

PERMIT NUMBER: B 20001593

DATE ACCEPTED:

RECEIVED

MAY 22 2020

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043

PHONE: (410) 313-2455

www.howardcountymd.gov

LICENSES & PERMITS DIVISION

BUILDING SITE ADDRESS REQUIRED

Street Address: 1904 Davis Branch Road
City: Woodstock
State: MD
Zip Code: 21163
Subdivision/Village/Complex Name: Myrtue Property
SDP/WP/BA #:
Lot: 17
Tax Map: 10, Grid 24
Parcel: 225
Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant improved lot
Proposed Use: SFD
Estimated Cost: \$512,400.00
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None

Residential New Single Family Dwelling (Detached)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Sonshine MD, LP
Primary Residence: Yes No
Owner's Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 464-9060
Email: billb@keystonecustomhome.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Keystone Custom Homes
Contact Name: Gregg Reinsmith
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 719-1362
Email: greinsmith@keystonecustomhome.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Keystone Custom Homes
Licensee's Name:
License #: MHBR# 2937 (exp 12/01/2021)
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 719-1362
Email: greinsmith@keystonecustomhome.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Paul B. Elser, P.E.
Name: Paul Elser
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 719-1370
Email: pelser@keystonecustomhome.com

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF\*) Condo: Yes No
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Devonshire Heritage
# of Bedrooms (SF): 6 # of efficiency units (MF\*): # of 1 BR (MF\*): # of 2 BR (MF\*): # of 3 BR (MF\*):
# Rooms: 25 # Full Baths: 6 # Half Baths: 1 # Fireplaces: 1
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 80 1st Fl Depth: 61 2nd Fl Width: 62 2nd Fl Depth: 56 Bsmt Width: 80 Bsmt Depth: 61
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 8,327 sq ft Occupiable Area: 8,194 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Gregg Reinsmith
APPLICANT'S ORIGINAL SIGNATURE

5/21/2020
DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

PR DPZ DED Health SHA
7/14/20 [Signature]

SUBMITTAL FEES: 150- PAYMENT: 1405 KEYSTONE ACCEPTED BY: [Signature]



## Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

[www.hchealth.org](http://www.hchealth.org)

Facebook: [www.facebook.com/hocohealth](https://www.facebook.com/hocohealth)

Twitter: HowardCoHealthDep

**Maura J. Rossman, M.D., Health Officer**

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### MEMORANDUM

TO: Gregg Reinsmith, Keystone Custom Homes

FROM: Robert Bricker, REHS/RS, L.E.H.S.

