

The architect shall be responsible for the design and construction of the building. The architect shall be responsible for the design and construction of the building. The architect shall be responsible for the design and construction of the building.

227 GRANITE RUN DRIVE, SUITE 100  
 LANCASTER, PENNSYLVANIA 17601  
 PH: (717) 464-9060 • FAX: (717) 464-9046  
 www.keystonemasonry.com



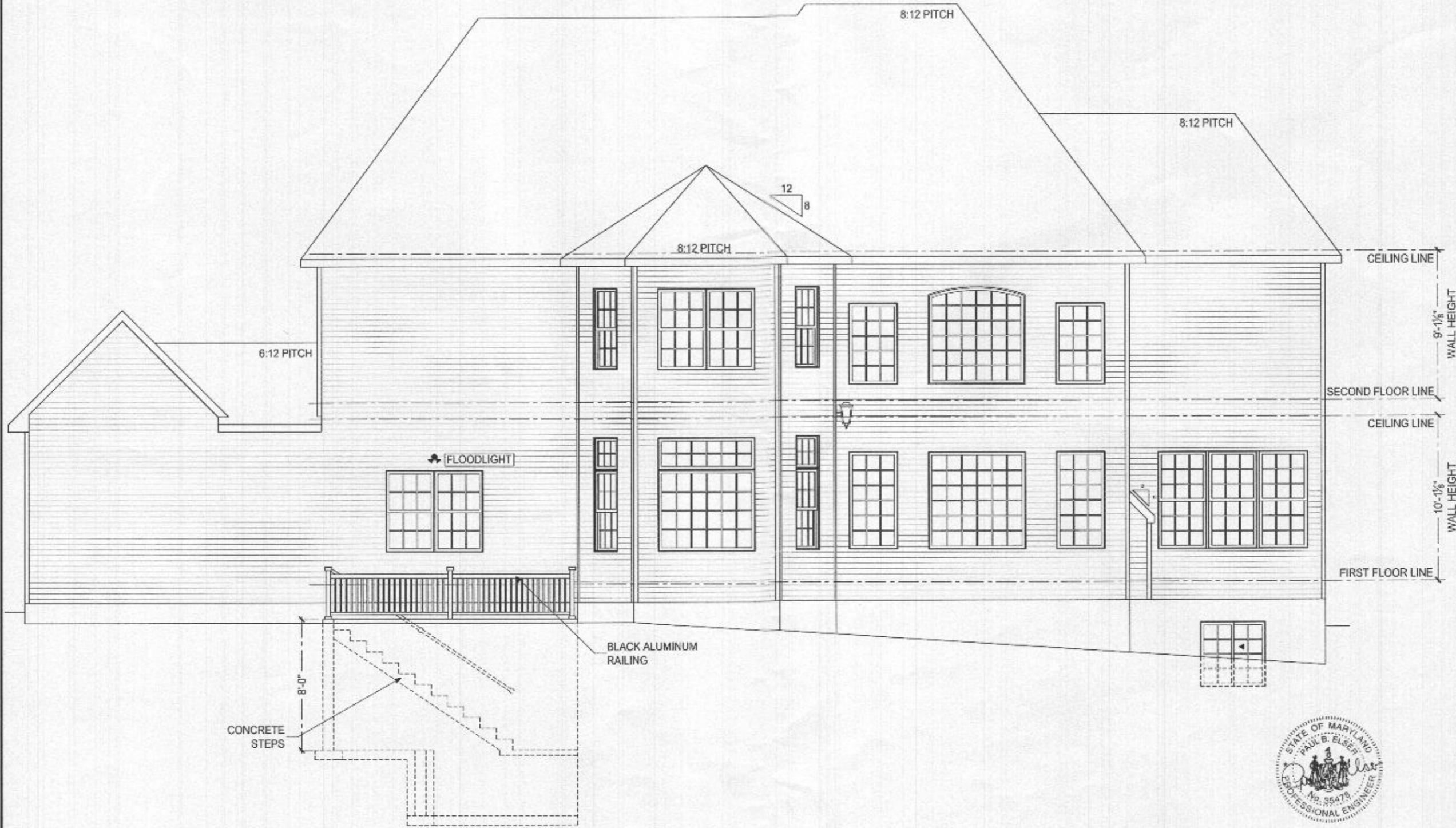
KEYSTONE CUSTOM HOMES, INC.

