

PERMIT NUMBER: B 20002350

DATE ACCEPTED:

JUL 20 2020

LICENSES & PERMITS

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 1930 Davis Branch Road
City: Woodstock
State: MD
Subdivision/Village/Complex Name: Myrtue Property
Parcel: 225
Grading Permit #: SUBMITTED 7/20/2020

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant improved lot
Proposed Use: SFD
Estimated Cost: \$373,800.00
Trade Work to Be Completed: Mechanical (HVACR), Electrical, Plumbing

(2-STORY SFD PER PLANS)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): Sonshine MD, LP
Owner's Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Phone: (717) 464-9060
Email: billb@keystonecustomhome.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Keystone Custom Homes
Contact Name: Gregg Reinsmith
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Phone: (717) 719-1362
Email: greinsmith@keystonecustomhome.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Keystone Custom Homes
Licensee's Name:
License #: MHBR# 2937 (exp 12/01/2021)
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Phone: (717) 719-1362
Email: greinsmith@keystonecustomhome.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Paul B. Elser, P.E.
Name: Paul Elser
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Phone: (717) 719-1370
Email: pels@keystonecustomhome.com

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling
Utilities: Electric, Gas
Water Supply: Private (Well)
Sewage Disposal: Private (Septic)
Heating System: Propane
Roadside Tree Project: No
Sprinkler System: NFPA 13D
Fire Alarm System: Yes

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Hawthorne Manor
# of Bedrooms (SF): 5
# of efficiency units (MF\*):
# of 1 BR (MF\*):
# of 2 BR (MF\*):
# of 3 BR (MF\*):
# Rooms: 19
# Full Baths: 3
# Half Baths: 1
# Fireplaces: 1
Garage/Carport Info: Attached Garage
Basement/Foundation Info: Finished Basement: Full
1st Fl Width: 50
1st Fl Depth: 61
2nd Fl Width: 50
2nd Fl Depth: 47
Bsmt Width: 50
Bsmt Depth: 61
Energy Method: Prescriptive
Gross Area: 6,100 sq ft
Occupiable Area: 5,968 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES:

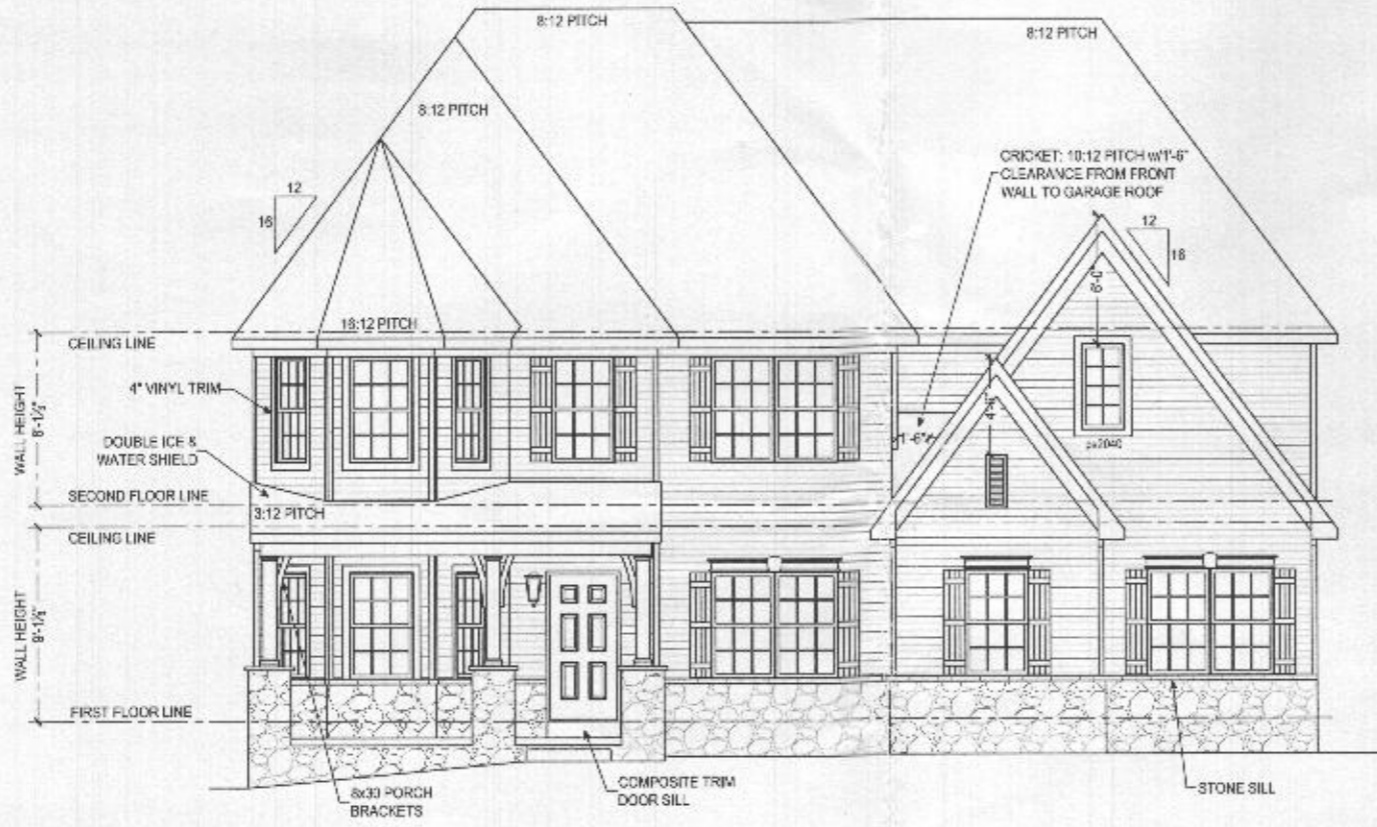
Gregg Reinsmith
APPLICANT'S ORIGINAL SIGNATURE

