

RECEIVED

PERMIT NUMBER: B 20064-42

DATE ACCEPTED:

NOV 03 2020

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 6924 PINDELL SCHOOL ROAD
City: FULTON
State: MD
Zip Code: 20759
Subdivision/Village/Complex Name: PEMBROKE KNOLLS
Lot: 5
Tax Map:
Parcel:
Grading Permit #: N/A

DESCRIPTION OF WORK REQUIRED

Existing Use: SINGLE FAMILY HOME
Proposed Use: SAME WITH ATTACHED GARAGE
Estimated Cost: \$ 8000.00
Trade Work to Be Completed: Mechanical (HVAC) Electrical Plumbing None
24' X 22' 528 SF ATTACHED GARAGE ADDITION
SEE PLANS

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): JAY & ALLISON YORK
Primary Residence: Yes
Owner's Street Address: 6924 PINDELL SCHOOL ROAD
City: FULTON
State: MD
Zip Code: 20759
Phone: 410 531 7762
Email: JAY.YORK@VERIZON.NET

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: COSSENTINO REMODELING
Contact Name: WAYNE COSSENTINO
Street Address: 9068 FURROW AVENUE
City: ELLICOTT CITY
State: MD
Zip Code: 21042
Phone:
Email:

CONTRACTOR INFORMATION REQUIRED

Business Name: COSSENTINO & SONS REMODELING AND DESIGN INC.
Licensee's Name: WAYNE COSSENTINO
License #: 16414
Street Address: 9068 FURROW AVENUE
City: ELLICOTT CITY
State: MD
Zip Code: 21042
Phone: 410 977 5781
Email: WAYNE.COSSENTINO@YAHOO.COM

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: AISA SCHMIDT ARCHITECT INC
Name: AISA SCHMIDT
Street Address: 2734 THORN BROOK ROAD
City: ELLICOTT CITY
State: MD
Zip Code: 21042
Phone: 410 255-8861
Email: AISA3@VERIZON.NET

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling
Utilities: Electric Gas
Water Supply: Public Private (Well)
Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other
Roadside Tree Project: No Yes
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None
Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:
of Bedrooms (SF):
of efficiency units (MF*):
of 1 BR (MF*):
of 2 BR (MF*):
of 3 BR (MF*):
Rooms:
Full Baths:
Half Baths:
Fireplaces:
Garage/Carport Info: Attached Garage
Basement/Foundation Info: Slab on Grade
1st Fl Width: 22'
1st Fl Depth: 24'
2nd Fl Width:
2nd Fl Depth:
Bsmt Width:
Bsmt Depth:
Energy Method: Prescriptive
Gross Area: 528 sq ft
Occupiable Area: 528 sq ft

AGREEMENT/DISCLAIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Wayne Cosentino
APPLICANT'S ORIGINAL SIGNATURE

NOVEMBER 3 2020
DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

PR DPZ DED Health SHA CID

PERMIT FEES: \$75.00 PAYMENT: NONE SUBMITTED ACCEPTED BY: [Signature]