RE: 1904 Davis Branch Road, Potential Basement Bedroom

DATE: June 8 , 2020

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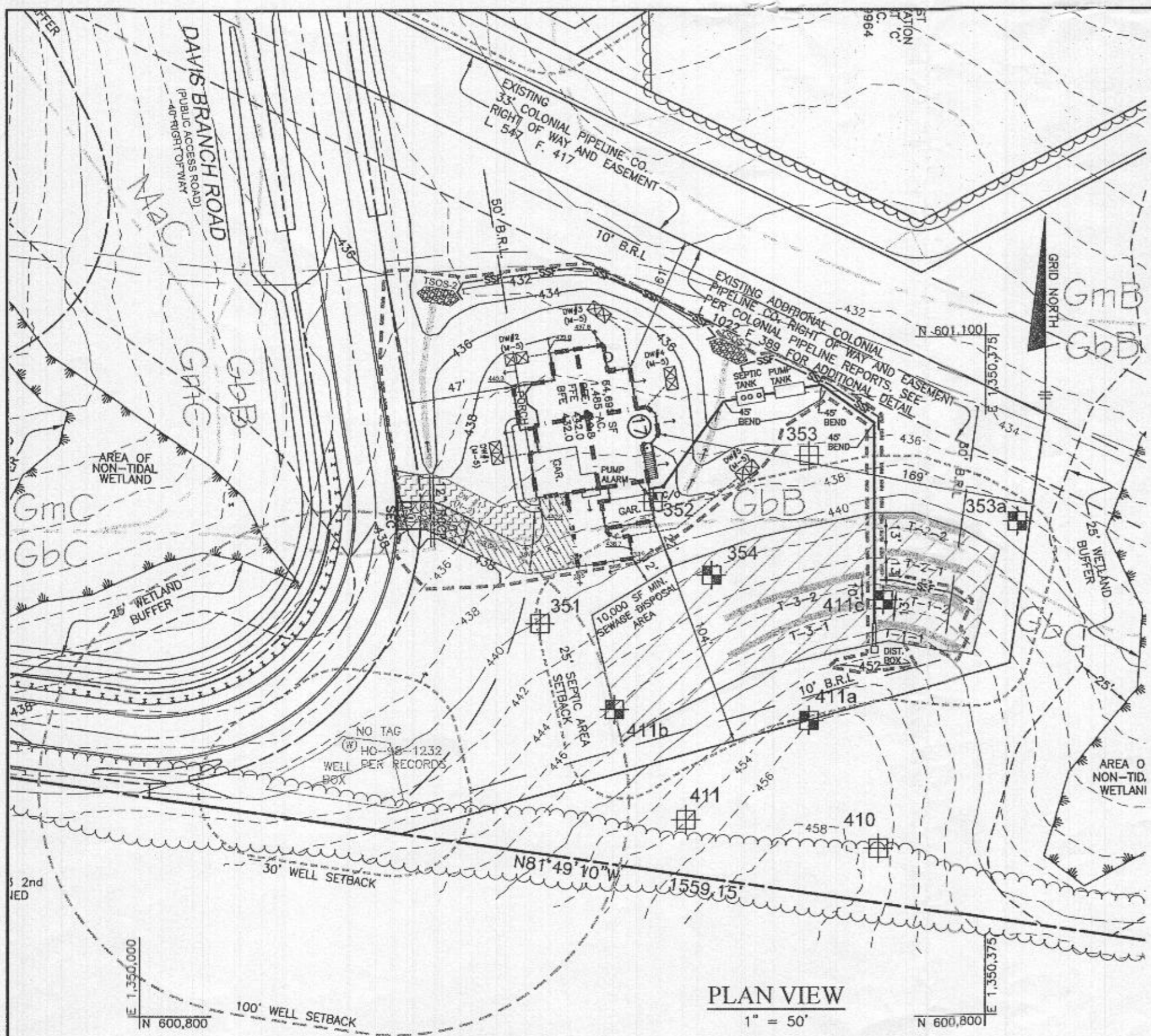
I have reviewed Building Permit Application **B20001093** for a new home at 1904 Davis Branch Road (Myrtue Property, Lot 4) and noted that there is a finished full bathroom proposed in the partly-finished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms should finished or unfinished space in the basement be modified or reconfigured.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned are of a dwelling unit or accessory structure that:
  - (i) Is 90 square feet or greater in size;
  - (ii) May be used as a private sleeping area; and
  - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
  - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
  - (ii) A minimum 4 foot-wide opening, without doors, into another room;
  - (iii) A half wall (4 foot maximum height) between the room and another room; or
  - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing six (6)-bedroom design to accommodate a future finished basement. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.