PROFESSIONAL  
 REAR ELEVATION  
 MODEL  
 MRS017  
 GIRARDI

DATE  
 FEB 11 2020  
 SCALE  
 AS NOTED  
 DRAWN BY  
 M. HERSHEY

REF TO  
 A1.2  
 DATE  
 ADS 20

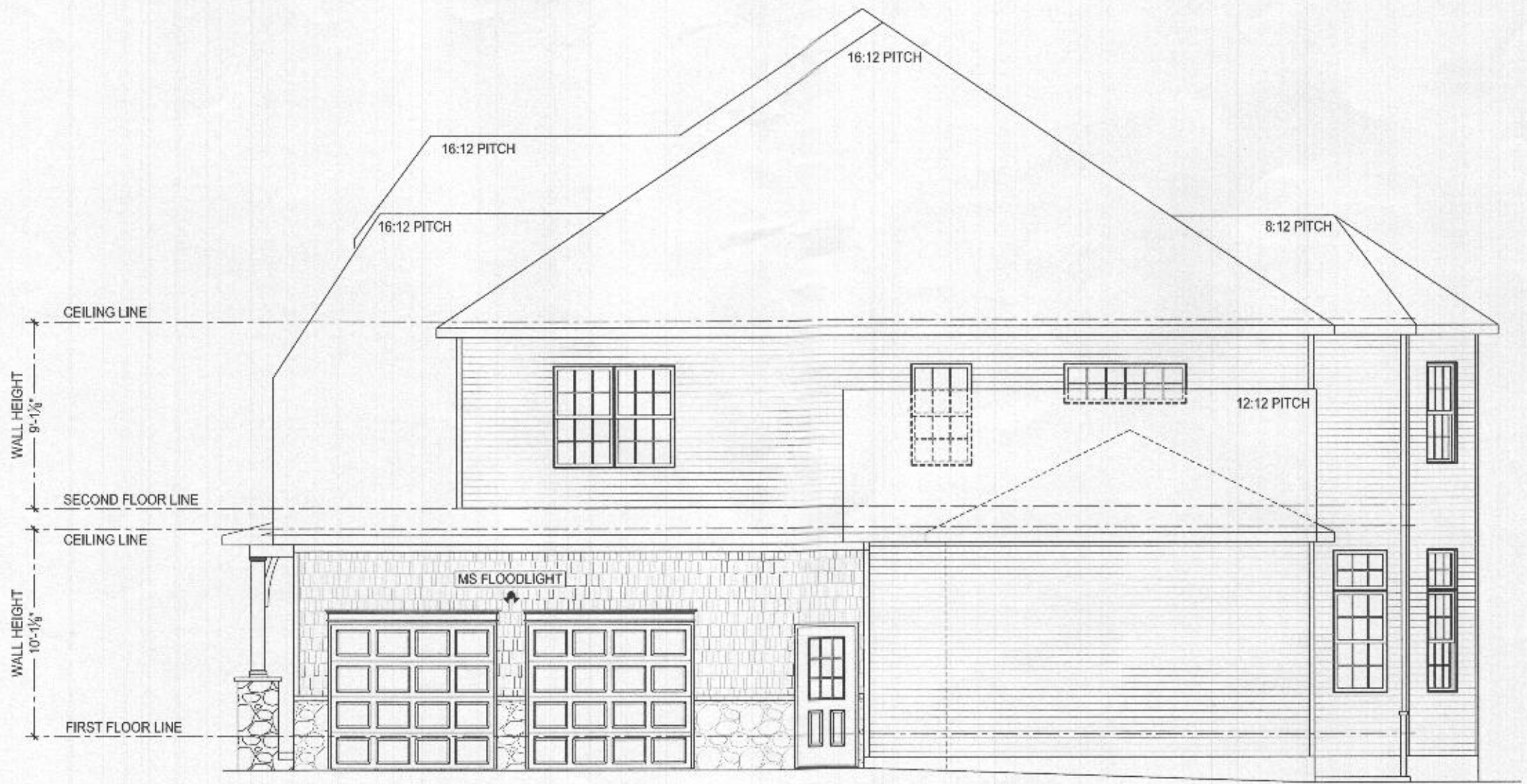
B20001593  
 1904 Davis Branch Rd



REAR ELEVATION  
 SCALE 1/4" = 1'-0"



Professional Engineer, State of Maryland  
 License No. 55479, Expiration Date: 06-15-2025



GARAGE SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



I, the undersigned, hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 35478, Expiration Date: 05-15-2027.