B20004042

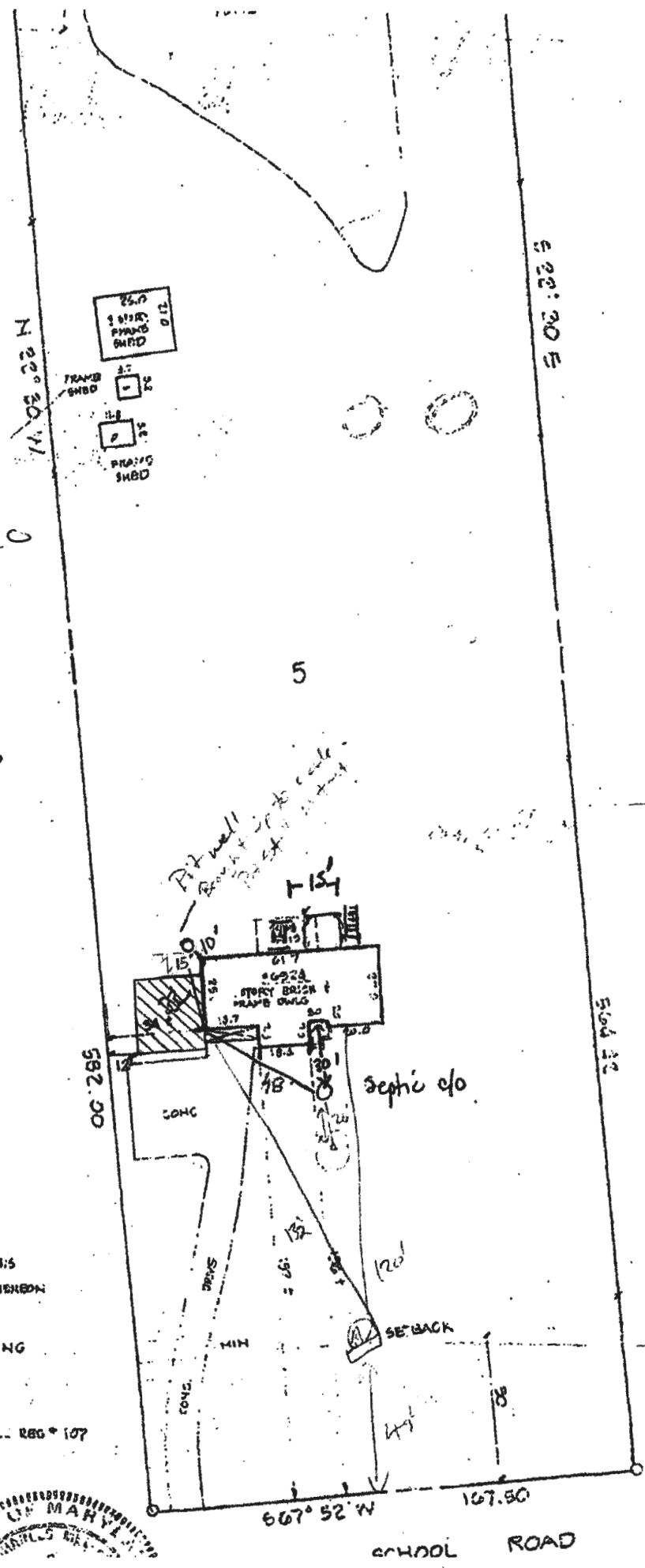
Approved

RAK 12/3/2020

NOTE: I. ALSO KNOWN AS LOT 5 AS SHOWN ON MAP OF PEMBROKE KNOLLS, SECTION 1 RECORDED IN HOWARD CO. MD IN PLAT BOOK 4 P. 110 52

I HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THIS LOT FOR THE PURPOSE OF LOCATING THE IMPROVEMENTS THEREON AND THAT THEY ARE LOCATED AS SHOWN THIS PLAT IS NOT INTENDED FOR USE IN ESTABLISHING PROPERTY LINES

5.24.25 *John C. Williams* REG # 107



SCHOOL ROAD



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045
Main: 410-313-2640 | Fax: 410-313-2648
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

APPLICATION FOR VARIANCE

TO COMAR ONSITE WATER/SEWER FOR MDE APPROVAL

Date Submitted 1/27/2020
6924 Pindell School Rd. Fulton, MD 20759

Property Address

Pembroke Knolls

5

41

4

154

05362393

Subdivision

Lot

Tax Map

Grid

Parcel

Tax Account #

Provide a brief site history including previously submitted and active plans with the Health Department or the County (subdivision plans, perc test applications, Building Permit applications):

Proposing a 28' X 20' attached garage 10' from the existing well. Well is 10' to existing house. Building permit application for this proposal has not been submitted yet.

In the area below, list the specific section of the Code of Maryland Regulations (COMAR) to which a variance is being requested and provide a brief summary of the regulation and an explanation of why the variance is being requested (Attach a separate sheet if necessary).

Regulation Section

Summary and Explanation

1. 26.04.04.04.B.2.(c)

A proposed well location for a water supply must be 30' from a building foundation. Homeowners would like to construct the garage as even with the existing house as possible.

2.

Handwritten signature of J.A. Williams

25 JAN. 20

Property Owner's Signature

Health Department Use Only

Reviewed by

J. Williams
HCHD Staff

7/20/20
Date

Recommendation:

[X] Recommended

[] Not Recommended

Handwritten signature of HCHD Supervisor

7/29/20
Date

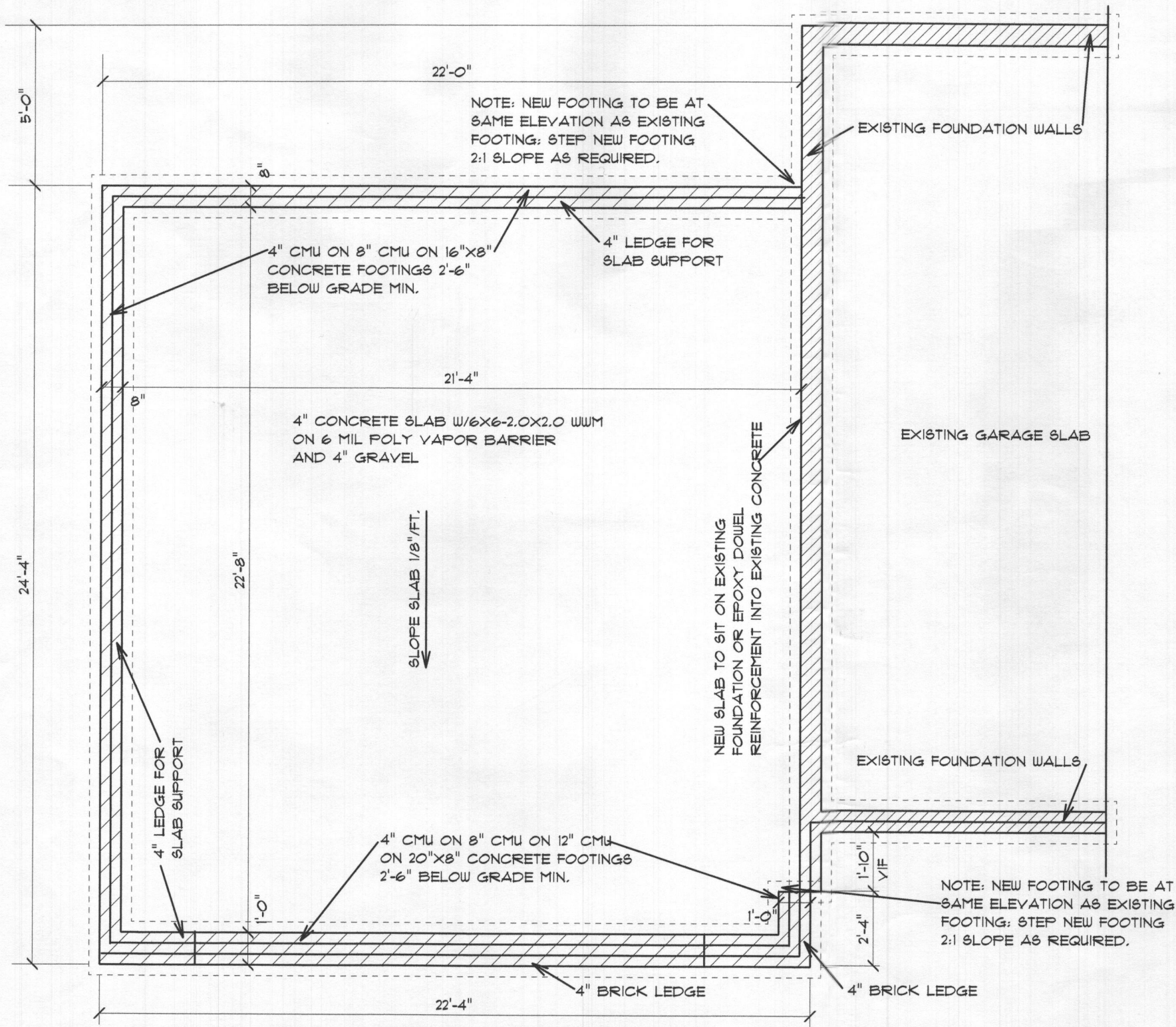
Comments/Conditions:

Maintain 10' to existing well

Approved by:

Steven R Krug LEHS
MDE Representative

7/30/20
Date



1320004042
 Approved RJK
 12/3/2020

FOUNDATION PLAN

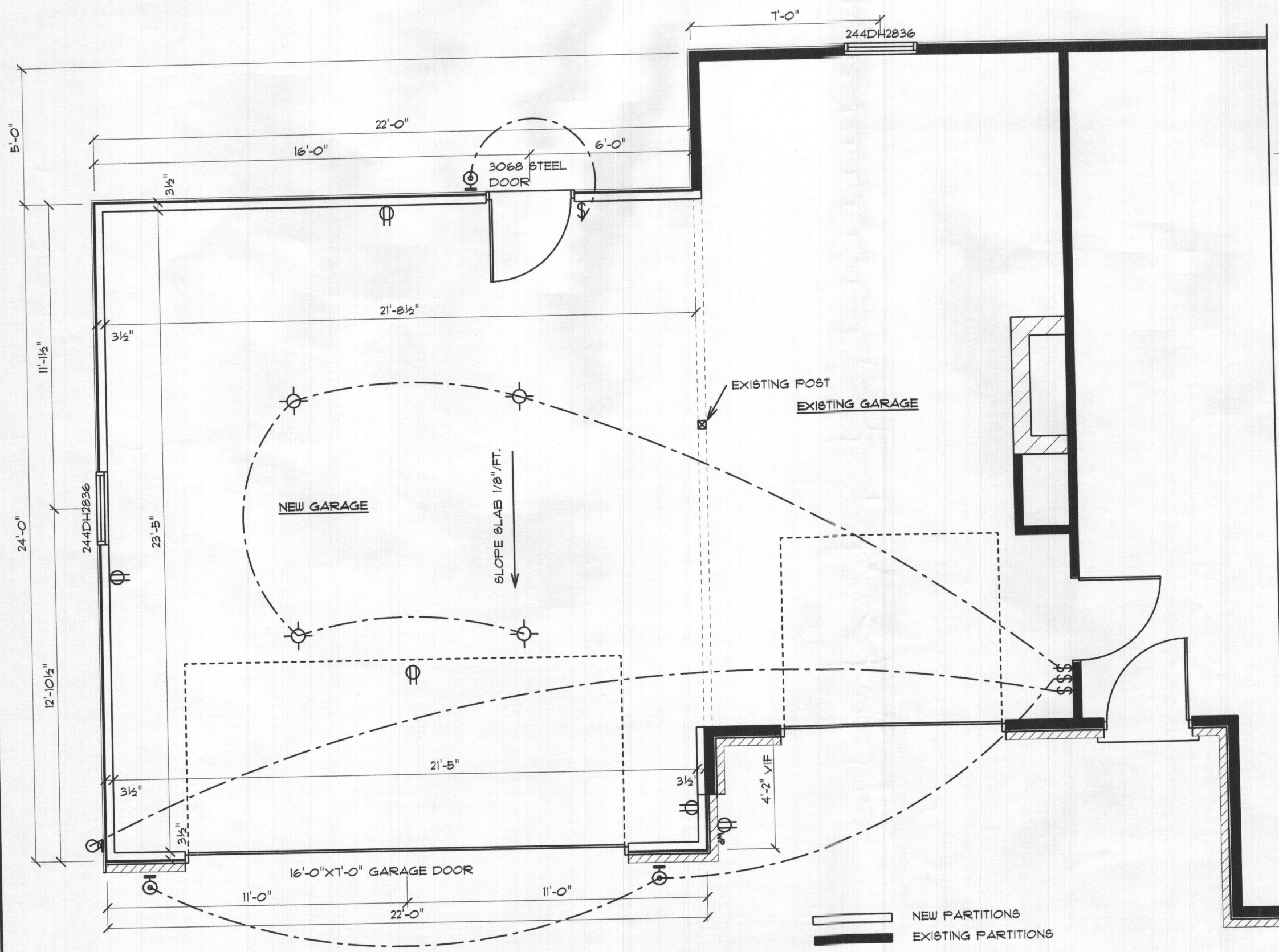
NOTE: VERIFY ALL DIMENSIONS IN FIELD.

YORK RESIDENCE ADDITION
 HOWARD COUNTY, MARYLAND
 ANJA SCHMIDT ARCHITECT, INC.
 ELLICOTT CITY, MARYLAND

DATE:
 11/02/2020

SCALE:
 1/4"=1'-0"

A1



ELECTRICAL SCHEDULE

- ⊙ Wall mount light
