAND	MD	20777	Yes

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
847970	306	3	257500	842500	585000	RURAL
Legal Description						
IMPSLOT 8 3.000 A[ 13700 CLARKSVILLE PIKE[ ]CLARKSVILLE						

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	7	605101	5				
Plan Area	State Tax Id	Subdivision Name					
	1405408229						
Section	Area	Tax Map					
		40					
Grid	Zoning District	ADC Map					
40-9	RR-DEO	5051-F3					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.	Primary				
			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	2002	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-04A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *		
CRANEY ROBERT S		
Address Line 1		
13700 CLARKSVILLE PIKE		
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code

HIGHLAND	MD	20777
Phone	Primary	
717-175-1525	Yes	
E-mail		
Khiem.Ai.Vo@gmail.com		
Cell Number	Fax Number	

Professionals (This section is not required.)

Search    Reset    Clear

License # *	Business Name		
08010109265	VKB KITCHEN AND BATH INC		
License Type *	First Name	Middle Name	Last Name
MHIC Ind	PANAH		IBRAHIMOV
Primary	Address Line 1		
Yes	6955 OAKLAND MILLS ROAD #M		
	Address Line 2		
	City	State	ZIP Code
	COLUMBIA	MD	21045-0000
	Phone 1	Phone 2	Fax
	4102909099		4102905852
	E-mail		
	VKBKITCHENANDBATH@GMAIL.COM		

Applicant (This section is not required.)

Search    As Owner    As Lic. Prof    As Contact

Type *	First Name	MI	Last Name
Applicant	PANAH		IBRAHIMOV
Relationship	Full Name		
Applicant	PANAH IBRAHIMOV		
Primary	Organization Name		
No	VKB KITCHEN AND BATH INC		
	Street Address		
	6955 OAKLAND MILLS ROAD #M		
	Address Line 2		
	City	State	Zip Code
	COLUMBIA	MD	21045-0000
	Phone	Cell	Fax
	4102909099		4102905852
	E-mail *		
	VKBKITCHENANDBATH@GMAIL.COM		

Contact (This section is not required.)

Search    As Owner    As Lic. Prof    As Contact

Type	First Name	MI	Last Name
Contact	PANAH		IBRAHIMOV
Relationship	Full Name		
Licensed Professiona	PANAH IBRAHIMOV		
Primary	Organization Name		
Yes	VKB KITCHEN AND BATH INC		
	Street Address		
	6955 OAKLAND MILLS ROAD #M		
	Address Line 2		
	City	State	Zip Code
	COLUMBIA	MD	21045-0000
	Phone	Cell	Fax
	4102909099		4102905852
	E-mail		
	VKBKITCHENANDBATH@GMAIL.COM		

Addl Info

Est Construction Cost \* 9800 Housing Units \* 0 Number of Buildings \* 0 Public Owned No  
 Construction Type 434 - Additions, Alterations and Conversions - Residential

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee \*  Yes  No Capital Project Number [ ] Fee Exempt \*  Yes  No Roadside Tree Project Permit  Yes  No Roadside Tree Project Permit # [ ]  
 No of Stories \* 0 Foundation \* Existing Basement \* N/A No of Rooms \* 0 Full Baths \* 0 Half Baths \* 0 Existing Use Other - See Description of Wor  
 Model \* SF/ ENCLOSE EXISTING PORCH INTO MUDROOM ADDITON/  
 check spelling

Other Structure \* None Bedrooms \* 0 Porch Deck \* N/A No of Fireplaces \* 0 Type of Fireplace Prefab Energy Code \* N/A  
 W & S Fees Paid  Yes  No Water \* Private Sewage \* Private Utilities \* Electric Heating System \* Electric Sprinkler System \* None  
 1st Floor Width [ ] FT 1st Floor Depth [ ] FT 2nd Floor Width [ ] FT 2nd Floor Depth [ ] FT Basement Width [ ] FT Basement Depth [ ] FT Height [ ] FT  
 Total Square Footage \* 0 SQFT Occupiable Square Footage \* 0 SQFT Affordable Housing Funding -Select- Foundation Measurement [ ] Footings [ ]  
 Walls [ ] Roof [ ] Change In Use  Yes  No Grading Permit No [ ]

Additional Description Info [ ] Expiration Date 7/18/2021  
 check spelling

PAYMENT INFORMATION

Check 1 [ ] Payee 1 [ ] Check 2 [ ] Payee 2 [ ] SAP Doc No [ ] SAP Entered [ ]

Related Records

1

Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
B21000110	Residential Addition Single Family Dwelling Permit	Review In Process	13700	CLARKSVILLE	01/14/2021	SF/ ENCLOSE EXISTING PORCH INTO
E21000234	Residential Electrical Addition Alteration Permit	Ready for Issuance	13700	CLARKSVILLE	01/18/2021	Wring for mudroom - 25 lights, 10 outlets,

1

Submit Cancel

**HOWARD COUNTY DEPARTMENT OF INSPECTIONS,  
LICENSES AND PERMITS  
ON-LINE PLAN DROP OFF**

Health

To: Plan Review Division

From: Panah Ibrahimov  
(Name)  
VKB Kitchen + Bath  
(Company)

Telephone #: 410-290-9099 Email address VKBKitchenandBath@gmail.com

Permit Site Address 13700 Clarksville Pike

Permit Number: B21000110

Application On-Line File Date: 1-14-2021

The above referenced permit was applied for online and the drawings are being dropped off for review and approval. These drawings represent the proposed work as outlined on the on-line application. I understand that this Department will not be responsible for any lost plans or documents. It is understood that if any changes to the design or construction of this project is made, revised plans will be submitted prior to any work commencement.