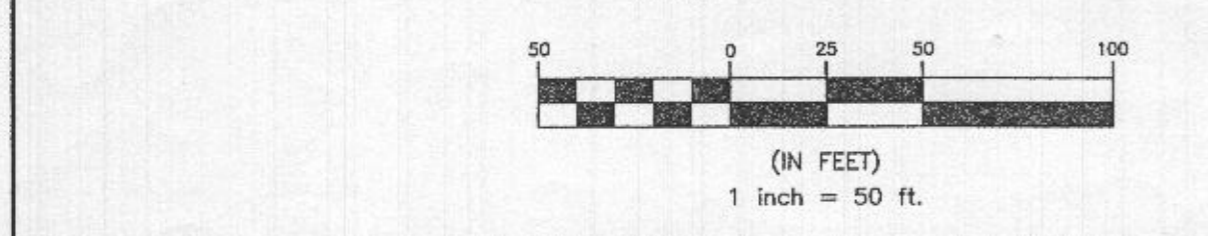


LEGEND	
	PROPOSED CONTOURS
	EXISTING CONTOURS
	EXISTING PRIVATE SEWAGE AREA
	PROPOSED PRIVATE SEWAGE DISPOSAL AREA
	EXISTING WELL BOX
	PROPOSED TREELINE
	EXISTING TREELINE
	SOILS MAP SYMBOL
	SOILS DELINEATION LINE
	PERC TEST PASSED
	PERC TEST FAILED
	SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	STABILIZED CONSTRUCTION ENTRANCE
	TEMPORARY EROSION CONTROL MATTING
	TEMPORARY STONE OUTLET STRUCTURE

- ### GENERAL NOTES
1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR THE MYRTUE PROPERTY, PLAT No. 23865. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
  2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER GP-20-45.
  3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS F-06-104, PREPARED BY DAFT, McCUNE WALKER, INC. SEPT. 2007 AND REVISED BY BENCHMARK ENGINEERING, INC., DEC. 2015.
  4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
  5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
  6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-98-1232, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
  7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
  8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
  9. STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY ONE DRY-WELLS (MDE M-5) ND NON-ROOFTOP DISCONNECTIONS (MDE N-2).
  10. RAINWATER SHALL BE CONVEYED TO THE DRY-WELLS WITH 4" OR 6" ROOF LEADERS, AS SHOWN.

Approved Septic System Plan  
 Howard County Health Department  
 6-Bedroom SFD  
 w/ bath in partly-finished basement  
 A. Walker 7/14/20  
 Signature Date  
 B2000 1593

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 28376, Expiration Date: 01-01-2021.



PLAN VIEW  
 1" = 50'

OWNER/BUILDER:  
 KEYSTONE CUSTOM HOMES, INC.  
 227 GRANITE RUN DR.  
 SUITE 100  
 LANCASTER, PA 17601  
 717-464-9060

**BENCHMARK**  
 ENGINEERS • LAND SURVEYORS • PLANNERS  
**ENGINEERING, INC.**  
 8480 BALTIMORE NATIONAL PIKE & SUITE 315  
 ELLICOTT CITY, MARYLAND 21043  
 (P) 410-465-6105 (F) 410-465-6644  
 WWW.BEI-CIVILENGINEERING.COM

PROJECT:	MYRTUE PROPERTY LOT 17	
LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1904 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404	
TITLE:	BUILDING PERMIT PLAN	
HOUSE TYPE:	CUSTOM - KEYSTONE HOMES	
DATE:	MAY, 2020	PROJECT NO. 2099
SCALE:	AS SHOWN	DRAWING 1 OF 2

The information on this drawing is the property of Keystone Custom Homes, Inc. and is not to be used for any other purpose without the express written consent of Keystone Custom Homes, Inc. This drawing is the property of Keystone Custom Homes, Inc. and is not to be used for any other purpose without the express written consent of Keystone Custom Homes, Inc. This drawing is the property of Keystone Custom Homes, Inc. and is not to be used for any other purpose without the express written consent of Keystone Custom Homes, Inc.

227 GRANITE RUN DRIVE, SUITE 100  
 LANCASTER, PENNSYLVANIA 17601  
 PH: (717) 464-9060 • FAX: (717) 464-9046  
 www.keystonecustomhomes.com