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www.keystonecustomhomes.com



KEYSTONE CUSTOM HOMES, INC.

GARAGE SIDE ELEVATION  
MIRSO17  
GIRARDI

DATE: FEB 11 2020  
SCALE: AS NOTED  
DRAWN BY: MHERSHEY

SCALE: 1/4" = 1'-0"  
A1.3  
PLOT BY: Bds20

*B20001593  
1904 Davis Branch Rd.*

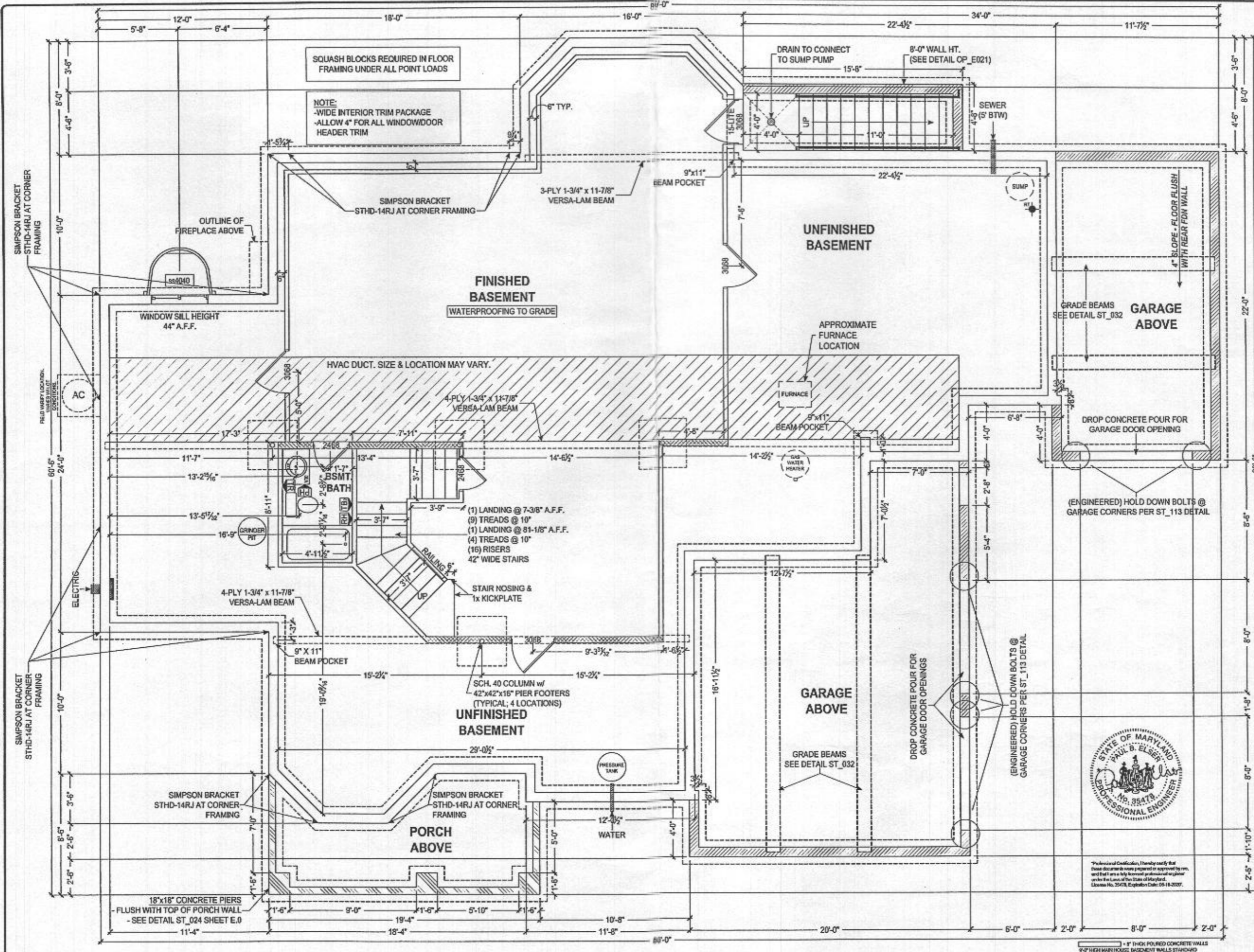
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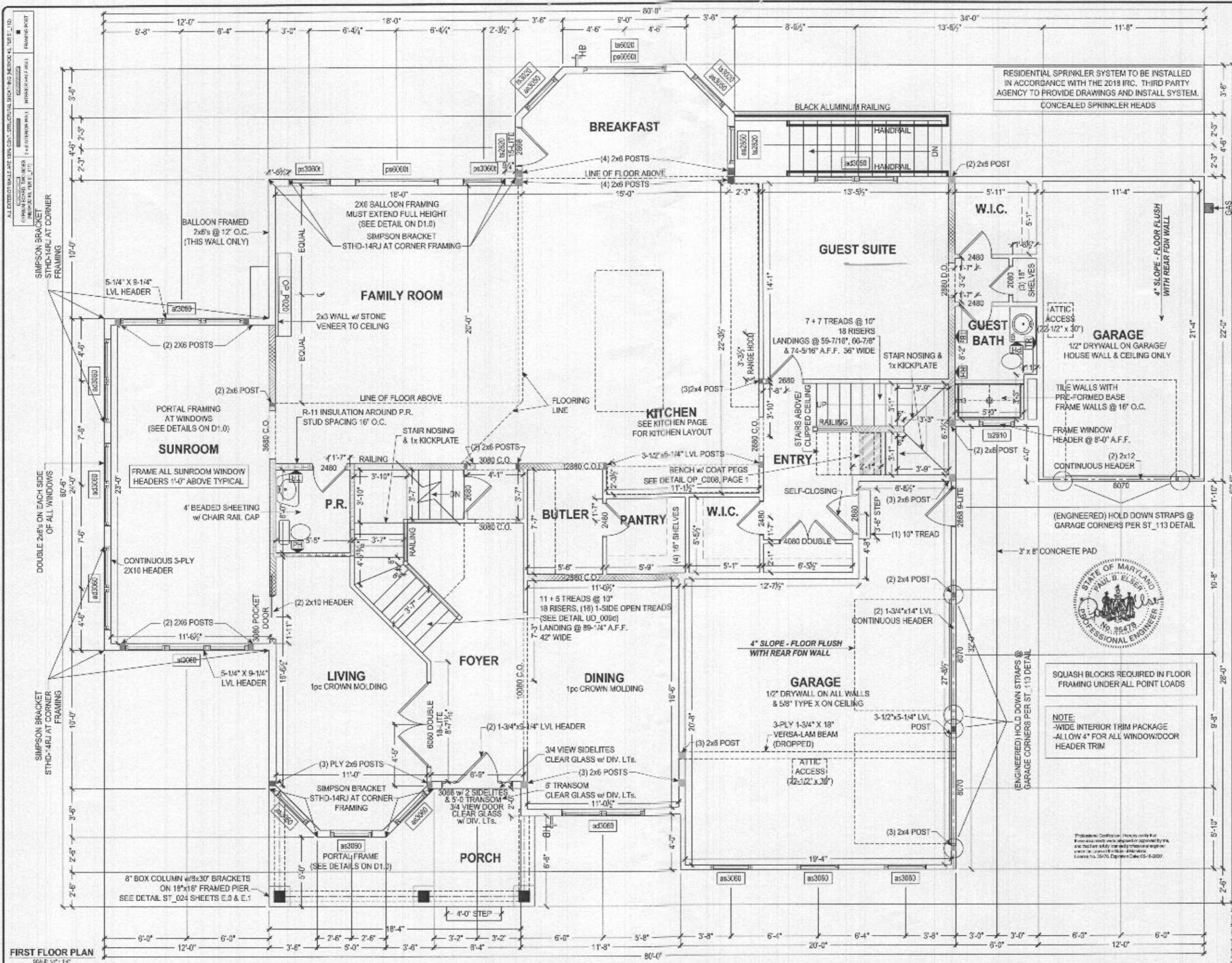
PROJECT DESIGNATION:	FOUNDATION PLAN
DATE:	MAR 017
DESIGNED BY:	GIRARDI
DATE:	FEB 11 2020
SCALE:	AS NOTED
DRAWN BY:	M.HERSHEY
SHEET NO.:	PL 2
PLANTED:	ads20