- Light
- \$ Single pole switch
- ⊕ Duplex outlet
- ⊗ WP outlet
- ⊙ Flood light
- ⊕ Smoke detector
- ⊠ CM Carbon monoxide detector

- NEW PARTITIONS
- EXISTING PARTITIONS
- - - PARTITIONS TO BE REMOVED

FLOOR PLAN

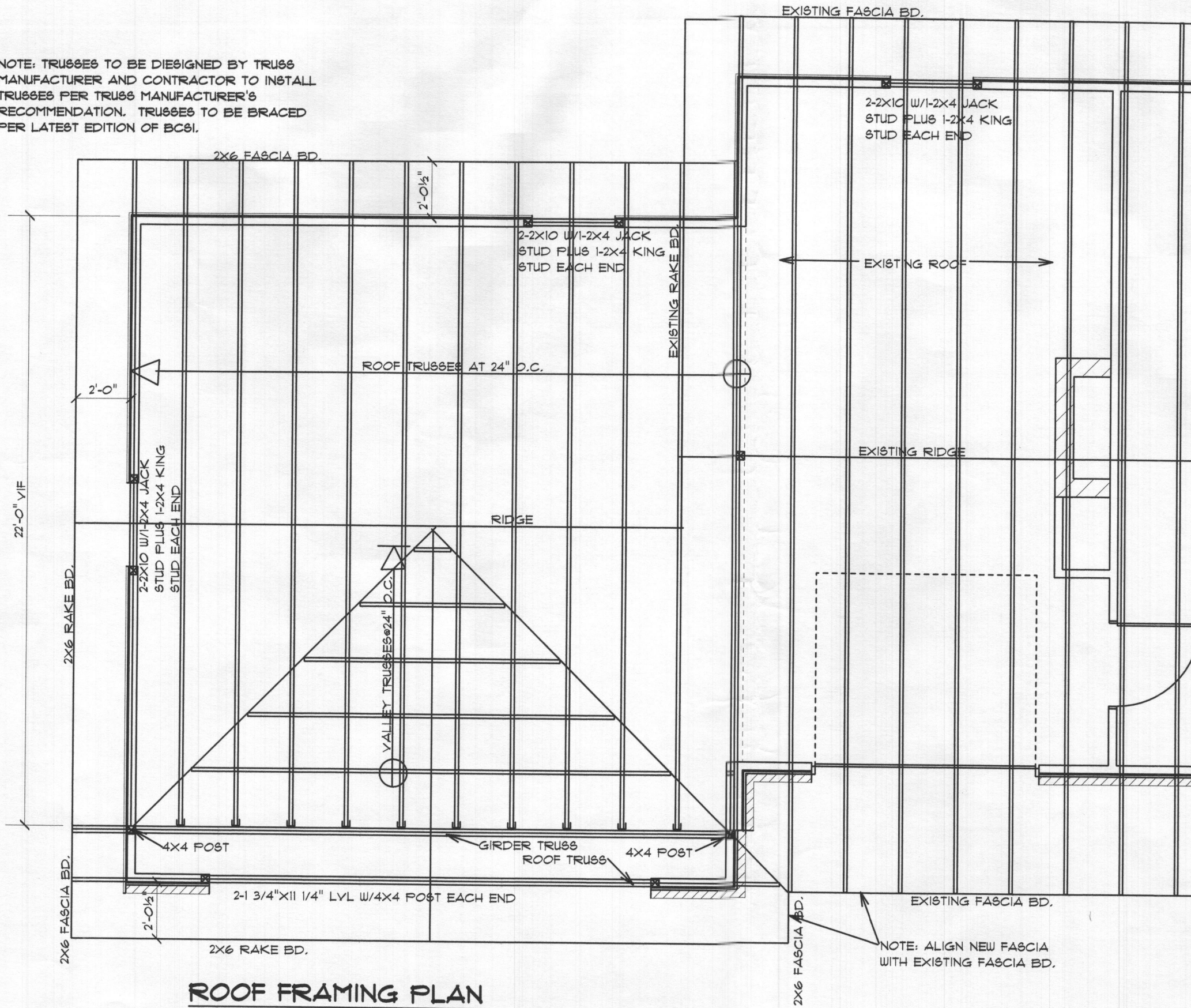
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AJAJ SCHMIDT ARCHITECT, INC.
ELLCOTT CITY, MARYLAND