7/8/2020
DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR, DPZ, DED, Health, SHA, CID
SUBMITTAL FEES: \$150.00
PAYMENT: 1663 - CK
ACCEPTED BY: MAIL



FRONT ELEVATION  
SCALE 3/8" = 1'-0"

OK  
5-bedroom  
including one  
in part-finished  
basement



Professional Certification: I hereby certify that  
these documents were prepared by me or under my  
supervision and I am a duly licensed professional engineer  
in the State of Maryland.  
PAUL B. ELSE  
No. 95478  
PROFESSIONAL ENGINEER  
EXPIRES 12/31/21. Expiration Date: 05-18-2027

The architect or design professional shall be responsible for the accuracy of the information provided, with the exception of the information provided by the client. The architect or design professional shall not be responsible for the accuracy of the information provided by the client. The architect or design professional shall not be responsible for the accuracy of the information provided by the client.

227 GRANITE RUN DRIVE, SUITE 100  
LANCASTER, PENNSYLVANIA 17601  
PH: (717) 464-9060 • FAX: (717) 464-9046  
www.keystonecustomhomes.com



KEYSTONE CUSTOM HOMES, INC.

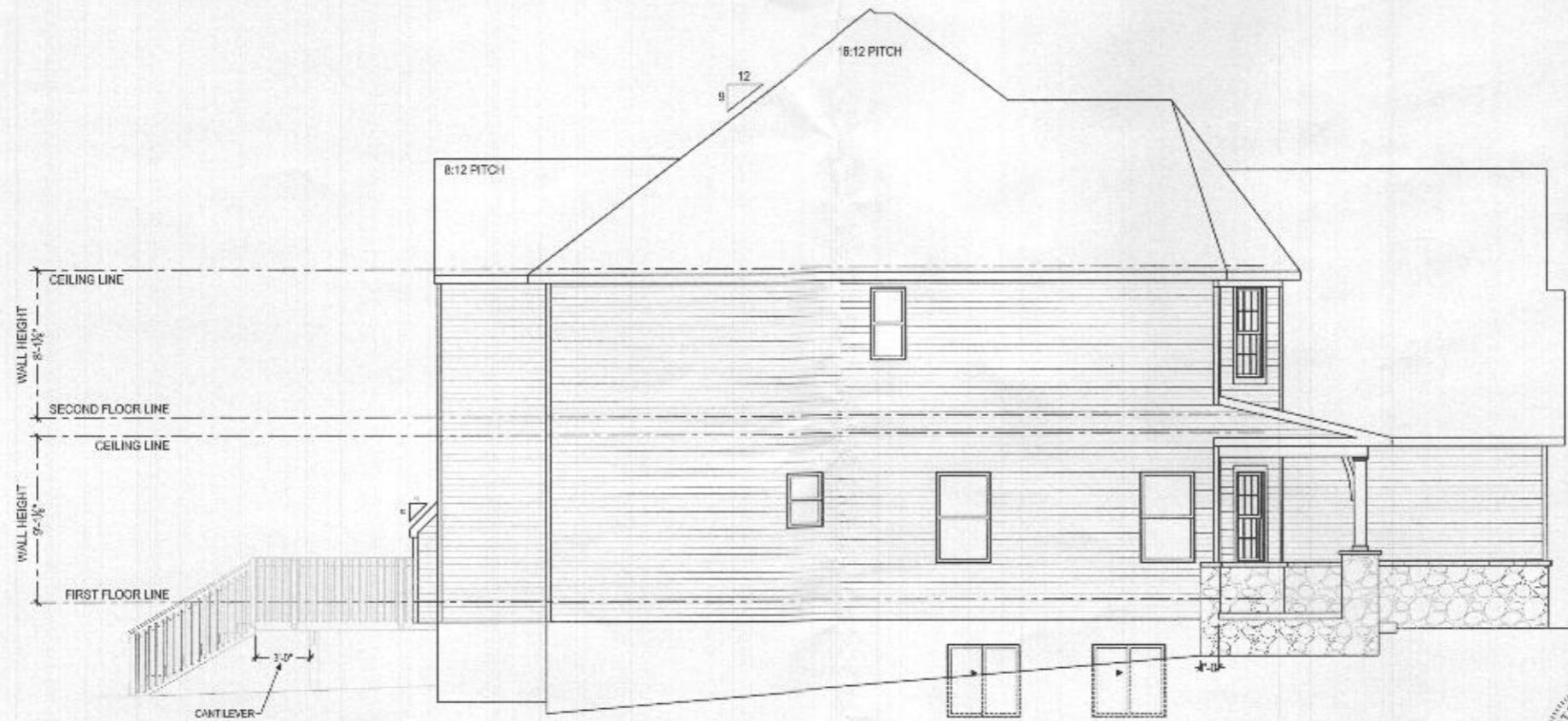
FRONT ELEVATION  
MRS. J29  
KNELLER

DATE: APRIL 13 2020  
SCALE: AS NOTED  
DRAWN BY: M. HERSHEY  
SHEET NO. A10  
JOB NO. ahw 10

B20002350

MYRTUE PROPERTY - LOT 29  
DAVIS BRANCH ROAD

HEALTH DEPT



LIVING SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



Professional Engineer, State of Maryland  
Paul B. Elser, License No. 35478  
Professional Engineer

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KEYSTONE CUSTOM HOMES, INC.

LIVING SIDE ELEVATION  
MODEL: MRs029  
K.NILLER

DATE: APRIL 13 2023  
SCALE: AS NOTED  
DRAWN BY: MHERSHEY

SHEET NO: A1.1  
PAGE: ahw 10



REAR ELEVATION  
SCALE 1/8" = 1'-0"



Professional Certificate, I hereby certify the  
 drawings are in conformity with the  
 and that I am a duly licensed professional engineer  
 License No. 35478, Expiration Date: 06-15-2027.