FOUNDATION PLAN  
 SCALE: 1/4" = 1'-0"

1" THICK POURED CONCRETE WALLS  
 8" THICK MASONRY BLOCKWORK WALLS STANDARDS  
 8" THICK POURED CONCRETE WALLS  
 CHECK P.O.I. FOR WALL HEIGHT OF CRAWL SPACE AND GARAGE WALLS  
 4" THICK POURED CONCRETE WALLS  
 CHECK P.O.I. FOR WALL HEIGHT OF FRONT PORCH WALLS

*R 20001593  
 1904 Davis Branch Rd.*



FIRST FLOOR PLAN  
SEALED 10-1-14

RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2018 IRC. THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM. CONCEALED SPRINKLER HEADS

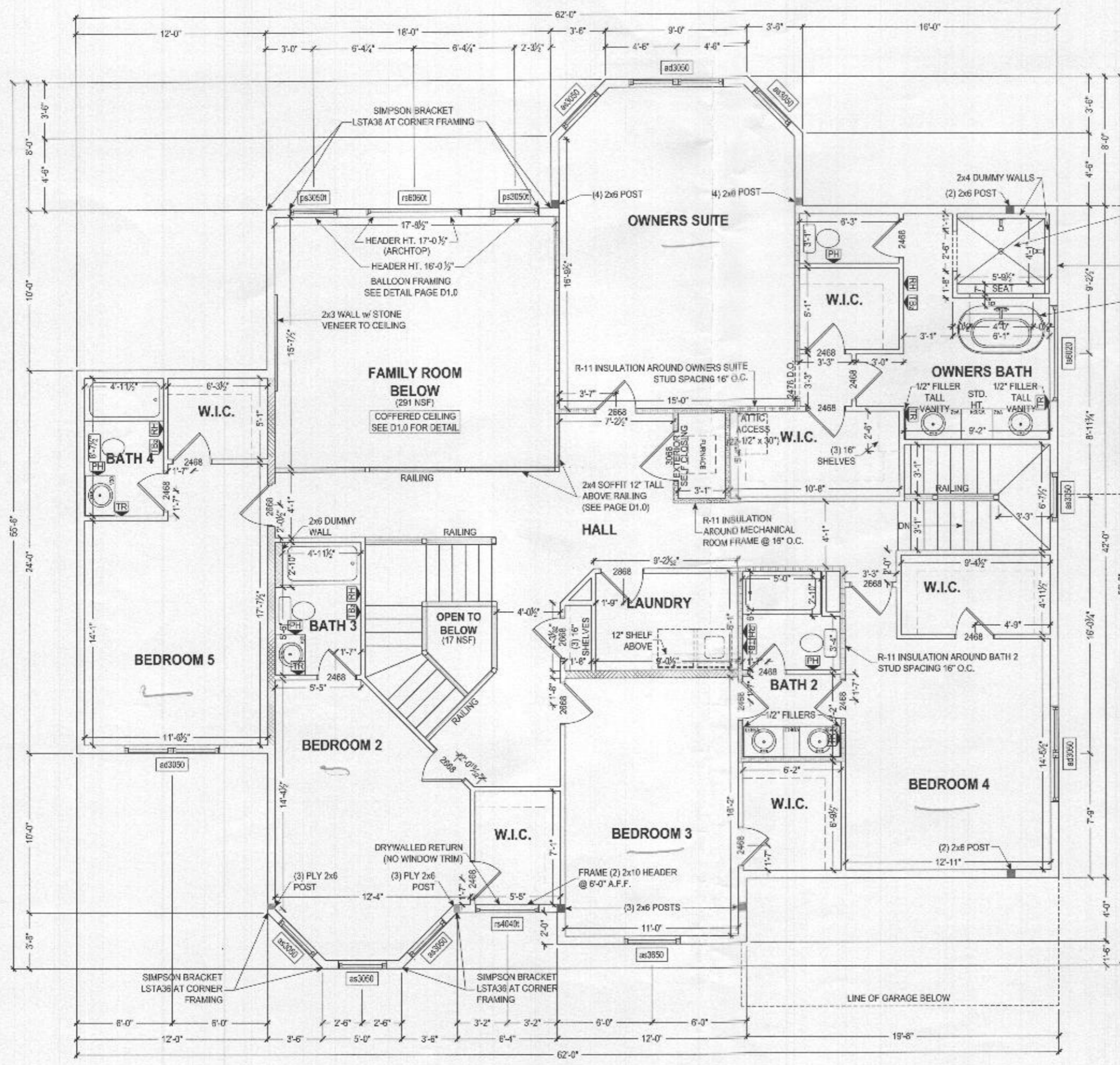
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KEYSTONE CUSTOM HOMES, INC.