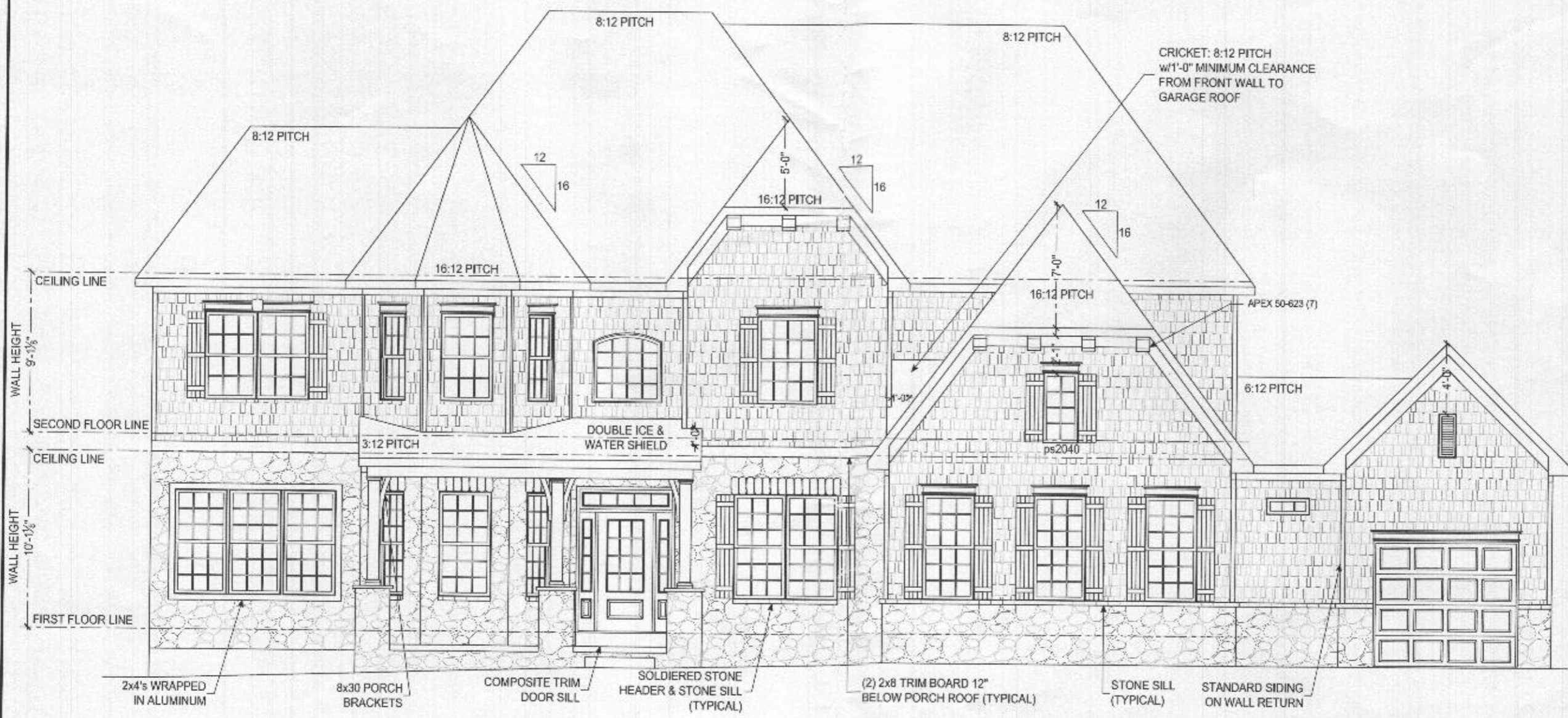


KEYSTONE CUSTOM HOMES, INC.



