



**Howard County
Health Department**

Bureau of Environmental Health
8930 Stanford Boulevard, Columbia, MD 21045
Main: 410-313-2640 | Fax: 410-313-2648
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 2/26/21 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 568770

APPROVAL DATE: 2/1/21 RR **PERMIT: CONSTRUCTION**

A _____

PROPERTY ADDRESS: 1930 DAVIS BRANCH ROAD, WOODSTOCK, MD 21163

SUBDIVISION: MYRTUE PROPERTY LOT: 29 TAX ID: 03-352633

CONTRACTOR: Farm + Home EMAIL: _____

CONTRACTOR ADDRESS: _____ PHONE: 410-462-2139

PROPERTY OWNER: SONSHINE MD LP EMAIL: greinsmith@keystonecustomhomes.

OWNER ADDRESS: 227 Granite Run Drive, Suite 100, Lancaster, PA 17601 PHONE: (717)464-9060

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: MAYER BROS., INC.

PUMP MODEL: n.a. PUMP SIZE: n.a. PUMP TANK CAPACITY: n.a.

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 5 APPLICATION RATE: 1.2

TRENCHES:	LINEAR FEET REQUIRED: <u>130</u>	INLET DEPTH: <u>2.0</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8.0</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>6.0</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	INSTALL CLEANOUTS AT FIRST AND THIRD BENDS IN SHC. USE TURF BOXES TO PROTECT CLEANOUTS IF CUTOFF BELOW GRADE.	

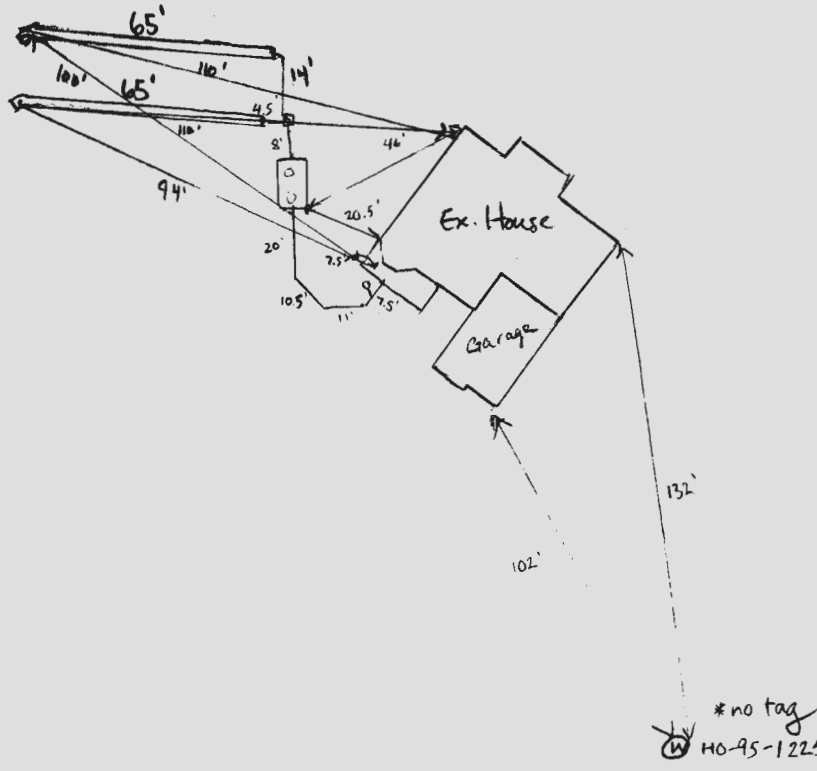
ISSUED BY: R BRICKER ISSUE DATE: 2/26/21 EXPIRATION DATE: 2/26/22

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADE FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
- ELECTRICAL PERMIT ISSUED E n.a.
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

1930 Davis Branch Rd

NOT TO SCALE 1" = 50'



ROAD NAME
Davis Branch Rd

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
3'	2'	8'
NUMBER OF TRENCHES		2
TOTAL LENGTH		130'
ABSORPTION AREA		390 sqft + Sidewalk
DISTRIBUTION BOX LEVEL		yes
DISTRIBUTION BOX BAFFLE		yes
DISTRIBUTION BOX PORT		yes

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL	
MANUFACTURER	Babylon
CAPACITY	2000 GAL
SEAM LOC	top
TANK LID DEPTH	1.5'
BAFFLES	inlet + outlet
BAFFLE FILTER	-
MANHOLE LOC	inlet + outlet
6" PORT LOC	-
WATERTIGHT TEST	-
SLOTTED	yes
DATE ON LID	10-13-20