PROJECT: FIRST FLOOR PLAN  
MODEL: MR0017  
DESIGNER: GIRARDI  
DATE: FEB 11 2020  
SCALE: AS NOTED  
DRAWN BY: M. HETSHEY  
P.L.O.  
ads 20

*B2000 1593*  
*1904 Davis Branch Rd.*



TILE WALLS WITH TILE BASE SEE DETAIL ST\_006 LAYOUT D

FRAME ALL SHOWER WALLS @ 16" O.C.

FREESTANDING TUB INSTALL PER SPECS

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

NOTE:  
-WIDE INTERIOR TRIM PACKAGE  
-ALLOW 4" FOR ALL WINDOW/DOOR HEADER TRIM



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am duly licensed as a professional engineer under the laws of the State of Maryland. License No. 36478, Exp. Date 04/30/2027

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KEYSTONE CUSTOM HOMES, INC.

PROJECT NO. 200801593  
SECOND FLOOR PLAN  
DATE: FEB 11 2020  
SCALE: AS NOTED  
DRAWN BY: N. HERSHEY  
CHECKED BY: G. GIRARDI

PL.1  
ads 20

B200801593  
1804 Davis Branch Rd.

SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**(M-5) DRY WELL COMPUTATIONS**

Pe: 1.6 inches

Each individual DA is assumed 100% impervious for Rv calculation purposes for sizing.