DATE:
 11/02/2020
 SCALE:
 1/4" = 1'-0"

A2

NOTE: TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER AND CONTRACTOR TO INSTALL TRUSSES PER TRUSS MANUFACTURER'S RECOMMENDATION. TRUSSES TO BE BRACED PER LATEST EDITION OF BC61.



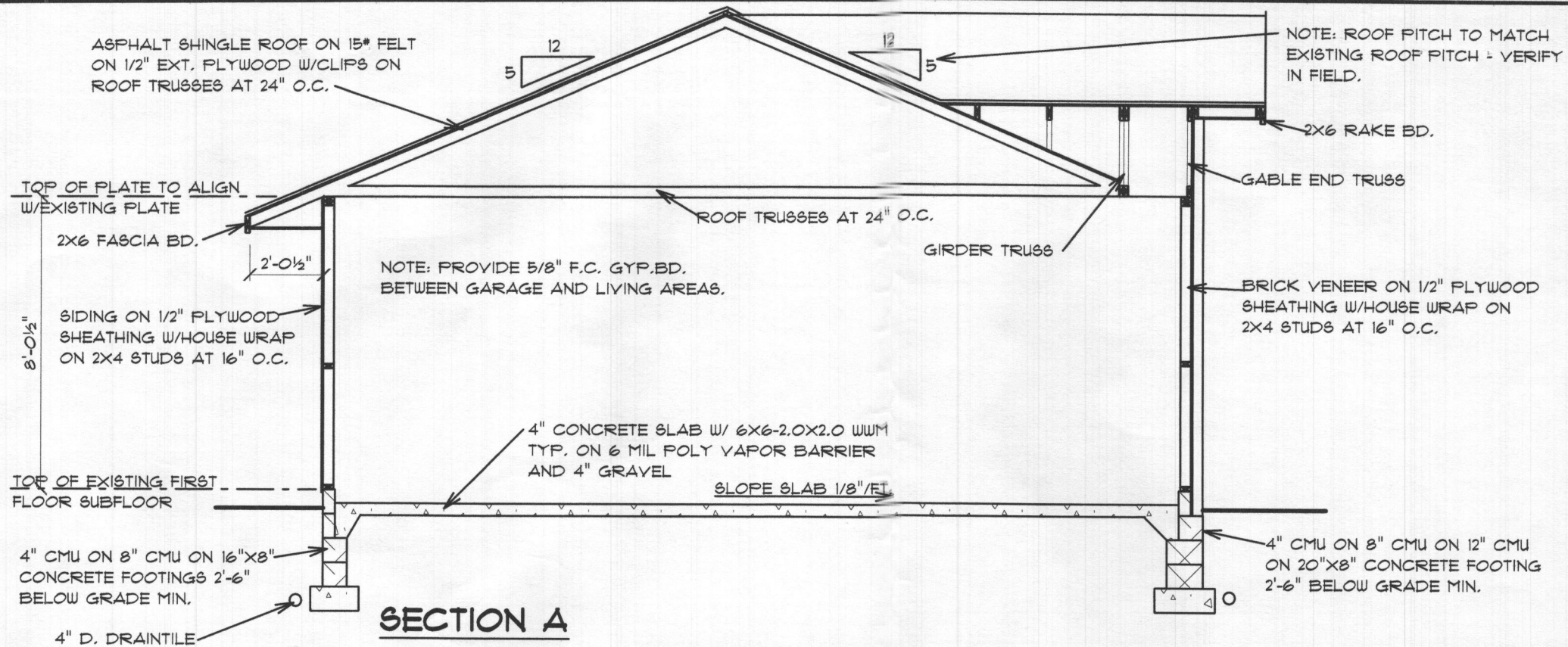
ROOF FRAMING PLAN

NOTE: VERIFY ALL DIMENSIONS IN FIELD.

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A3



SECTION A

NOTE: VERIFY ALL DIMENSIONS IN FIELD.

STRUCTURAL NOTES

SOIL BEARING AND WATER CONDITION:

ASSUMED 2,500 psf WITH NO WATER CONDITION ANTICIPATED.

LIVE LOADS:

- ROOF - 30 psf
- FLOOR - 40 psf
- FLOOR AT BEDROOM LEVEL - 30 psf

BACKFILL:

SHALL NOT BE PLACED AGAINST WALLS UNTIL SLABS ON GRADE AND FRAMED FLOORS ARE IN PLACE AND REQUIRED INSPECTIONS HAVE BEEN MADE. WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF WALLS, BACKFILL BOTH SIDES SIMULTANEOUSLY WITH THE GRADE DIFFERENCE NOT TO EXCEED 2'-0" AT ANY TIME. BACKFILL AGAINST BASEMENT WALLS SHALL NOT EXCEED AN EQUIVALENT WEIGHT OF 30 psf.

FOUNDATIONS:

BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM 2'-6" BELOW GRADE. FOOTING DEPTHS SHALL BE SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED. CONTRACTOR TO NOTIFY ARCHITECT OF ANY UNUSUAL SOIL CONDITIONS. FOUNDATION WALL FOOTINGS TO BE 8" DEEP MINIMUM AND PROJECT 4" MINIMUM BEYOND FACE OF WALL UNLESS OTHERWISE SHOWN.

CONCRETE:

ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST ACI CODE. 28 DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS:

F'C=3000 psf FOR FOOTINGS, INTERIOR SLABS ON GRADE AND BASEMENT WALLS

F'C=3500 psf FOR EXTERIOR SLABS ON GRADE AND GARAGE SLABS WITH 6% AIR ENTRAINMENT.

STRUCTURAL STEEL:

STEEL SHALL CONFORM TO ASTM A992

ROOF TRUSSES:

WOOD TRUSSES SHALL BE DESIGNED BY THE TRUSS MANUFACTURER. COMPLETE SHOP DETAILS AND STRESS DIAGRAMS, INCLUDING BEARING DETAILS, TO BE SUBMITTED FOR APPROVAL. TRUSSES TO BE INSTALLED AND BRACED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. TRUSS MANF. TO SPECIFY HANGERS REQ'D. AT FLUSH AND BEARING CONDITIONS.

WOOD FRAMING:

JOISTS SHALL HAVE A 4" MINIMUM BEARING ON MASONRY. WOOD JOISTS AND HEADERS SHALL NOT BE CUT OR DRILLED UNLESS AUTHORIZED BY THE STRUCTURAL CONSULTANT. ALL BEARING PARTITIONS SHALL BE HORIZONTALLY BRACED AT MID-HEIGHT. FLUSH JOIST TO BEAM CONNECTIONS TO BE ATTACHED WITH METAL FASTENERS: USE GALVANIZED FASTENERS AT EXTERIOR CONDITIONS.

UNLESS OTHERWISE NOTED, ALL STRUCTURAL MEMBERS SHALL BE:

JOISTS AND RAFTERS: HEM FIR #2, 19% M.C.

HEADERS, POSTS AND BEAMS: SO. PINE #2, 19% M.C.

STUD WALLS: SPF #2, 19% M.C.

LYL BEAMS:

E = 2,000,000 psf

Fb = 2,900 psf

Fv = 285 psf

BRICK VENEER WALLS:

PROVIDE 18 GAUGE GALVANIZED, 1/8" WIDE CORRUGATED TIES, TWO TIES EVERY SIXTH COURSE VERTICALLY AND 16" O.C. HORIZONTALLY. MASONRY WALLS SHOULD BE PROPERLY BRACED DURING CONSTRUCTION.