PUMP/SEPTIC TANK LEVEL	
MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION:

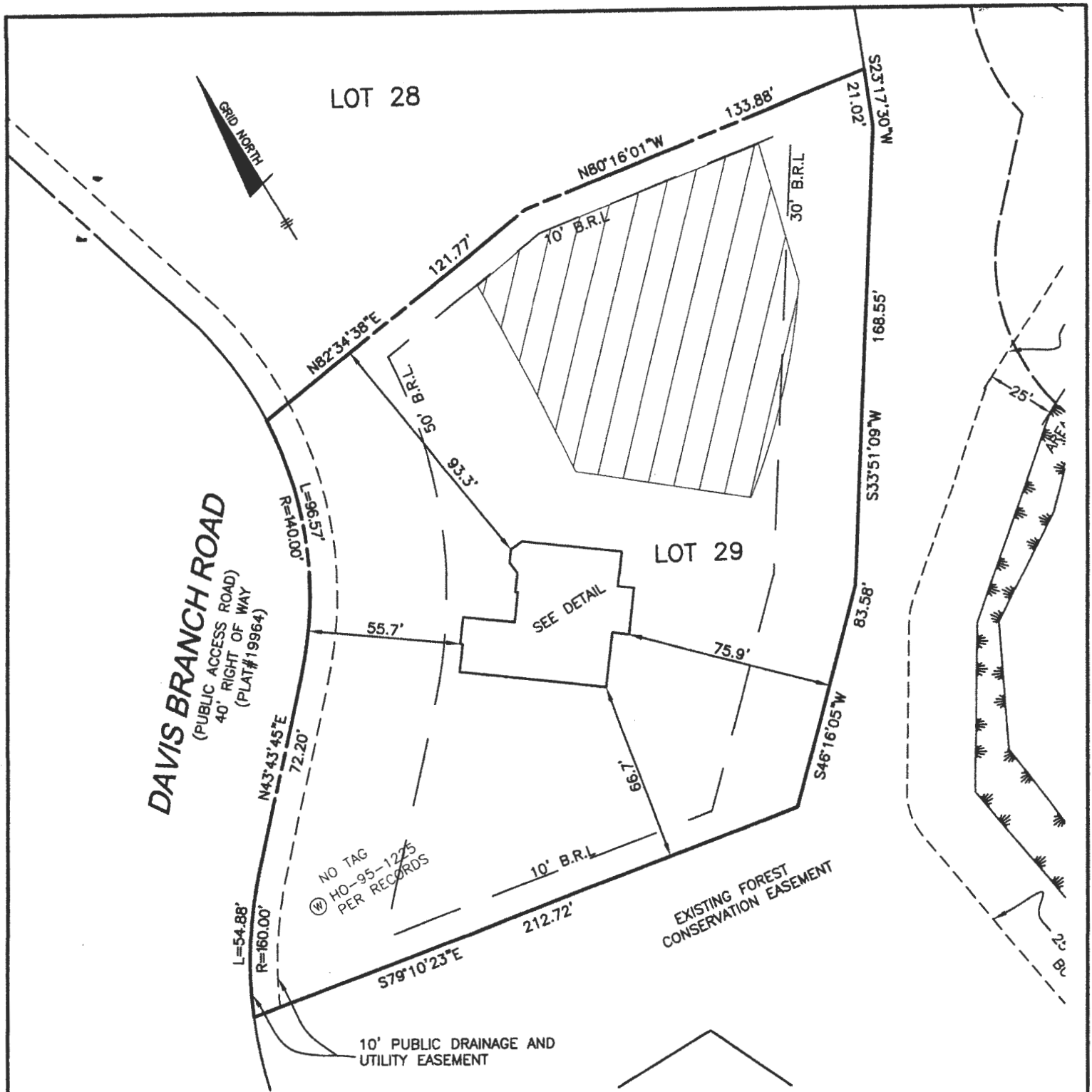
3/9/21 Laid out 2x63' on contour according to plan. (S)

INSTALLATION: 3/10/21 Tank and d-box set, SHC and SL constructed. No tag on well. (S)

3/11/21 - both trenches complete and on contour, transit onsite, stone ok and geotextile fabric in place, levelers in d-box ok, ok to backfill (PR)