\_\_\_\_\_  
Signature of Authorized Agent

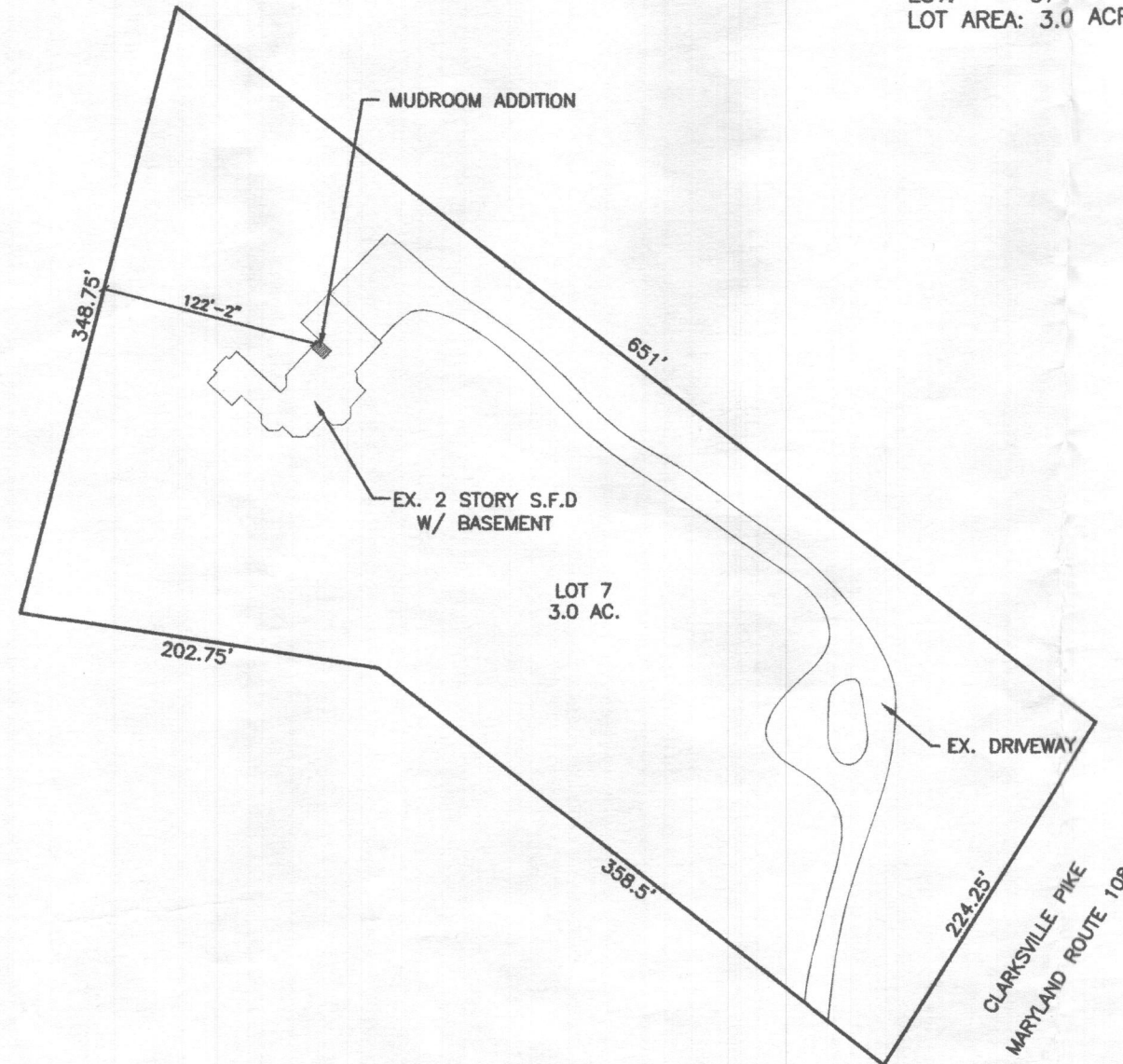
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For Office Use Only

Accepted by (initials): \_\_\_\_\_ on \_\_\_\_\_  
(Date)

Received by Plan Review (initials):