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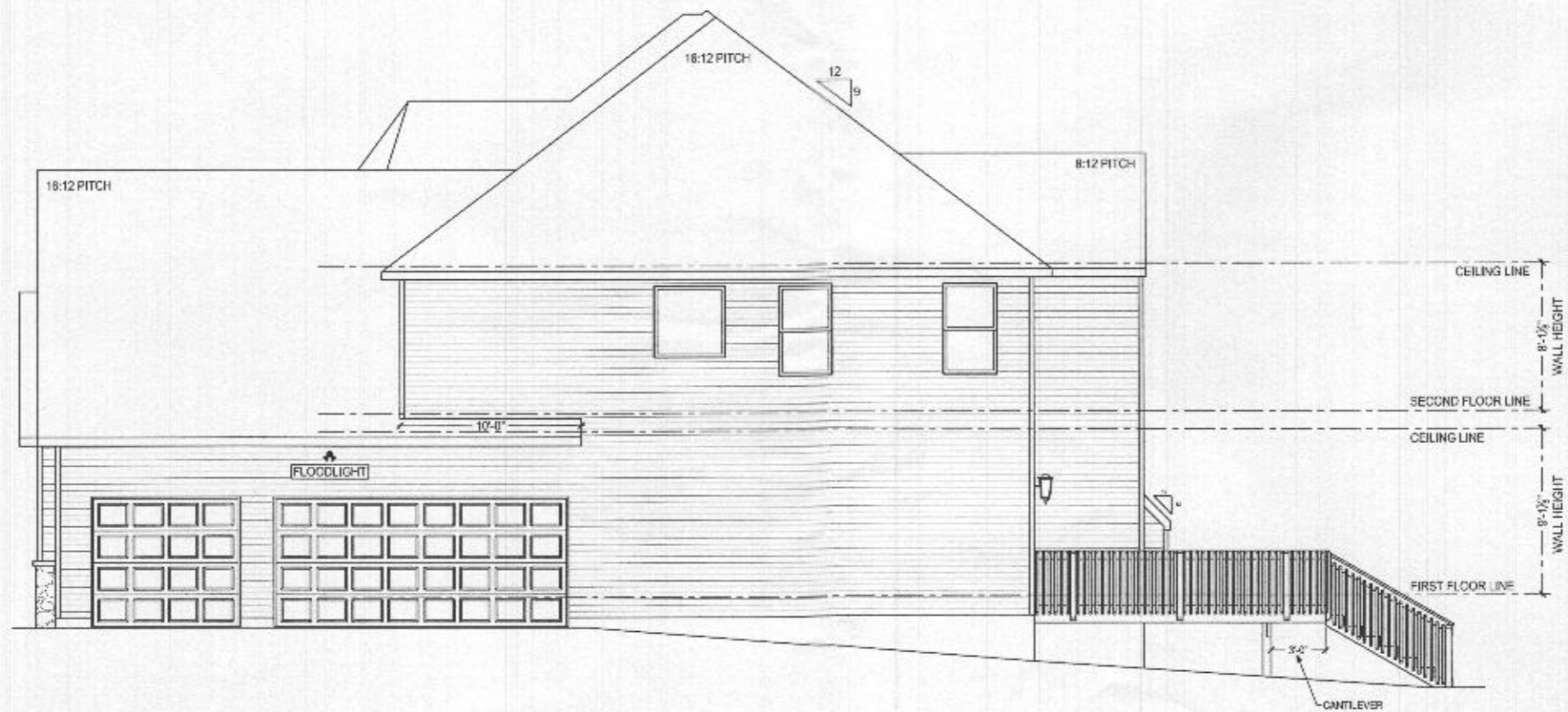


KEYSTONE CUSTOM HOMES, INC.

REAR ELEVATION  
 SCALE: MRS029  
 KNELLER

DATE: APRIL 13, 2020  
 AS NOTED  
 DRAWN BY: MHERSHEY

SHEET NO.  
 A1.2  
 OF 10  
 ahw 10



GARAGE SIDE ELEVATION  
SCALE 3/8" = 1'-0"



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KEYSTONE CUSTOM HOMES, INC.