LINTEL SCHEDULE:

PROVIDE 6" BEARING AT EACH END (3 1/2" LEG HORIZONTAL)

OPENING	STEEL ANGLE
0 TO 4'-0"	3 1/2"x3 1/2"x1/4"
4'-1" TO 6'-0"	4"x3 1/2"x5/16"
6'-1" TO 8'-0"	5"x3 1/2"x3/8"
8'-1" TO 10'-0"	6"x4"x1/2"

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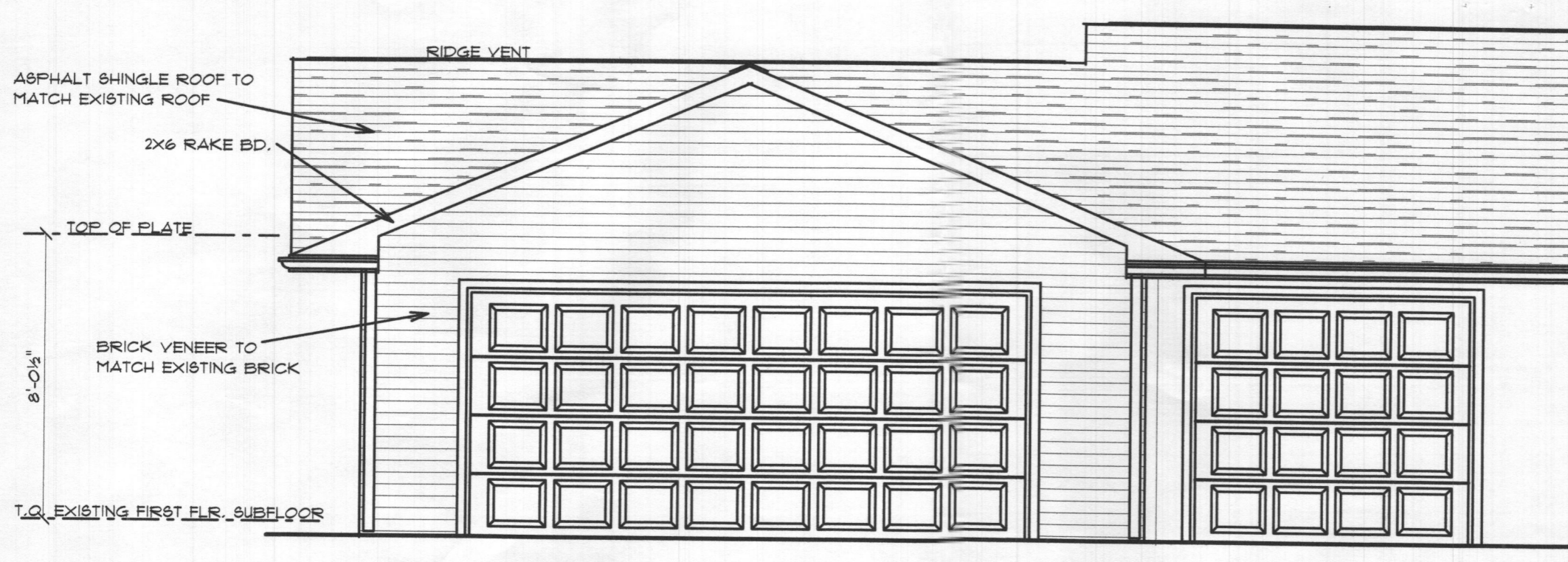
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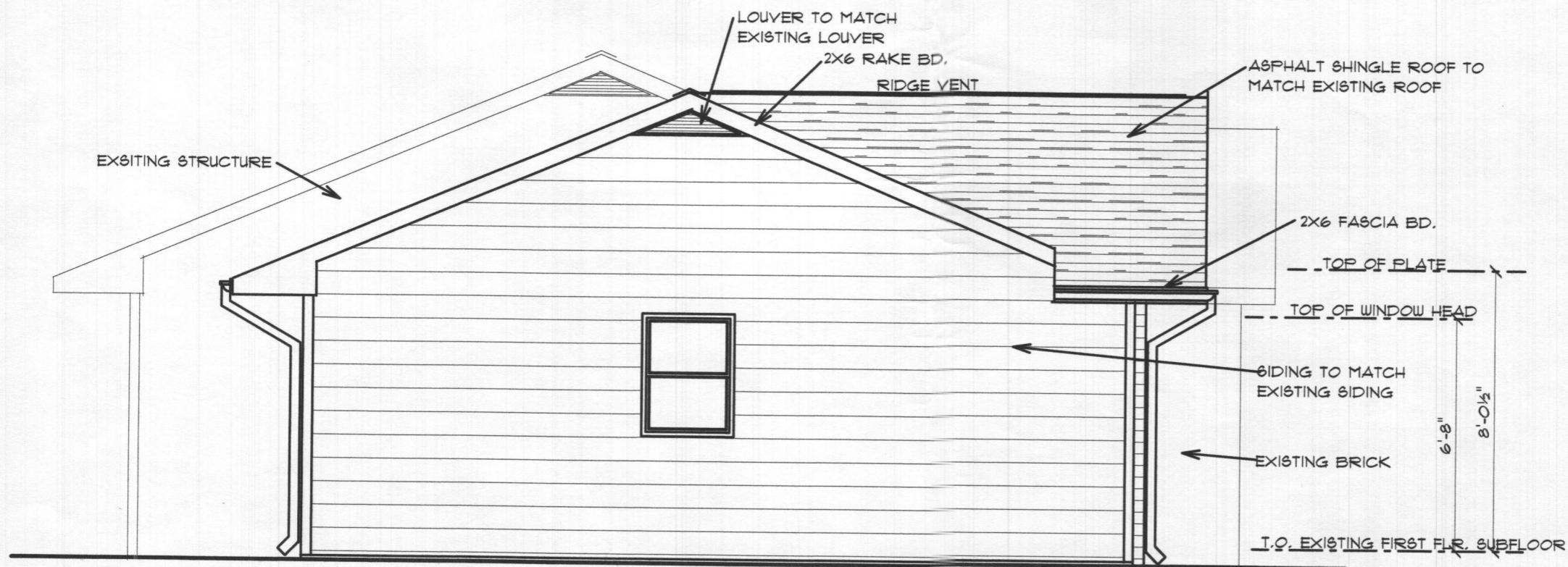
1/4"=1'-0"