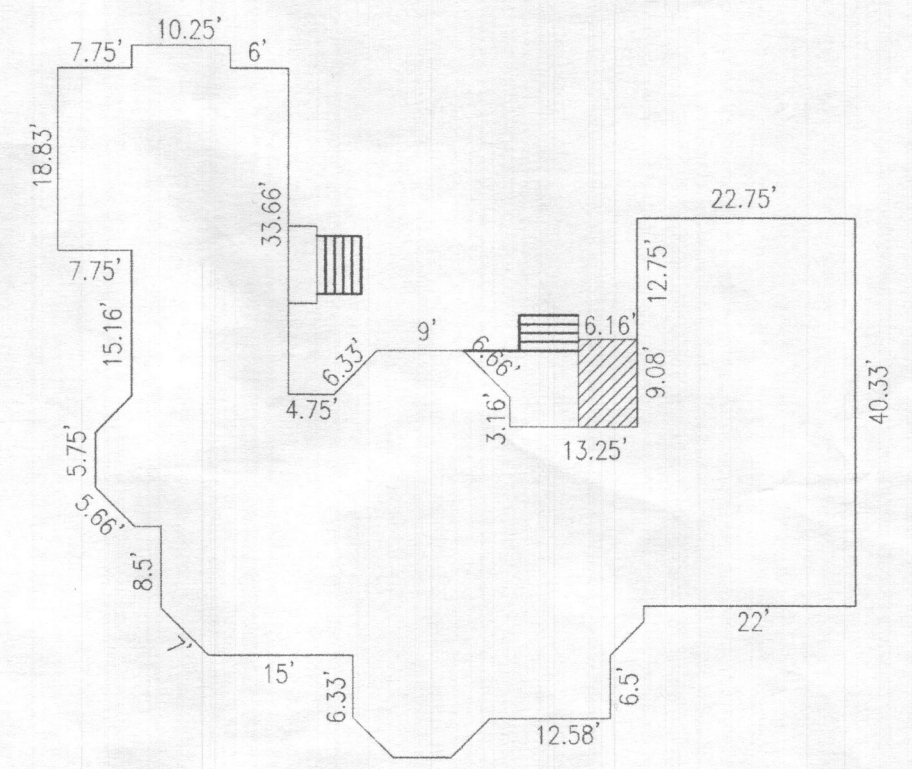
ADDRESS: 13700 CLARKSVILLE PIKE  
HIGHLAND, MD 20777

MAP: 0040  
LOT: 07  
LOT AREA: 3.0 ACRE



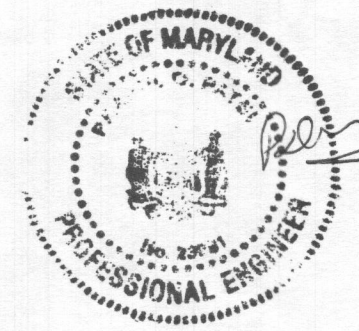
**SITE PLAN**

SCALE: 1" = 100'



**HOUSE PLAN**

SCALE: 1" = 20'



Approved Sanitary System Plan  
Howard County Health Department

*Mudroom enclosure  
on existing porch*

*R. Buehler* 1/25/2021  
Signature Date

*B21000110*

13700 CLARKSVILLE PIKE  
HIGHLAND MD, 20777

C1

**SITE PLAN**

**ARENCO, LLC**

ARCHITECTURAL ENGINEERING CONSULTANTS  
12430 HILL CREST  
FULTON, MD 20759

SCALE 1" = 100'	WORK REQUEST # 20-522	SHEET 1 OF 1	DRAWING NO. 20-522-01
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1. INTERNATIONAL RESIDENTIAL BUILDING CODE- 2018 EDITION

GENERAL NOTES:

1. WINDOWS IN ALL BEDROOMS ARE DOUBLE HUNG. WHEN THE LOWER SASH IS RAISED FROM INSIDE THESE WINDOWS THEY PROVIDE EMERGENCY AND RESCUE OPENINGS THAT ARE AT LEAST 24 INCHES IN HEIGHT AND 20 INCHES WIDE.
2. SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR LOCATIONS ARE AS SHOWN ON PLANS.
3. ALL NEW EXTERIOR LOAD BEARING WALLS ARE 2X6" STUDS @ 16" O/C WITH 5/8" SHEATHING BOARDS ON EXTERIOR AND 1/2" GB ON INSIDE FACE.
4. ALL INTERIOR NON LOAD BEARING WALLS ARE 2"x4" STUDS @ 16" O/C WALLS WITH 1/2" GB ON EACH FACE EXCEPT NOTED OTHERWISE.
5. NEW SECOND FLOOR AND ROOF AS SHOWN ON STRUCTURAL PLAN.
6. SEE STRUCTURAL DRAWINGS FOR FLOOR FARMING INCLUDING LOAD BEARING WALLS LOCATIONS.
7. ALL NEW DOORS AND WINDOWS ARE AS SHOWN ON PLANS AND FRAMING CONTRACTOR SHALL PROVIDE OPENING INTO WALLS WITH HEADERS AND JAMS PER CODE AND DETAILS.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS PRIOR TO CONSTRUCTION.
9. ALL DIMENSIONS, LOCATIONS AND ELEVATIONS OF STRUCTURES SHOWN ON THE CONTRACT DRAWINGS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
10. ALL WORK SHALL BE DONE ACCORDANCE WITH HOWARD COUNTY BUILDING CODE.
11. THE CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEE ARISING FROM THE PERFORMANCE OF THE WORK DONE BY THE CONTRACTOR.
12. ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF UNDERWRITERS. THE DRAWINGS SHOWING THE GENERAL GREEMENTS AND EXTENT OF WORK. AS THE WORK PROGRESSES THE CONTRACTOR AT NO EXTRA COST SHALL MAKE MODIFICATIONS TO MAKE PART ALIGN.
13. CHANGES TO THE PLAN BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
14. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN.
15. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE PROPER INSTALLATION OF ALL METAL FASTENERS PER MANUFACTURER'S SPECIFICATIONS.
16. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT ON ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
17. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO COMMENCING EXCAVATION AND NOTIFY ARCHITECT OF DISCREPANCIES AND CONFLICTS.
18. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETE IN ACCORDANCE WITH THE PLANS.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISION/AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.