PROJECT: GARAGE SIDE ELEVATION  
MODEL: MR3029  
KNELLER

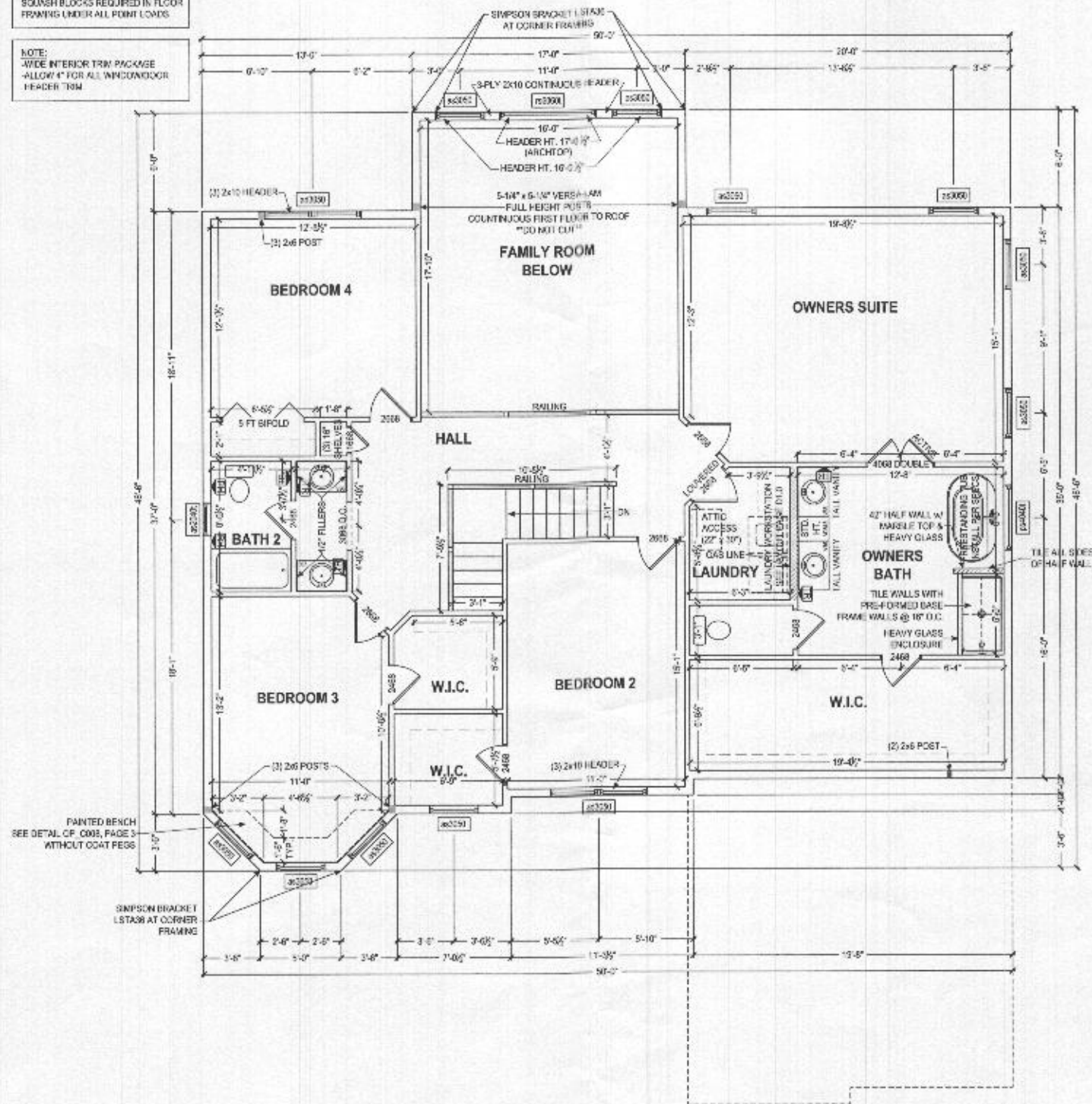
DATE: APRIL 13 2020  
SCALE: AS NOTED  
DRAWN BY: M. HERSHEY

SHEET NO.  
AL3  
PAGE 10



SOUND BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

NOTE:  
WIDE INTERIOR TRIM PACKAGE  
ALLOW 4" FOR ALL WINDOW/DOOR  
HEADER TRIM



OK  
MB 7/28/2020



Professional Certification, Pennsylvania State Board of Professional Engineers, License No. 25476, Expiration Date: 05-18-2027

SECOND FLOOR PLAN  
SOM P-512' x 110'

These drawings were prepared by the architect and are not to be used for any other purpose without the written consent of the architect. The architect is not responsible for any errors or omissions in these drawings. The architect is not responsible for any construction methods or materials used in the construction of the project. The architect is not responsible for any construction methods or materials used in the construction of the project.

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KEYSTONE CUSTOM HOMES, INC.

PROJECT NO.	SECOND FLOOR PLAN
DATE	APRIL 13 2020
SCALE	AS NOTED
DRAWN BY	M.HERSHEY
CHECKED BY	PL1
DATE	ahw 10

Professional design drawings are prepared for the use of the client. The client is responsible for obtaining all necessary permits and approvals. The client is also responsible for providing all necessary information and materials. The client is also responsible for providing all necessary information and materials. The client is also responsible for providing all necessary information and materials.

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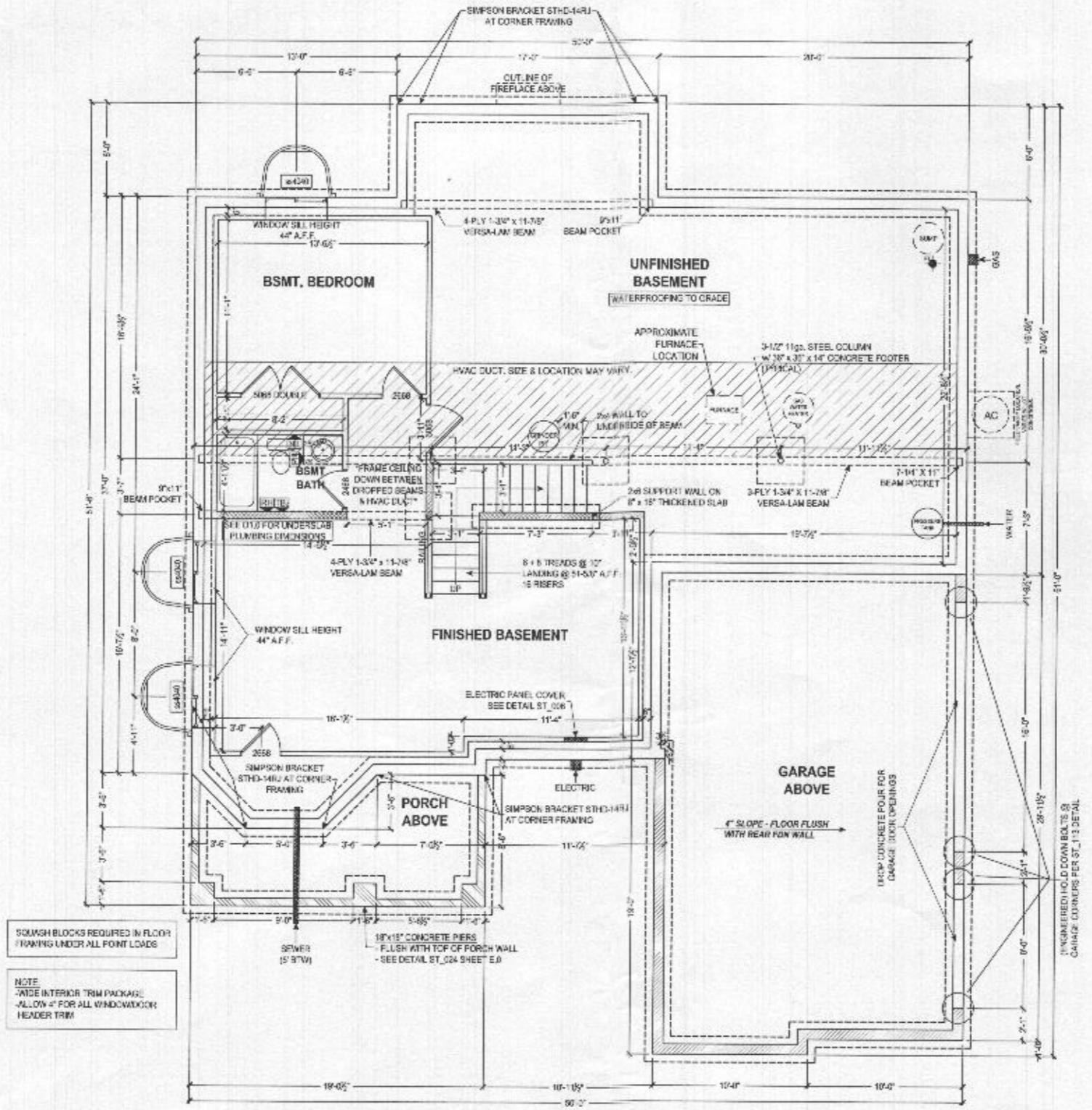


