

# APPLICATION

## PERCOLATION TESTING

A \_\_\_\_\_

P \_\_\_\_\_

HOWARD COUNTY HEALTH DEPARTMENT  
BUREAU OF ENVIRONMENTAL HEALTH  
3525-H ELLICOTT MILLS DRIVE/ELLICOTT CITY, MARYLAND 21043  
TELEPHONE: 313-2640

DISTRICT \_\_\_\_\_

DATE \_\_\_\_\_

TO: THE COUNTY HEALTH OFFICER  
ELLICOTT CITY, MARYLAND

I HEREBY APPLY FOR THE NECESSARY TEST PRIOR TO APPLICATION FOR PERMIT TO CONSTRUCT (OR RECONSTRUCT) A SEWAGE DISPOSAL SYSTEM.

PROPERTY OWNER \_\_\_\_\_

ADDRESS \_\_\_\_\_ PHONE \_\_\_\_\_

AGENT OR PROSPECTIVE BUYER \_\_\_\_\_

ADDRESS \_\_\_\_\_ PHONE \_\_\_\_\_

PROPERTY LOCATION:

SUBDIVISION Myrtue LOT NO. 17

ROAD AND DESCRIPTION \_\_\_\_\_

TAX MAP \_\_\_\_\_ PARCEL # \_\_\_\_\_

SIZE OF LOT \_\_\_\_\_ TYPE BLDG. \_\_\_\_\_  
(SINGLE FAMILY DWELLING OR COMMERCIAL)

THE SYSTEM INSTALLED UNDER THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC FACILITIES BECOME AVAILABLE. I FULLY UNDERSTAND THE FEE CONNECTED WITH THE FILING OF THIS PERC TEST APPLICATION IS NON-REFUNDABLE UNDER ANY CIRCUMSTANCES. I ALSO AGREE TO COMPLY WITH ALL M.O.S.H.A. REQUIREMENTS IN TESTING THIS LOT.

(SIGNATURE OF APPLICANT)

APPROVED BY \_\_\_\_\_ FOR \_\_\_\_\_ DATE \_\_\_\_\_

DISAPPROVED BY \_\_\_\_\_ FOR \_\_\_\_\_ DATE \_\_\_\_\_

HOLD PENDING FURTHER TESTS \_\_\_\_\_

REASONS FOR REJECTION OR HOLDING \_\_\_\_\_

PERCOLATION TEST PLAT/PRELIMINARY PLAT - TITLE OR I.D. # \_\_\_\_\_ DATE \_\_\_\_\_

SITE DEVELOPMENT PLAN/FINAL PLAT - TITLE OR I.D. # \_\_\_\_\_ DATE \_\_\_\_\_

# THIS IS NOT A PERMIT

518004  
COUNTY #

Proposed LOT 17

SOIL PROFILE

0' (351)  
org brn  
CL M  
Some mica  
6'  
Micaceous  
S. Loam  
12'  
Rx frag  
~15-20%  
14'  
water  
15'  
Bottom