A4



FRONT ELEVATION

NOTE: VERIFY ALL DIMENSIONS IN FIELD.



SIDE ELEVATION

NOTE: VERIFY ALL DIMENSIONS IN FIELD.

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A5



REAR ELEVATION

NOTE: VERIFY ALL DIMENSIONS IN FIELD.

GENERAL NOTES

1. ALL MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS.
2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH NEC AND LOCAL CODES; ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH MECHANICAL CODES.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
4. GENERAL CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS.
5. ALL DIMENSIONS ARE TO FACE OF STUD. ALL DIMENSIONS ON SCHEDULES AND PLANS ARE NOMINAL; CONTACT GENERAL CONTRACTOR AND MANUFACTURERS TO COORDINATE ALL DIMENSIONS IN FIELD CONCERNING DOORS, WINDOWS, PANELS, TRUSSES, STAIRS AND THEIR OPENINGS PRIOR TO THEIR FABRICATION AND CONSTRUCTION.
6. PROVIDE TEMPERED GLASS TO COMPLY WITH CODE REQUIREMENTS.
7. ALL WOOD LESS THAN 8" FROM GRADE TO BE PRESSURE TREATED.
8. DRYER VENTS, RANGE HOODS AND BATHROOMS TO BE VENTED TO THE OUTSIDE.
9. PROVIDE FLASHING AT ALL WINDOW AND DOOR HEADS; PROVIDE FLASHING AND/OR SEALANT AT ALL OPENINGS IN THE ROOF OR WALLS TO PROVIDE A WEATHERTIGHT BUILDING.
10. PROVIDE PLYWOOD BRACING AT ALL EXTERIOR CORNERS.
11. PROVIDE 3/8" PLYWOOD UNDERLAYMENT ON SUBFLOOR WITH CERAMIC TILE FLOOR FINISH.
12. PROVIDE CONTINUOUS FOOTING DRAIN TILE ALONG THE BUILDING BASEMENT PERIMETER. DRAIN TO POSITIVE OUTFALL.
13. PROVIDE 3/4" CONDENSATE DRAIN LINE FROM WATER HEATER AND HYAC AND INSTALL UNDER SLAB TO POSITIVE OUTFALL.
14. PROVIDE 1"X24" RIGID PERIMETER INSULATION UNDER SLAB WHEN SLAB IS WITHIN 24" FROM FINISHED GRADE.
15. PROVIDE 1/2" PREMOULDED JOINTS BETWEEN CONC. SLABS AND WALLS.
16. SLOPE ALL STOOPS/PORCHES/WALKS AND GARAGE SLABS 1/8"/FT. TO DRAIN.
17. PROVIDE A SPLASHBLOCK AT ALL DOWNSPOUTS TO DIRECT WATER AWAY FROM BUILDING.
18. PROVIDE OVERFLOW PAN AND DRAIN AT WASHER/WATERING UNIT OR ROOM LOCATED OVER FRAMED FLOORS.
19. PROVIDE EGRESS WINDOWS IN ALL BEDROOMS. SLEEPING ROOM WINDOWS MAXIMUM SILL HEIGHT 44" ABOVE FINISHED FLOOR. EGRESS WINDOWS MUST HAVE A NET CLEAR OPENING OF 5.7 SQ.FT. (5.0 SQ.FT. AT GRADE FLOOR WINDOWS) AND A MINIMUM CLEAR WIDTH OF 20" AND MIN. HEIGHT OF 24".
20. PROVIDE FOUNDATION AND ATTIC VENTING PER CODE.
21. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPERATED FROM ALL HABITABLE ROOMS WITH NO LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT.

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A6