2018 IECC CODE COMPLIANCE

- R301.1 CLIMATE ZONE 4A
- R401.2 COMPLIANCE METHOD:  
MANDATORY AND PRESCRIPTIVE PROVISIONS
- R402.1.1 VAPOR RETARDER:  
WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION.
- R402.1.2 ATTIC INSULATION: RAISED HEEL TRUSSES  
R-49 R-38
- R402.1.2 WOOD FRAME WALL:  
R-20 OR R13 + R5 CONTINUOUS INSULATION.
- R402.1.2 BASEMENT WALL INSULATION:  
R-13/R-10 FOIL FACED CONTINUOUS, U NINTERRUPTED BATTS FULL HEIGHT
- R402.1.2 CRAWL SPACE WALL INSULATION:  
R-13/R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2' -0".
- R402.1.2 FLOOR INSULATION OVER UNCONDITIONED SPACE:  
R-19 BATT INSULATION.
- R402.1.2 WINDOW U-VALUE/SHGC  
.32 (U-VALUE)  
.40 (SHGC)
- R402.2.10 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE:  
R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2' -0" HORIZONTALLY OR 2' -0" VERTICALLY
- R402.2.4 ATTIC ACCESS:  
ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49
- R402.4 AIR LEAKAGE (MANDATORY):  
THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.1.1 THROUGH R402-4.5
- R402.4.1.2 TESTING:  
THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING FIVE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E779 OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.
- R402.4.2 FIREPLACES: NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY-BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE.
- R402.4.4 ROOMS CONTAINING FUEL-BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE.
- EXCEPTIONS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE.  
2. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R1006 OF THE IRC.

- R402.4.5 RECESSED LIGHTING  
RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 CFM (0.944 L/S) WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A PRESSURE DIFFERENTIAL OF 1.57 PSF (75 PA). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
- R403.1.1 THERMOSTAT  
ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2018 IECC SECTION 403.1.1.
- R403.1.2 WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.
- R403.3.1 MECHANICAL DUCT INSULATION (PRESCRIPTIVE)  
SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO AN R-VALUE OF NOT LESS THAN R-8 FOR DUCTS 3 INCHES (76 MM) IN DIAMETER AND LARGER AND NOT LESS THAN R-6 FOR DUCTS SMALLER THAN 3 INCHES (76 MM) IN DIAMETER. SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO NOT LESS THAN R-6 FOR DUCTS 3 INCHES (76 MM) IN DIAMETER AND NOT LESS THAN R-4.2 FOR DUCTS SMALLER THAN 3 INCHES (76 MM) IN DIAMETER.
- R403.3.2 DUCT SEALING (MANDOTARY)  
DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE.
- R403.3.3 DUCT TESTING (MANDATORY)  
DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:  
ROUGH-IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.  
POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.  
EXCEPTIONS:  
A DUCT AIR-LEAKAGE TEST SHALL NOT BE REQUIRED WHERE THE DUCTS AND AIR HANDLERS ARE LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.
- R403.6 MECHANICAL VENTILATION  
OUTDOOR (MAKE-UP AND EXHAUSTS) AIR DUCTS TO BE PROVIDED WITH AUTOMATIC OR GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.
- R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICIENCY TO COMPLY WITH TABLE R403.6.1.
- R403.7 EQUIPMENT SIZING SHALL COMPLY WITH R403.7.
- R404.1 LIGHTING EQUIPMENT  
A MINIMUM OF 90 % OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICACY LAMPS.  
  
THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL OR WITHIN 6 FEET OF THE ELECTRICAL PANEL AND BE READILY VISIBLE.