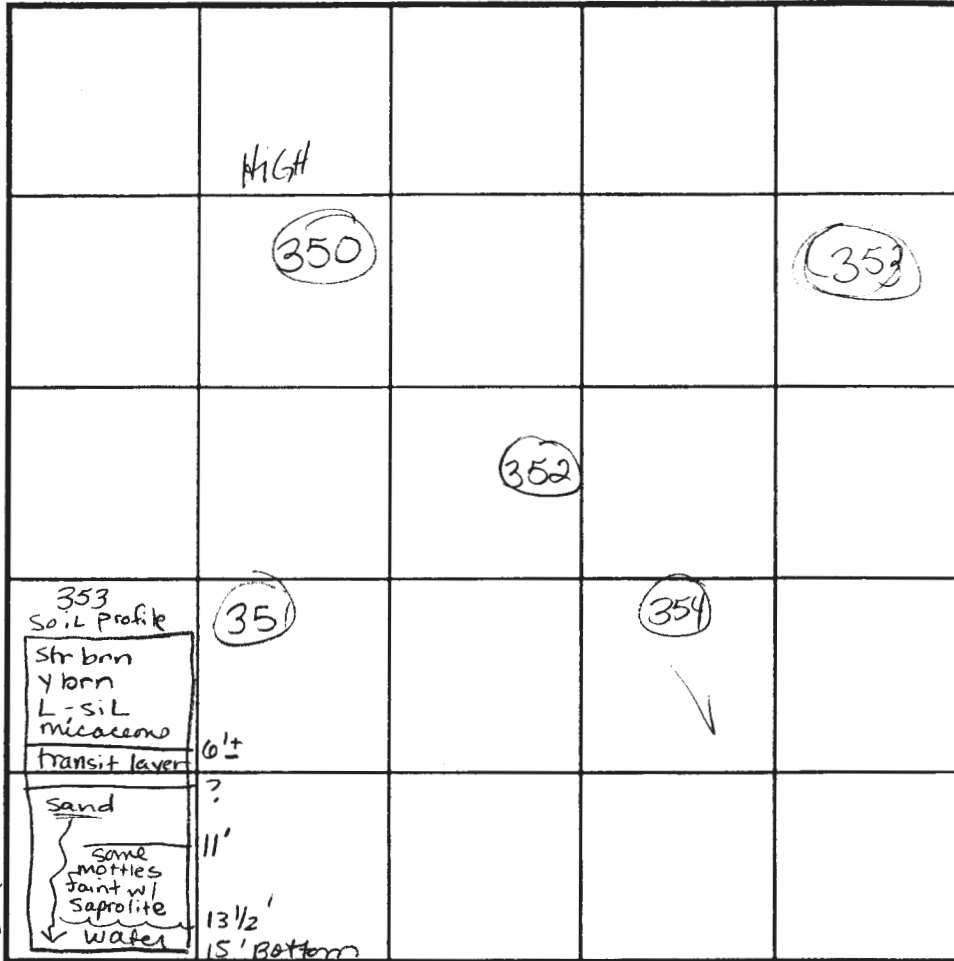
(352)

Brown  
CL M  
with some  
mica  
22-3'

bluish  
lt brn  
brn  
micac.  
SLm  
mottles  
begin  
Mn nodules  
10'  
Cave-in  
distinct mottles  
15'  
Bottom

(354)

str rd  
v. micac.  
SLm  
2 1/2'  
up  
hill  
brn  
lt brn  
yellow  
5'  
Lm S  
HUGE  
black  
Mn  
spot  
6 1/2'  
down  
hill  
f. md  
grains  
Rx ~10%  
14'  
Bottom



SOIL PROFILE

0' 350  
1'± DK brn  
CL M  
1 1/2'± St. org brn  
CL M  
4 1/2'± lt brn  
SLm-Lm  
4 1/2' md gr  
Sand  
v. fr.  
Saprolite  
~15-20%  
14'  
water  
14 1/2'  
Bottom

INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE.

DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1' DROP		TIME
			START	STOP	START	STOP	
3-11-03	351	6' / 14' WATER	1:05	@ 1:21 less	moved ~ 1/2' or		(F) TOO SLOW
	352	Mottles @ 7'		with cave-in @ 10'			M/F Distinct mottles
	354	7' / 14'	1:37	1:41	1:41	1:45	4
	350	NOT TESTED DUE TO		SURROUNDING HOLES			
	353	3 1/2' / 15'	2:08	2:24	1/4" to 80	@ 2:54	Retest deeper
		WATER @ 13'		@ 2:54			
		7'M	1:52	1:55	"	2:00	5min

REMARKS: Holes staked and dug per plan  
 TYPE OF SOIL: \_\_\_\_\_  
 TESTED BY: KN ALSO PRESENT: Bob Sheesley  
 TRENCH DESIGN DATA: AVERAGE PERCOLATION TIME: \_\_\_\_\_ TRENCH WIDTH: \_\_\_\_\_  
 INLET DEPTH: \_\_\_\_\_ MAXIMUM BOTTOM DEPTH: \_\_\_\_\_ SQ. FT/BEDROOM: \_\_\_\_\_

# APPLICATION

PERCOLATION TESTING

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HOWARD COUNTY HEALTH DEPARTMENT  
BUREAU OF ENVIRONMENTAL HEALTH  
3525-H ELLICOTT MILLS DRIVE/ELLICOTT CITY, MARYLAND 21043  
TELEPHONE: 313-2640

DISTRICT \_\_\_\_\_

DATE 5/20/03

TO: THE COUNTY HEALTH OFFICER  
ELLICOTT CITY, MARYLAND

I HEREBY APPLY FOR THE NECESSARY TEST PRIOR TO APPLICATION FOR PERMIT TO CONSTRUCT (OR RECONSTRUCT) A SEWAGE DISPOSAL SYSTEM.