KEYSTONE CUSTOM HOMES, INC.

*OK MB 7/29/20*



Professional of Civil/Structural Engineer certifies that these documents were prepared or approved by him, and that he is a duly licensed professional engineer under the laws of the State of Maryland. License No. 35479, Expiration Date: 06-15-2027.



SOAKAWAY BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

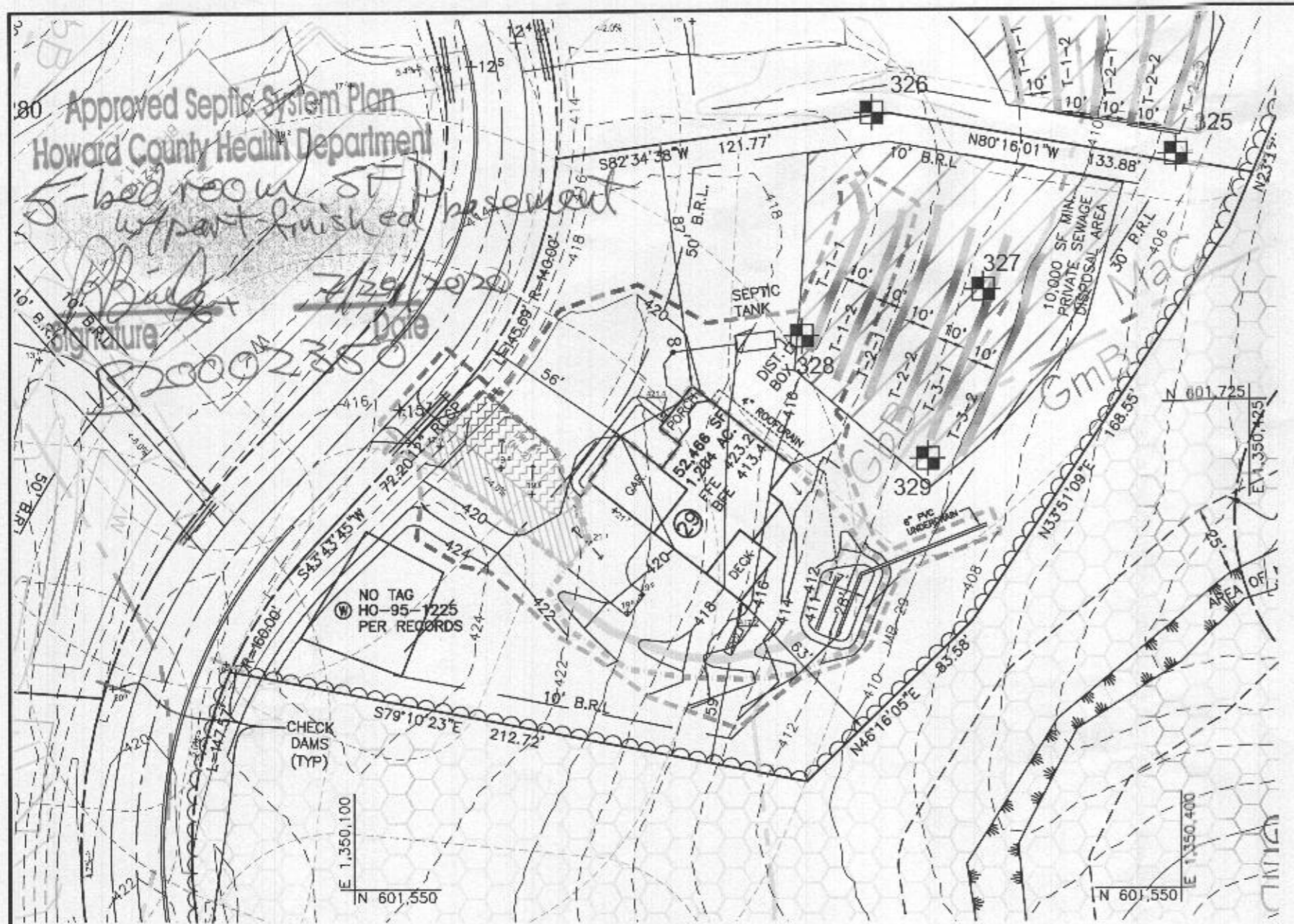
NOTE  
-WIDE INTERIOR TRIM PACKAGE -ALLOW 2" FOR ALL WINDOW/DOOR HEADER TRIM

FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"

NOTE TO REAR/FRONT: LOCATING DIMENSIONS FOR TRAC, CEILING, AND OTHER MECHANICAL ITEMS WILL BE USED IF POSSIBLE. ACTUAL PLACEMENT OF FURNACE, WATER HEATER, SUMP PUMP, ETC. MAY VARY DUE TO INDIVIDUAL SITE REQUIREMENTS.