SCOPE OF WORK:

- o CONVERT EXISTING REAR PATIO INTO MUDROOM WITH NEW DOORS. (NO ROOF IS REQUIRED SINCE THERE IS AN EXISITNG ROOF ON PATIO)
- o ALL WORK SHALL BE IN ACCORDANCE WITH IRC 2018 AND HOWARD COUNTY BUILDING CODE REQUIREMENTS.



PROJECT TITLE  
**RENOVATION AND ADDITION**  
 PROJECT ADDRESS  
**13700 CLARKSVILLE PIKE**  
**HIGHLAND, MD 20777**  
 SHEET TITLE  
**GENERAL NOTES**

PROJECT  
**ARENCO LLC**  
 ARCHITECTS  
 ENGINEERS  
 CONSTRUCTION MANAGERS  
 13430 BELL CREEK  
 PULASKI, MD 20789  
 TEL: (410) 418-1888 FAX: (888) 874-6418

PROJECT NUMBER  
**2020-520**  
 DRAWN BY  
**RP**  
 APPROVED BY  
**PP**  
 DATE  
**01-10-2021**  
 ORIGINAL SHEET SIZE  
**A1**  
 SHOULD MEASURE 1"

SCALE  
**AS SHOWN**  
 DRAWING  
**A1**

**WOOD NOTES:**

- FRAMING LUMBER SHALL BE KILN DRIED OR MC-15, AND GRADED AND MARKED IN COMFORMANCE WITH WCLIB STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 17, LATEST EDITION. ALL WOOD FRAME CONSTRUCTION SHALL CONFORM TO THE STANDARDS OR THE IBC AS A MINIMUM REQUIREMENT. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:  
 JOISTS: (2X8 AND SMALLER) HEM-FIR NO. 2  
 MINIMUM BASE VALUE, FB=850 PSI  
 BEAMS AND STRINGERS: (2X10 AND LARGER) DOUGLAS FIR NO. 1  
 MINIMUM BASE VALUE, FB=1350 PSI  
 POSTS AND TIMBERS: (4X4 AND LARGER) DOUGLAS FIR NO. 2  
 MINIMUM BASE VALUE, FB=1200 PSI  
 STUDS, PLATES & MISC. FRAMING: DOUGLAS FIR OR HEM-FIR  
 STANDARD GRADE  
 TOP AND BOTTOM PLATES AT BEARING WALLS GRADE DOUGLAS FIR-LARCH CONSTRUCTION  
 2X6 STUDS AND PLATES: HEM-FIR NO.3/ STUD GRADE
- ENGINEERED LUMBER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- ENGINEERED LUMBER MEMBERS SHALL BE MANUFACTURED UNDER A PROCESS BY THE NATIONAL RESEARCH BOARD. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD NUMBER, AND THE QUALITY CONTROL AGENCY. ALL LUMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH THE APPROPRIATE NER REPORT AND GLUED WITH A WATERPROOFING ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER.  
 PSL FB=2900 PSI E=2000 PSI FV =290 PSI NER-292  
 LVL FB=2600 PSI E=1900 PSI FV =285 PSI NER-126  
 LSL FB=1700 PSI E=1300 PSI FV =150 PSI NER-481
- DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY THE GEORGIA-PACIFIC. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICBO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.
- GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ANSI/AITC A190.1 AND ASTM D3737. EACH MEMBER SHALL BEAR AND AITC IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN ATTIC CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FOR COMINATION 24F-V4, FB=2400 PSI, FV=190 PSI. CAMBER ALL GLULAM BEAMS TO A 2,000 FOOT RADIUS UNLESS NOTED OTHERWISE ON THE PLANS.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY. ALL WOOD EXPOSED TO WEATHER WITHOUT THE ADEQUATE PROTECTION OF A ROOF OR EAVE SHALL BE APPROVED WOOD OF NATURAL RESISTANCE TO DECAY OR PRESSURE TREATED. SUCH MEMBERS INCLUDE HORIZONTAL MEMBERS SUCH AS GIRDERS, JOISTS, DECKING, OR VERTICAL MEMBERS SUCH AS POSTS, POLES AND COLUMNS.
- PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE SHALL BE IN CONFORMANCE WITH APA STANDARDS. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.
- FLAT 2X BLOCKING AT ALL UNFRAMED PLYWOOD PANEL EDGES AND NAIL WITH EDGE NAILING SPECIFIED.
- FLOOR SHEATHUNG SHALL BE 3/4" (NOM) WITH SPAN RATING 40/20
- WALL SHEATHING SHALL BE 1/2" (NOM) WITH SPAN RATING 24
- PLYWOOD OOF AND FLOOR SHEATHING TO BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED WITH 8D NAILS AT 6" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AS SHOWN ON PLANS AND AT 12" O.C. TO INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. PROVIDE APPROVED PLYWOOD EDGE CLIPS AT 16" O.C. AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. TOENAIL BLOCKING TO SUPPORTS WITH 16D @ 12" O.C. UNLESS NOTED OTHERWISE. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PLYWOOD PANEL EDGES AND NAIL WITH EDGE NAILING SPECIFIED.
- FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING JOINTS, TOENAIL JOISTS TO SUPPORTS WITH TWO 16D NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS.
- ALL COLUMNS AND POSTS SUPPORTING BEAMS NOT SPECIFIED FOR SIZE ON PLAN SHALL CONSIST OF 2 STUDS SPIKE LAMINATED TOGETHER WITH 16D NAILS AT 9" O/C.