PROPERTY OWNER Myrtue

ADDRESS \_\_\_\_\_ PHONE \_\_\_\_\_

AGENT OR PROSPECTIVE BUYER \_\_\_\_\_

ADDRESS \_\_\_\_\_ PHONE \_\_\_\_\_

PROPERTY LOCATION:

SUBDIVISION Myrtue LOT NO. 17

ROAD AND DESCRIPTION Woodstock RD

TAX MAP \_\_\_\_\_ PARCEL # \_\_\_\_\_

SIZE OF LOT \_\_\_\_\_ TYPE BLDG. \_\_\_\_\_  
(SINGLE FAMILY DWELLING OR COMMERCIAL)

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(SIGNATURE OF APPLICANT)

APPROVED BY \_\_\_\_\_ FOR \_\_\_\_\_ DATE \_\_\_\_\_

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PERCOLATION TEST PLAT/PRELIMINARY PLAT - TITLE OR I.D. # \_\_\_\_\_ DATE \_\_\_\_\_

SITE DEVELOPMENT PLAN/FINAL PLAT - TITLE OR I.D. # \_\_\_\_\_ DATE \_\_\_\_\_

# THIS IS NOT A PERMIT

5180000

COUNTY #

SOIL PROFILE

0' **411A**  
 Strong Rdbn  
 SiCLM 5 1/2'  
 Rdbn coarse, dense  
 SLm platy structure  
 with some silt collection  
 rdbn  
 micaceous fine LS  
 wk saprolite str. rd  
 11 1/2'

Uphill side  
 4 1/2 - 5  
 boulder pocket of  
 Qz ~50%

downhill

**411A**

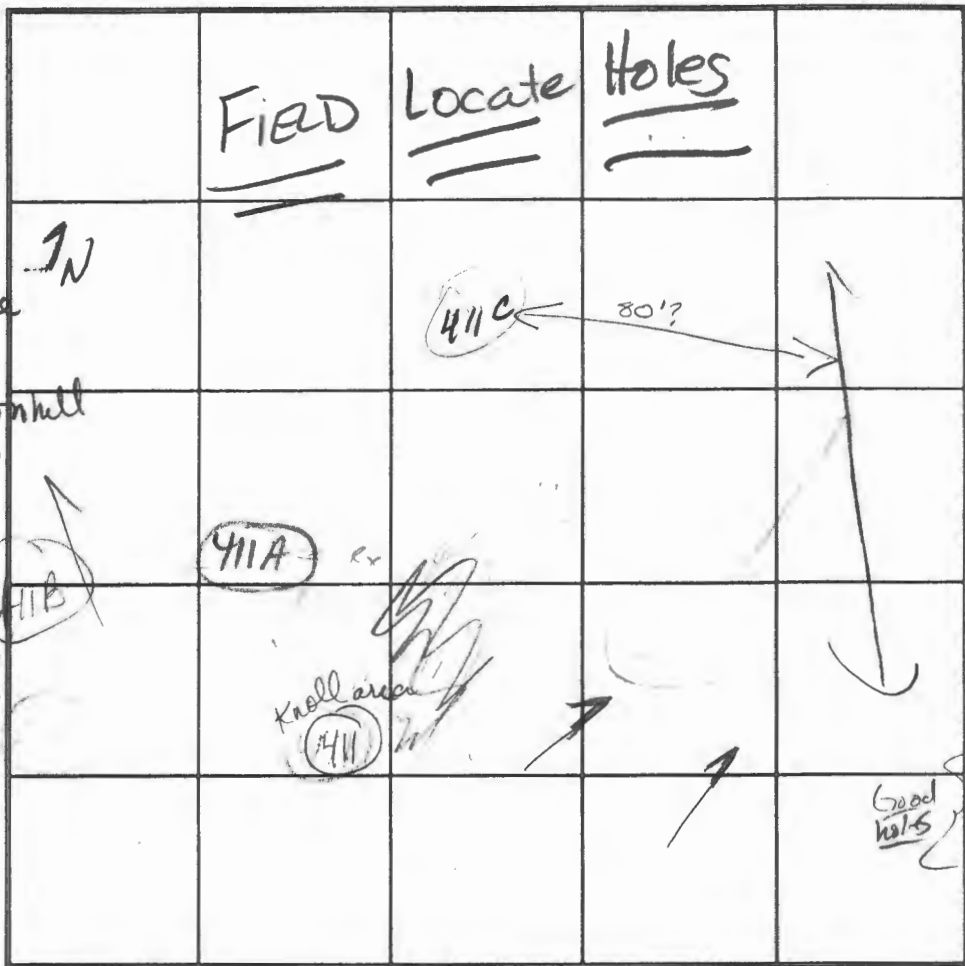
Strong Brn  
 Stony (Rv) ~20% 0-30'  
 3 1/2'

boulders running E to W parallel to contour  
 Excessive Rx > 80%  
 Refusal  
 10 1/2'