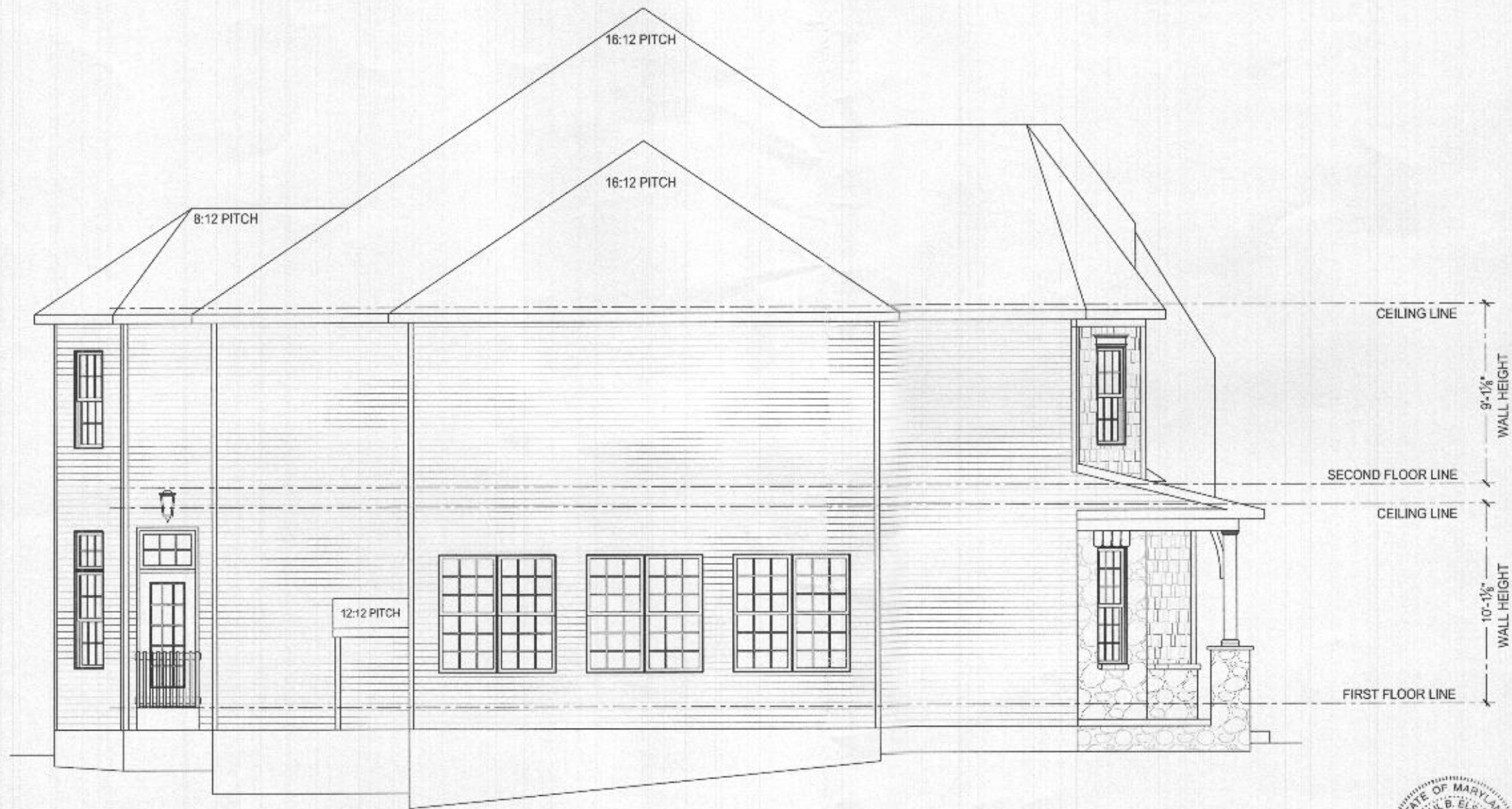
Professional Certificate: Twenty (20) Years  
 These documents were prepared by me or under my direct supervision and I am a duly licensed professional engineer under the laws of the State of Maryland License No. 95478, Expiration Date: 05-15-2027.

DESIGNER:	FRONT ELEVATION
DATE:	MR4017
DRAWN BY:	GIRARDI
DATE:	FEB 11 2003
SCALE:	AS NOTED
PROJECT NO.:	N.HERSHEY
DATE:	AL0
PROJECT NO.:	ads 20



FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"

1904 DAVIS BRANCH RD.  
 20001593



LIVING SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



Professional Engineer - Maryland  
 Paul B. Elser  
 No. 35478  
 License No. 35478, Expiration Date: 08-16-2017

The user of these drawings, and copies of them, is responsible for the accuracy of the information provided. The user is advised to verify the information provided in this drawing with the appropriate authorities. The user is advised to verify the information provided in this drawing with the appropriate authorities. The user is advised to verify the information provided in this drawing with the appropriate authorities.

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 www.keystonecustomhomes.com



KEYSTONE CUSTOM HOMES, INC.

DATE: FEB 11 2020  
 SCALE: AS NOTED  
 DRAWN BY: M. HERSHEY  
 CHECKED BY: A.L.J.  
 ADS 20

B-20001593  
 1904 Davis Branch Rd.