8" THICK POURED CONCRETE WALLS  
4" THICK POURED CONCRETE WALLS  
6" THICK POURED CONCRETE WALLS  
CHECK P.D. FOR WALL HEIGHT OF DRIFT SPACE AND GARAGE WALLS  
CHECK P.D. FOR WALL HEIGHT OF FRONT PORCH WALLS

FOUNDATION PLAN  
DATE: MRS029  
DRAWN BY: KNELLER  
APR 13 2020  
AS NOTED  
DRAWN BY: MHERSHEY  
P1.2  
a/hw 10



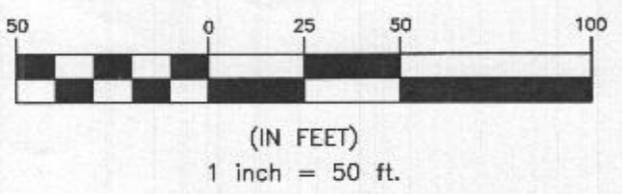
**PLAN VIEW**  
1" = 50'

**ESD STORMWATER MANAGEMENT SUMMARY TABLE**

Pe=	1.80	inches	Qe=	0.18	inches	ESDv=	491	cf	Rv=	0.38		
Practice	#	DA to practice	Imp Area to practice	Af (s.f.)			ESDv			Rev (AC)		Ownership
(M-6) Micro-Bioretentation	#29	8,225	3,182	Required	Provided	2% DA?	Required	Provided	Pe Provided	Required	Provided	Private
				165	401	PASS	368	570	2.6	122.81	126.98	
Depth of Stone:											9.5 inches	
Driveway Disconnection:		847 s.f.		Treated Rainfall:		1.0 inch		Converted to Volume:		70.6 c.f.		

**BUILDER'S DATA**

FINISHED FLOOR:	423.2
BASEMENT FLOOR:	413.4
TOP OF WALL:	422.0
BASEMENT SUBGRADE:	412.4
GARAGE FLOOR:	422.0
GARAGE LIP:	421.7



**OWNER/BUILDER:**  
KEYSTONE CUSTOM HOMES, INC.  
227 GRANITE RUN DR.  
SUITE 100  
LANCASTER, PA 17601  
717-464-9060

**BENCHMARK**  
ENGINEERS • LAND SURVEYORS • PLANNERS  
**ENGINEERING, INC.**  
8480 BALTIMORE NATIONAL PIKE • SUITE 315  
ELLCOTT CITY, MARYLAND 21043  
(P) 410-485-6105 • (F) 410-485-6644  
WWW.BEI-CIVILENGINEERING.COM

**GENERAL NOTES**

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR THE MYRTUE PROPERTY, PLAT No. 23865. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER GP-20-98.
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS F-06-104, PREPARED BY DAFT, McCUNE WALKER, INC. SEPT. 2007.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-95-1225, WAS FIELD LOCATED BY DMW, AND IS BELIEVED TO BE ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY ONE MICRO-BIORETENTION (MDE M-6) AND NON-ROOFTOP DISCONNECTIONS (MDE N-2).
10. RAINWATER SHALL BE CONVEYED TO THE SWM FACILITY WITH 4" OR 6" ROOF LEADERS OR SWALES, AS SHOWN.

**LEGEND**

- 400 PROPOSED CONTOURS
- 398 EXISTING CONTOURS
- 400 EXISTING CONTOURS
- EXISTING PRIVATE SEWAGE DISPOSAL AREA
- EXISTING WELL BOX
- PROPOSED TREELINE
- EXISTING TREELINE
- SOILS MAP SYMBOL
- SOILS DELINEATION LINE
- PERC TEST PASSED
- PERC TEST FAILED

Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2021.