**411B**

str. rd  
 SiLm ~20% mica  
 sbk struct  
 granular str. SiLm  
 gravelly layer  
 fine mica  
 Lm S  
 rd br lateral Mn  
 Bottom  
 11 1/2'

15% white pebbles  
 uphill  
 SAPP rd. + frag. pack + Mn  
 overall ~20%  
 14-15%



SOIL PROFILE

0' **411C**  
 org brn strong SL rdbn  
 LS  
 5' black rdbn  
 2' str brn rdbn  
 Muck sand w/ black spots  
 Strong brn wk rdbn Rx ~15%  
 12' Bottom

411B 354 353A  
 411 354A 411C

INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE.

REVIEW HOLE LOCATIONS

DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1' DROP		TIME
			START	STOP	START	STOP	
5-20-03	411A	5 1/2'	10:41 <sup>50</sup>	10:47 <sup>12</sup>	10:47 <sup>15</sup>	10:57	10 min
		uphill side lg boulders.	stay 15' downhill of stake		OK'd by KC		OK
	411	Excessive Rock					(F)
	411B	5 1/2'	11:05 <sup>11</sup>	11:06 <sup>31</sup>	11:06 <sup>31</sup>	11:09 <sup>27</sup>	~30k
	411C	5'	11:25 <sup>37</sup>	11:26 <sup>15</sup>	11:26 <sup>15</sup>	11:28 <sup>15</sup>	20k

REMARKS: Check 411B, 411C for location - NOT ON PLAN  
 Holes changed or possibly added by B. Slesky.

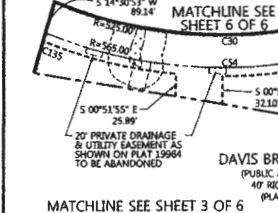
TYPE OF SOIL \_\_\_\_\_  
 TESTED BY Kacie Noonan ALSO PRESENT Bob S & Keelty

TRENCH DESIGN DATA: AVERAGE PERCOLATION TIME \_\_\_\_\_ TRENCH WIDTH \_\_\_\_\_  
 INLET DEPTH \_\_\_\_\_ MAXIMUM BOTTOM DEPTH \_\_\_\_\_ SQ. FT./BEDROOM \_\_\_\_\_

**LINE TABLE**

LINE	BEARING	DISTANCE
L29	S 34°31'15" E	93.04
L30	N 79°55'12" E	37.18
L31	S 10°25'48" E	20.00
L32	S 79°25'12" W	28.23
L33	S 31°25'21" E	23.03
L34	S 55°20'00" W	60.89
L35	S 55°20'00" W	10.00
L36	S 80°55'10" W	10.00
L37	S 78°55'33" E	42.37
L38	N 11°06'22" E	20.00
L39	N 78°55'33" E	43.06
L47	S 80°55'10" W	10.00
L48	S 55°20'00" W	10.00
L49	S 06°39'06" E	11.92
L65	N 19°58'44" E	5.09
L64	S 58°40'16" E	20.40
L65	S 19°58'44" W	33.98