**WOOD FRAMING:**

- FRAMING LUMBER FOR BEAMS AND JOISTS SHALL HAVE FB= 1100 PSI, E=1,300.00, AND FOR STUDS AND POSTS, FC= 500 PSI, E = 1,200.000 PSI
- PROVIDE 2-2 X 6 @ EACH SIDE OF OPENINGS UNLESS NOTED OTHERWISE.
- ALL WOOD LINTEL SHALL BE 2-2 X 8 UNLESS OTHERWISE NOTED.
- PROVIDED CROSS-BRIDGING FOR JOISTS AT 8'-0" INTERVALS.
- WOOD JOISTS AND BEAMS SHALL NOT BE CUT OR DRILLED UNLESS SO AUTHORIZED BY THE ARCHITECT.
- PROVIDE APPROVED HURRICANE CONNECTIONS BETWEEN FRAMING MEMBERS.
- LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED AGAINST DECAY.
- PROVIDED DOUBLE JOISTS BELOW NON-BEARING PARTITIONS PARALLEL TO JOISTS.
- FRAMING LUMBER SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.
- BRUSH PRESERVATIVE SOLUTION ON ALL EDGES THAT ARE CUT IN MEMBERS THAT ARE IN CONTACT WITH CONCRETE OR MASONRY.
- PROVIDE MANUFACTURERS' STANDARD JOIST OR STANDARD BEAM HANGERS AT WALL WOOD TO WOOD CONNECTIONS THAT REQUIRE JOISTS OR BEAMS FRAMING INTO THE SIDE OR FACE OF THE SUPPORTING MEMBER. THE CAPACITY OF THE HANGER SHALL BE FOR THE MAXIMUM SHEAR CAPACITY OF THE JOISTS OR BEAM.

**PLYWOOD SHEATHING:**

- ALL PLYWOOD SHEATHING SHALL BE CD-GRADE, UNLESS OTHERWISE SHOWN, WITH EXTERIOR GLUE MANUFACTURED INACCORDANCE WITH PRODUCT STANDARD PS183, LATEST ADDITION, ROOF AND WALL SHEATHING.
- PLYWOOD SHEATHING SHALL BE LAID WITH END JOINT STAGGERED.
- BLOCK ALL WALL SHEATHING WITH 2X4 FLAT BLOCKING AT ALL EDGES.
- LAYOUT PLYWOOD TO ELIMINATED ANY WIDTH LESS THAN 1'-0"

**DESIGN LOADS:**

FLOOR LIVE LOAD = 40 PSF  
 FLOOR DEAD LOAD = 10 PSF  
 STAIR LIVE LOAD = 100 PSF  
 DECKS LIVE LAOD = 40 PSF  
 ROOF LIVE LOAD = 30 PSF  
 ROOF DEAD LOAD = 10 PSF  
 GROUND SNOW LOAD = 40 PSF  
 WIND SPEED - 120 MPH MAX  
 HANDRAIL - 200 LB CONCENTRATED LATERAL LOAD