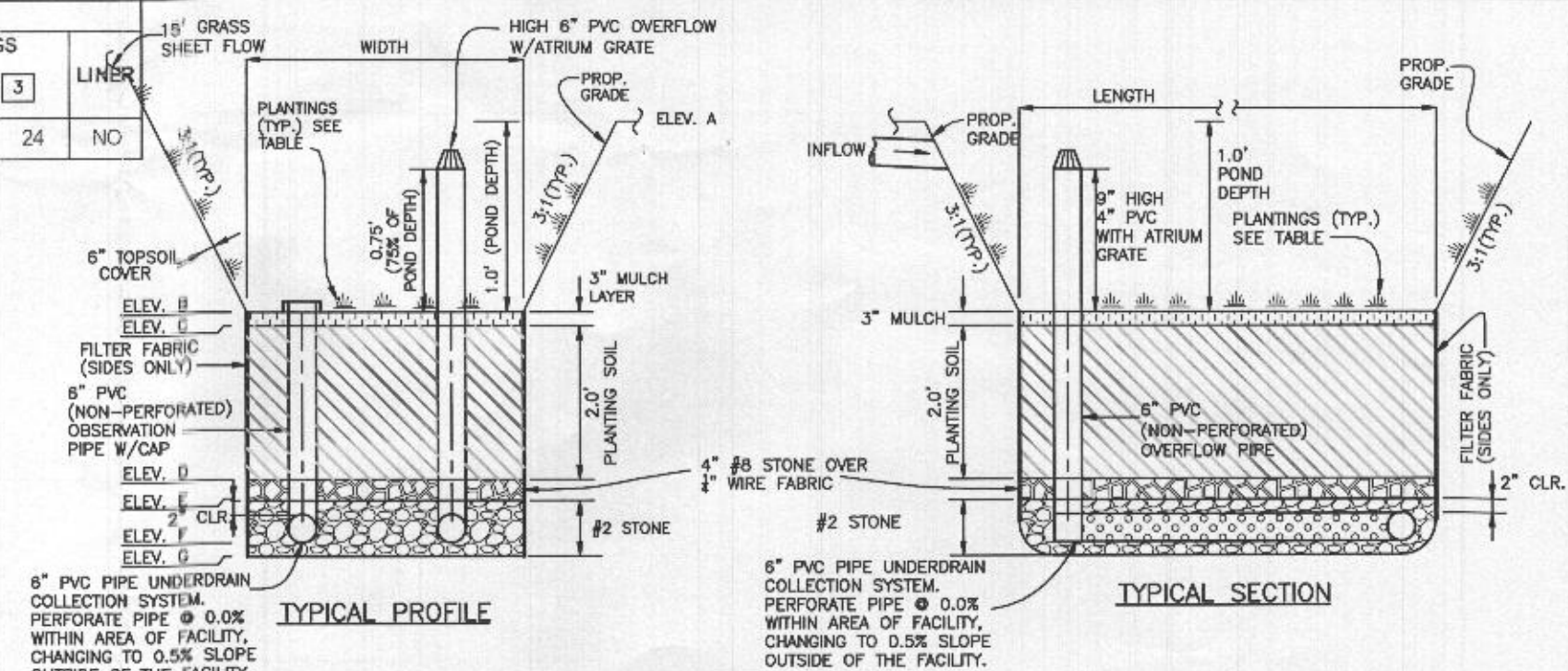
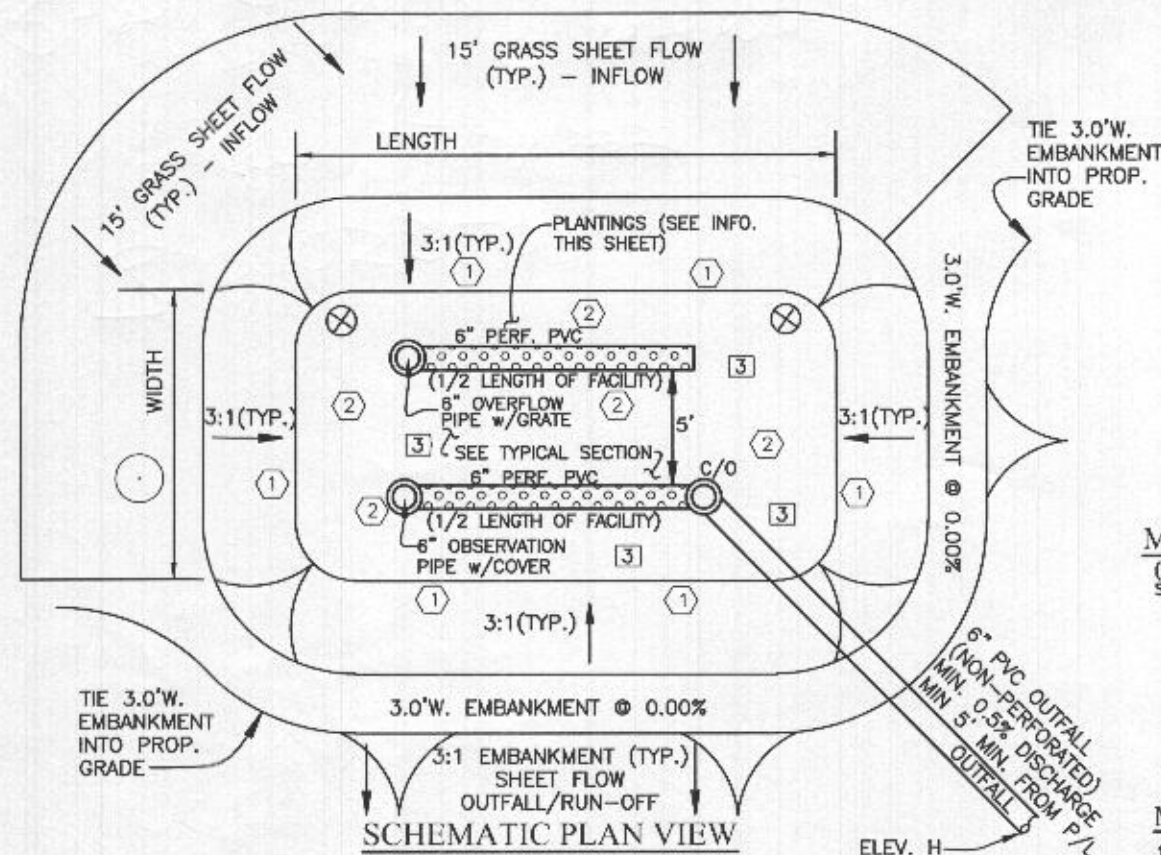


Jul 8 2020 9:49 AM DocuSign

PROJECT:	MYRTUE PROPERTY LOT 29		
LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1930 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404		
TITLE:	BUILDING PERMIT PLAN		
HOUSE TYPE:	CUSTOM - KEYSTONE HOMES		
DATE:	MAY, 2020	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	1 OF 2