FOR COORDINATE TABLE SEE SHEET 6 OF 6



**CURVE TABLE**

CURVE	DELTA ANGLE	RADIUS	ARC	CHORD BEARING	LENGTH	TANGENT
C30	56°42'22"	525.00	519.60	N 87°18'27" E	498.65	283.31
C31	114°23'36"	1500.00	299.48	S 63°00'56" E	252.10	232.72
C32	27°52'06"	91.50	44.25	S 09°05'11" E	44.07	22.76
C33	30°00'00"	120.00	62.83	S 19°31'15" E	62.12	32.15
C34	29°56'35"	80.00	41.34	S 19°19'43" E	40.88	21.14
C35	47°41'10"	130.00	108.20	S 53°58'35" E	105.10	57.45
C36	107°17'47"	80.00	149.81	N 44°31'57" E	128.86	108.70
C37	15°29'42"	200.00	184.48	N 17°18'24" E	178.00	98.38
C38	59°27'25"	100.00	194.06	N 13°05'03" E	99.43	57.30
C39	59°37'25"	140.00	145.69	S 13°53'03" W	135.20	80.22
C40	52°50'42"	160.00	147.57	S 17°18'24" W	142.40	79.50
C41	107°17'47"	120.00	224.72	S 44°31'57" W	193.29	140.65
C42	47°41'10"	170.00	141.49	N 57°58'35" W	157.44	75.13
C43	29°56'35"	120.00	62.02	N 01°04'11" W	61.83	31.72
C44	30°00'00"	80.00	41.89	N 19°31'15" W	42.41	21.44
C45	27°52'06"	131.50	63.96	N 20°35'11" W	63.83	32.63
C46	114°23'36"	110.00	219.62	N 63°50'56" W	184.92	170.66
C47	56°42'22"	565.00	559.19	S 87°18'27" W	536.64	304.90
C48	29°23'26"	175.00	284.95	S 71°56'46" E	291.73	150.80
C49	131°00'00"	130.00	67.18	N 19°19'41" W	66.44	34.36
C50	30°00'00"	70.00	36.65	N 39°31'15" W	36.23	18.76
C51	27°52'06"	141.50	68.82	N 20°35'11" W	68.35	35.11
C52	114°23'36"	100.00	199.65	N 63°50'56" W	168.11	155.15
C53	29°15'08"	575.00	293.57	S 73°34'30" W	290.39	150.06
C54	29°23'26"	315.00	253.63	N 71°7'05" E	254.98	131.17
C55	114°23'36"	160.00	318.45	S 63°50'56" E	268.97	248.24
C56	27°52'06"	81.50	39.54	S 20°35'11" E	39.25	20.22
C57	29°23'26"	130.00	66.83	S 19°14'56" E	66.10	34.17
C58	52°50'42"	210.00	198.69	N 17°18'24" E	186.89	104.93
C59	59°37'25"	86.00	39.66	N 13°05'03" E	89.49	51.57
C60	59°49'46"	70.00	10.79	S 29°43'08" E	10.78	5.40

FULTI D. BRODIN  
L. RUTH D. FISHER  
SAMUEL BRODIN, LUTZ D. BRODIN & FRANCES  
LOUISE BRODIN  
L. 394 F. 553  
L. 60 F. 35 61 PARCEL  
ZONED PC-DED



501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

**TABULATION OF FINAL PLAT SHEET # 4**

A. TOTAL NUMBER OF LOTS AND/OR PARCELS TO BE RECORDED:

BUILDABLE	13
NON-BUILDABLE PRESERVATION PARCEL	10
BUILDABLE PRESERVATION PARCEL	3
NON-BUILDABLE PARCEL	0
TOTAL AREA OF LOTS AND/OR PARCELS	4,277 AC ±

B. TOTAL AREA OF LOTS AND/OR PARCELS:

BUILDABLE	11,879 AC ±
NON-BUILDABLE PRESERVATION PARCEL	22,371 AC ±
BUILDABLE PRESERVATION PARCEL	0.000 AC ±
NON-BUILDABLE PARCEL	0.000 AC ±
TOTAL AREA OF ROADWAY AND HIGHWAY WIDENING TO BE RECORDED	0.000 AC ±
D. TOTAL AREA OF SUBDIVISION TO BE RECORDED	37,838 AC ±

**OWNER'S DEDICATION**

We, Davis Branch Estates, LLC, a Maryland Limited Liability Company, Richard E. Myrtue and Pauline F. Myrtue c/o Davis Branch Estates, LLC, and Davis Branch Estates Homeowners Association, Inc. Owners of the property shown herein, hereby adopt this plan of subdivision, and in consideration of the approval of this Final Plat by the Department of Planning and Zoning, establish the minimum building restriction lines and grant unto Howard County, Maryland, its successors and assigns, (1) The right to lay, construct, and maintain sewers, drains, water pipes, and other municipal utilities and services, in and under all roads and street rights-of-way and the specific easements shown hereon; (2) The right to require dedication for public use the beds of the streets and/or roads, and floodplains and open spaces, where applicable, and for other good and valuable consideration, hereby grant the right and option to Howard County, to acquire the fee simple title to the beds of the streets and/or roads and floodplains, storm drainage facilities, and open spaces, where applicable; (3) The right to require dedication of waterways and drainage easements for the specific purpose of their construction, repair and maintenance; and (4) That no building or similar structure of any kind shall be erected on or over the said easements and rights-of-way.