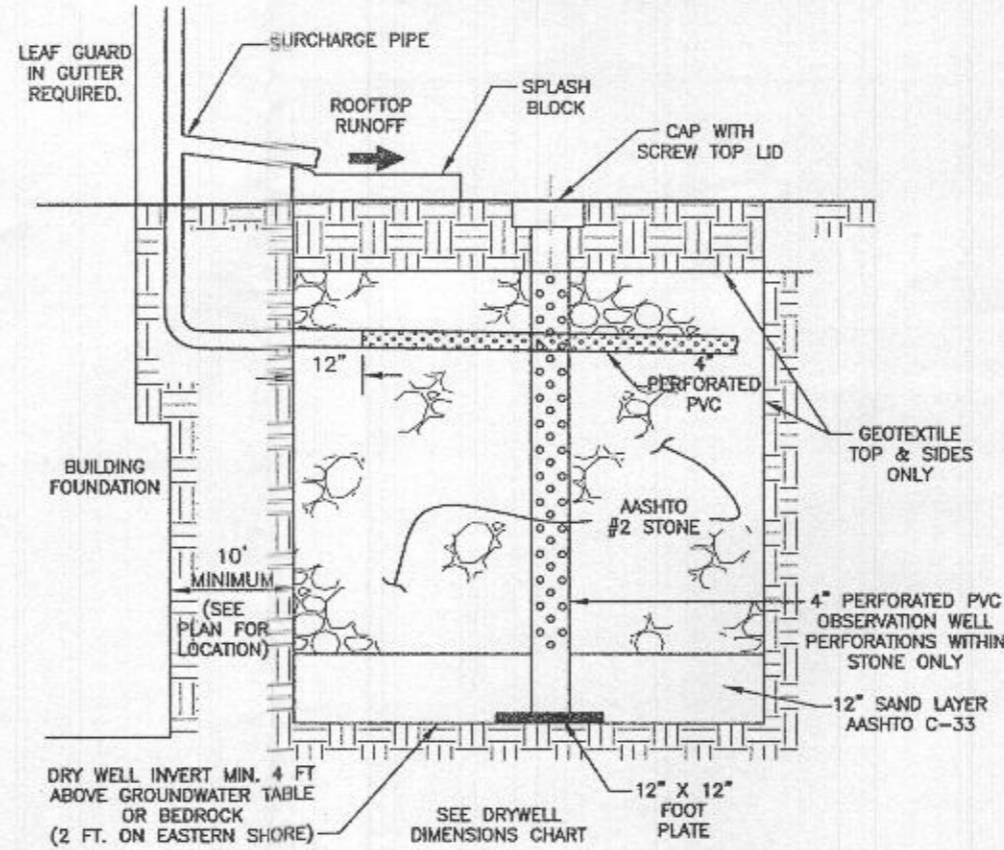
Lot 17

Designation	Drainage Area	Impervious Area	I (%)	Rv	ESDv (cf)	Depth (ft)	Porosity	Length (ft)	Width (ft)	Volume Stored	Pe Treated
DW-1	851	851	100%	0.950	108	5.0	0.40	5	10	100	1.48
DW-2	702	702	100%	0.950	89	5.0	0.40	5	10	100	1.80
DW-3	540	540	100%	0.950	68	5.0	0.40	5	10	100	2.34
DW-4	816	816	100%	0.950	103	5.0	0.40	5	10	100	1.55
DW-5	1014	1014	100%	0.950	128	5.0	0.40	5	10	100	1.25
<b>Totals:</b>					<b>497</b>					<b>500</b>	

Drywell Designation	Length (ft)	Width (ft)	Depth (ft)	Grade	Top of Stone	Bottom of Stone
DW-1	5.00	10.00	5.00	439.2	438.2	433.2
DW-2	5.00	10.00	5.00	438.2	437.2	432.2
DW-3	5.00	10.00	5.00	436.2	435.2	430.2
DW-4	5.00	10.00	5.00	436.2	435.2	430.2
DW-5	5.00	10.00	5.00	438.0	437.0	432.0

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED (M-5) DRY WELLS**

- The monitoring wells and structures shall be inspected on a quarterly basis and after every large storm event.
- Water levels and sediment build up in the monitoring wells shall be recorded over a period of several days to insure trench drainage.
- A log book shall be maintained to determine the rate at which the facility drains
- When the facility becomes clogged so that it does not drain down within the 72 hour time period, corrective action shall be taken.
- The maintenance log book shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
- Once the performance characteristics of the infiltration facility have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.



**DRY WELL DETAIL**  
NOT TO SCALE

(N-2) Disconnection of Non-Rooftop Runoff	
Target PE:	1.6
Total DA:	2218 SF
Impervious:	1279 SF
Area of Filter Strip:	939 SF ok
Rv:	0.57
<b>Pe Reduction for Non-Rooftop Disconnection</b>	
Length of contributing area:	0 feet
Length of impervious area:	12 feet
Length of filter strip:	12 feet
MAX. all imp. treated	1 / 1 Impervious ratio
MAX. all imp. treated	1 / 1 Pervious ratio
<b>Reduction to Target Pe</b>	<b>1.0 inches</b>
<b>Remaining obligation:</b>	<b>0.6 inches</b>
ESDv Required:	168
ESDv Provided:	105

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF ROOFTOP RUNOFF (N-1), DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)**

- A. MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE OWNER SHALL ENSURE THE AREAS RECEIVING RUNOFF ARE PROTECTED FROM FUTURE COMPACTION OR DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2021.



OWNER/BUILDER: KEYSTONE CUSTOM HOMES, INC. 227 GRANITE RUN DR. SUITE 100 LANCASTER, PA 17601 717-464-9060	PROJECT:	MYRTUE PROPERTY LOT 17	
	LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1904 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404	
BENCHMARK ENGINEERS & LAND SURVEYORS & PLANNERS ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE SUITE 315 ELLCOTT CITY, MARYLAND 21043 (P) 410-465-8105 (F) 410-465-8644 WWW.BEI-CVLENGINEERING.COM	TITLE:	BUILDING PERMIT PLAN	
	HOUSE TYPE:	CUSTOM - KEYSTONE HOMES	
	DATE:	MAY, 2020	PROJECT NO. 2099
	SCALE:	AS SHOWN	DRAWING 2 OF 2