ASSUMED SOIL BEARING CAPACITY = 1500 PSF



PROJECT  
**RENOVATION AND ADDITION  
 13700 CLARKSVILLE PIKE  
 HIGHLAND, MD 20777**

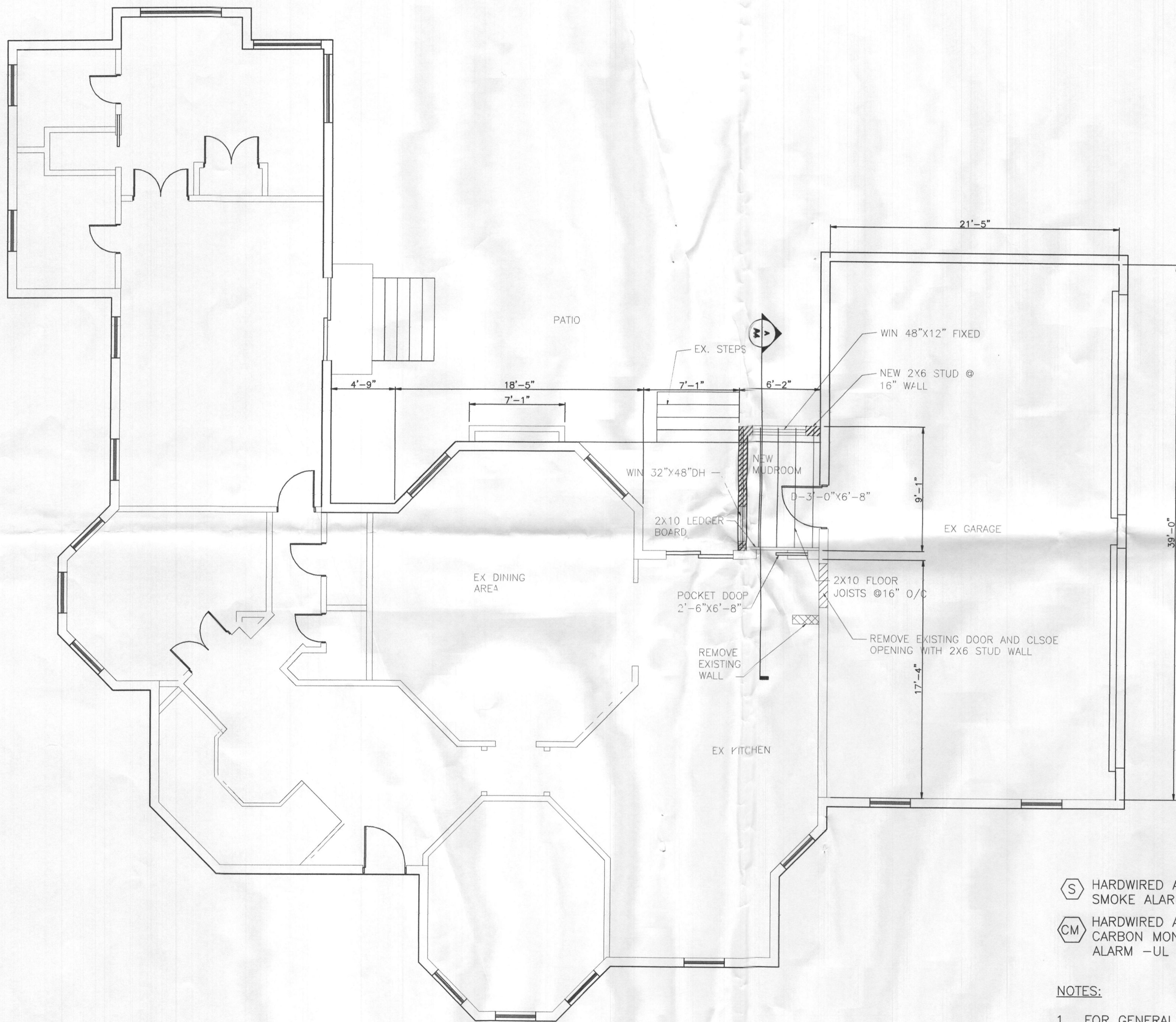
**ARENCO LLC**  
 ARCHITECTS  
 CONSTRUCTION MANAGERS  
 18450 HILL CREST  
 FULTON, MD 20719  
 TEL: (840) 418-1389 FAX: (888) 874-6418

PROJECT TITLE  
**RENOVATION AND ADDITION  
 13700 CLARKSVILLE PIKE  
 HIGHLAND, MD 20777**  
 SHEET TITLE  
**STRUCTURAL NOTES**

**DISCLAIMER**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 23061 EXPIRATION DATE: 04/24/2021

PROJECT NUMBER  
**2020-520**  
 DRAWN BY  
**RP**  
 APPROVED BY  
**PP**  
 DATE  
**01-10-2021**  
 ORIGINAL SHEET SIZE  
 24X18  
 SHOULD MEASURE 1":  
 SCALE  
**AS SHOWN**  
 DRAWING

**A2**



PROPOSED FIRST FLOOR PLAN  
SCALE: 3/16" = 1'-0"

- HARDWIRED AND INTERCONNECTED SMOKE ALARM
- HARDWIRED AND INTERCONNECTED CARBON MONOXIDE ALARM -UL 2034

NOTES:

1. FOR GENERAL NOTES SEE DRAWING A1 AND A2.
2. NEW DOOR LINTEL SHALL BE 2-2X8 UNLESS NOTED OTHERWISE.



PROJECT  
RENOVATION AND ADDITION  
13700 CLARKSVILLE PIKE  
HIGHLAND, MD 20777

ARENCO LLC

ARCHITECTS  
CONSTRUCTION MANAGERS  
13430 HILL CREST  
FULTON, MD 20769  
TEL. (240) 418-1889 - FAX (800) 374-5416

PROJECT TITLE  
RENOVATION AND ADDITION  
PROJECT ADDRESS  
13700 CLARKSVILLE PIKE  
HIGHLAND, MD 20777

SHEET TITLE  
PROPOSED FIRST FLOOR PLAN

DISCLAIMER

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 23081 EXPIRATION DATE: 04/24/2021

PROJECT NUMBER  
2020-520

DRAWN BY  
RP

APPROVED BY  
PP

DATE  
01-10-2021

ORIGINAL SHEET SIZE  
36X48  
SHOULD MEASURE 1":