Witness our hands this 12 day of MAY 2016

Michael D. Martin, Professional Land Surveyor, No. 21234, State of Maryland, Date: 5/12/16

Richard E. & Pauline F. Myrtue, c/o Davis Branch Estates, LLC, Michael Knight, (Member) Davis Branch Estates Homeowner Association, Inc. Date: 5/12/16

**SURVEYOR'S CERTIFICATE**

I hereby certify, to the best of my knowledge, information and belief, that the final plat shown hereon is correct; that it is a Plat of Revision of the land conveyed by Davis Branch Estates LLC, a Maryland limited liability company by deed dated April 1, 2009 and recorded in the land records of Howard County, Maryland, in Liber 14004 at folio 355 and the land conveyed by Richard E. Myrtue and Pauline F. Myrtue by deed dated January 12, 2005 and recorded in the land records of Howard County, Maryland, in Liber 8937 at folio 269 and the land conveyed by Davis Branch Estates, LLC, a Maryland limited liability company by deed dated January 31, 2008 and recorded in the land records of Howard County, Maryland in Liber 11245 at folio 197 and that all monuments are in place or will be in place prior to the acceptance of the streets in the subdivision by Howard County, as shown, in accordance with the Annotated Code of Maryland, as now amended.

I hereby certify that these documents were prepared or approved by me, and I am a duly licensed surveyor under the laws of the State of Maryland, License No. 21234, Expiration Date: January 19, 2017.

Michael D. Martin, Professional Land Surveyor Date: 5-12-16

RECORDED AS PLAT NO. 23866 ON 7/16/16 IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND

PLAT OF REVISION

**MYRTUE PROPERTY**

LOTS 1-31, BUILDABLE PRESERVATION PARCEL A-L, NON-BUILDABLE PRESERVATION PARCELS B-D, F-I, AND NON-BUILDABLE PARCEL L, A REVISION OF MYRTUE PROPERTY

LOTS 1-31, BUILDABLE PRESERVATION PARCEL A-L, NON-BUILDABLE PRESERVATION PARCELS B-D, F-I, NON-BUILDABLE PARCELS E & L, AND RESUBDIVISION OF LOT 1 WALLEY ANN ESTATES, SECTION 2 PLAT NOS. 19961, 19968

TAX MAP 1010 GRID 19, 26 PARCEL 225

3RD ELECTION DISTRICT, HOWARD COUNTY MARYLAND

DECEMBER 14, 2015

GRAPHIC SCALE

100 0 100 200

SCALE 1"=100

SHEET 4 OF 6

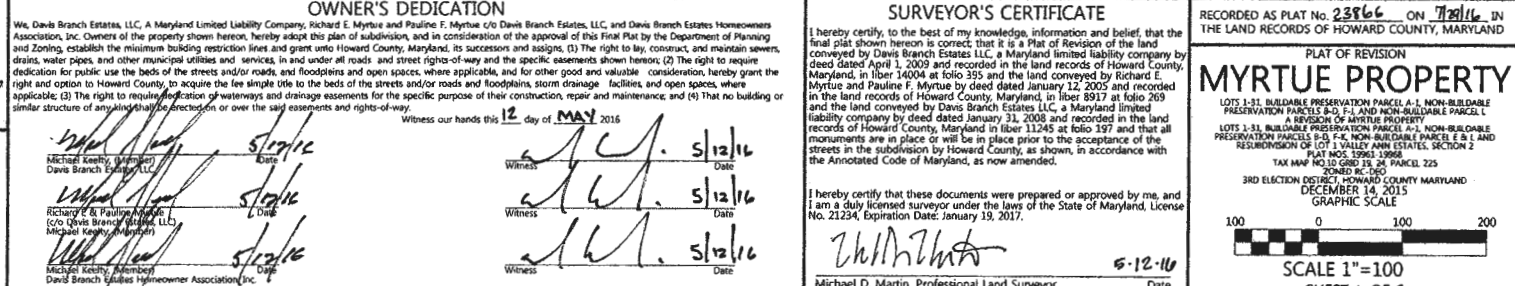
APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

Approved by Monica Roseman 7/15/2016 Date  
Howard County Health Officer

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Approved by [Signature] 6-20-16 Date  
Chief, Development Engineering Division

Approved by [Signature] 7-25-16 Date  
Director



ROBERT A. BERRIN C  
NANCY L. BERRIN  
L. 425 F. 71  
ZONED PC-DED

AREA OF NON-TIDAL WETLAND (PLAT #19964)

AREA OF NON-TIDAL WETLAND (PLAT #19964)

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AREA OF NON-TIDAL WETLAND (PLAT #19964)

STONE MARKED "1800" FOUND & HELD