**ON-LOT BIORETENTION DIMENSIONS**

Practice	#	A	B	C	D	E	F	G	H	LENGTH	WIDTH	FILTER AREA	PLANTINGS			LINER
													①	②	③	
(M-6) Micro-Bioretenion	29	411.00	412.00	411.75	410.00	409.67	409.17	408.42	408.60	28	17	434	48	48	24	NO



**MICROBIORETENTION PLANTING SCHEDULE**

- (PLANTING SPECIES AND DENSITY CAN BE CHANGED OR SUBSTITUTED BY A LANDSCAPE ARCHITECT OR QUALIFIED DESIGNER)
- ① IRIS FULVA (COPPER IRIS) (1 PER SY)
  - ② LOBELIA CARDINALIS (CARDINAL FLOWER) (1 PER SY)
  - ③ RUDBECKIA SUBTOMENTOSA (SWEET CONEFLOWER) (1 PER 2 SY)
  - ⊗ CALLUNA VULGARIS (HEATHER) (1 PER FACILITY)
  - ACER GINNALA (ARMUR MAPLE) (1 PER FACILITY)

**MICROBIORETENTION PLANTING DATA**

- PLANTINGS WITHIN THE PONDING AREA OF THE FACILITY ARE TO BE OF A MEDIUM TO HIGH WATER TOLERANCE
- PLANTINGS ALONG THE PERIMETER (BERM) AREA OF THE FACILITY ARE TO BE OF A LOW TO MEDIUM WATER TOLERANCE
- AVOID PLANTINGS WITH EXCESSIVE ROOT MASS IN POND AREA OF THE RAIN GARDEN NEAR O.B. PIPE AND UNDERDRAIN.

**MICRO-BIORETENTION DETAILS**

- NOT TO SCALE
- OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)
- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
  - THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
  - THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
  - THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

**MATERIALS & SPECIFICATIONS FOR MICRO-BIORETENTION**

MATERIAL	SPECIFICATION	SIZE	NOTES:
PLANTINGS	SEE APPENDIX A; TABLE A.4	N/A	PLANTINGS ARE SITE SPECIFIC
PLANTING SOIL (2.0' TO 4.0' DEEP)	LOAMY SAND 60-85% COMPOST 35-40% OR SANDY LOAM 30% COARSE SAND 30% & COMPOST 40%	N/A	USDA SOIL TYPES: LOAMY SAND OR SANDY LOAM; CLAY CONTENT <5%
ORGANIC CONTENT	MIN 10% BY DRY WEIGHT ASTM D 2974		
MULCH	SHREDDED HARDWOOD	N/A	AGED 6 MONTHS, MINIMUM, NO PINE OR WOOD CHIPS
GEOTEXTILE (CLASS "C")		N/A	PE TYPE 1 NONWOVEN
GEOTEXTILE (1/4" WIRE MESH)		1/4" WIRE MESH	1/4" WIRE MESH
UNDERDRAIN GRAVEL	AASHTO M-43	NO. 57 OR NO. 5 0.375" TO 0.750"	
UNDERDRAIN PIPING	F758, TYPE PS28 OR AASHTO M-278	4" TO 6" RIGID SCH.40 PVC, SDR35 OR HDPE	3/8" PERF. @ 6" O/C, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES, NOT NECESSARY UNDERNEATH PIPES. PIPE SHALL BE WRAPPED WITH 1/4-INCH GALVANIZED HARDWARE CLOTH
IMPERVIOUS LINER	ASTM-D-4833 (THICKNESS) ASTM-D-412 (TENSILE STRENGTH 1,100 LB., ELONGATION 200%) ASTM-D-624 (TEAR RESISTANCE - 150 LB./IN) ASTM-D-471 (WATER ADSORPTION: +8 TO -2% MASS)	30 MIL THICK	LINER TO BE ULTRAVIOLET RESISTANT. A GEOTEXTILE FABRIC SHOULD BE USED TO PROTECT THE LINER FROM PUNCTURE.
GEOTEXTILE (BELOW IMPERV. LINER)	ASTM-D-4833 (PUNCTURE STRENGTH 125LB) ASTM-D-4632 (TENSILE STRENGTH 300 LB.)		

**(N-2) Disconnection of Non-Rooftop Runoff**

Target PE:	1.0
Total DA:	1702 SF
Impervious:	847 SF
Area of Filter Strip:	847 SF
Rv:	0.50
Pe Reduction for Non-Rooftop Disconnection	
Length of contributing area:	74 feet
Length of impervious area:	12 feet
Length of filter strip:	12 feet
MAX. all imp. treated	1 /1 Impervious ratio
MAX. all imp. treated	1 /1 Pervious ratio
Reduction to Target Pe	1.0 inches
Remaining obligation:	0.0 inches
ESDv Required:	71
ESDv Provided:	71

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF ROOFTOP RUNOFF (N-1), DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)**

- MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE OWNER SHALL ENSURE THE AREAS RECEIVING RUNOFF ARE PROTECTED FROM FUTURE COMPACTION OR DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

**BENCHMARK**  
ENGINEERS & LAND SURVEYORS & PLANNERS  
**ENGINEERING, INC.**  
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ELLCOTT CITY, MARYLAND 21043  
(P) 410-465-6105 (F) 410-465-6644  
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 28376, Expiration Date: 01-01-2021.



Jul 8 2020 9:47 AM DocuSign

OWNER/BUILDER:  
KEYSTONE CUSTOM HOMES, INC.  
227 GRANITE RUN DR.  
SUITE 100  
LANCASTER, PA 17601  
717-464-9060

PROJECT:	MYRTUE PROPERTY LOT 29	
LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1930 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404	
TITLE:	BUILDING PERMIT PLAN	
HOUSE TYPE:	CUSTOM - KEYSTONE HOMES	
DATE:	MAY, 2020	PROJECT NO. 2099
SCALE:	AS SHOWN	DRAWING 2 OF 2