SCALE  
AS SHOWN

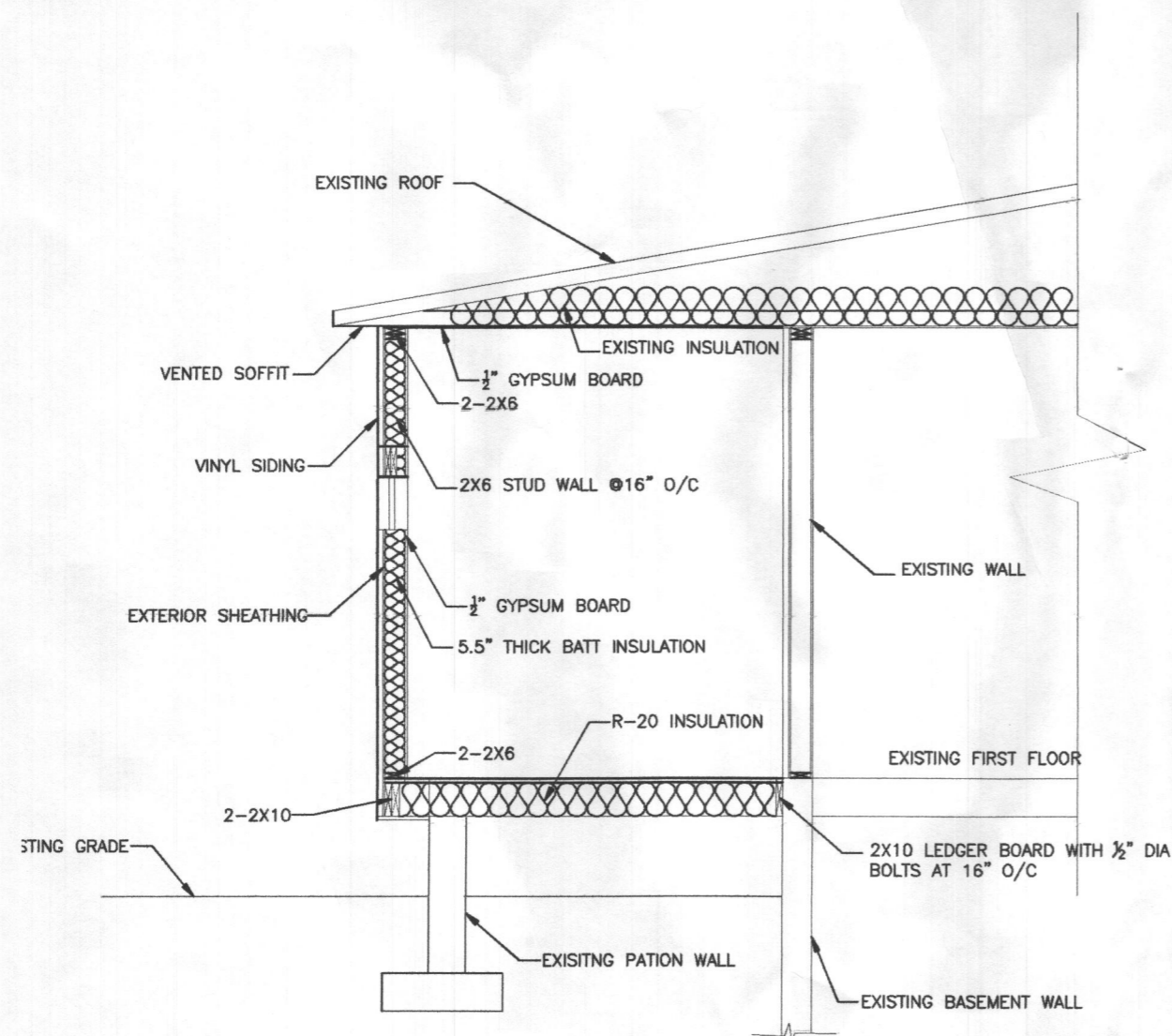
DRAWING

A3



REAR ELEVATION

SCALE: 3/16" = 1'-0"



SECTION

SCALE: 1/4" = 1'-0"

NOTES:

1. FOR GENERAL NOTES SEE DRAWING A1 AND A2.



PROJECT  
**RENOVATION AND ADDITION**  
**13700 CLARKSVILLE PIKE**  
**HIGHLAND, MD 20777**

**ARENCO LLC**

12486 HILL CREST  
 14701 W. HIGLEY RD.  
 GREENBELT, MD 20740  
 TEL: (301) 410-1000 FAX: (301) 974-6410  
 ARCHITECTS  
 CONSTRUCTION MANAGERS

PROJECT TITLE  
**RENOVATION AND ADDITION**  
**13700 CLARKSVILLE PIKE**  
**HIGHLAND, MD 20777**

SHEET TITLE  
**REAR ELEVATION AND SECTION**

**DISCLAIMER**  
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PROJECT NUMBER  
**2020-520**

DRAWN BY  
**RP**

APPROVED BY  
**PP**

DATE  
**01-10-2021**

ORIGINAL SHEET SIZE  
 24X18  
 SHOULD MEASURE 1":

SCALE  
**AS SHOWN**

DRAWING

**A4**