FINAL INSPECTOR R. Rappaport

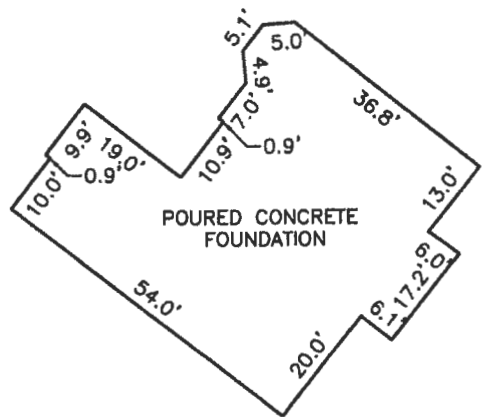
DATE OF APPROVAL 3/11/21



TOP OF FOUNDATION WALL = 422.0'
 OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.1'

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1-7-2021 AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. ON 10/30/2020.



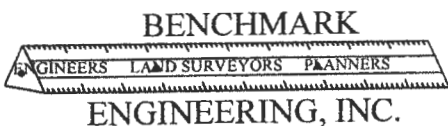
FOUNDATION DETAIL
 SCALE: 1" = 30'

WALL CHECK
MYRTUE PROPERTY

PLAT No. 23866
LOT No. 29
 1930 DAVIS BRANCH ROAD

3rd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50' DATE: 10/30/2020

Donald A. Mason
 DONALD A. MASON
 PROFESSIONAL LAND SURVEYOR
 MARYLAND REG. No. 21320
 FEMA FIRM No. 24027C0080D
 ZONE: X
 DATED: 11/06/2013

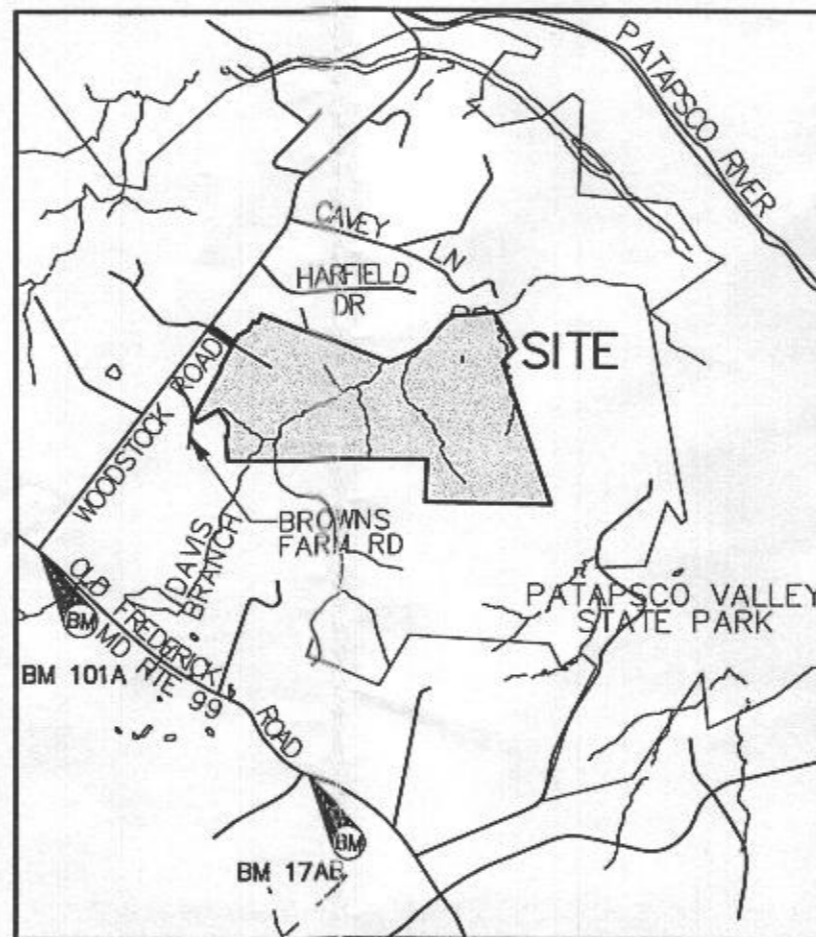


8480 BALTIMORE NATIONAL PIKE & SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 (P) 410-485-8105 ▲ (F) 410-485-8844

FIELD OBS. BY PJ
 COMP. BY EWF
 DRAWN BY EWF

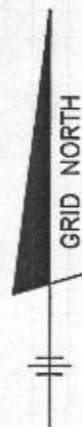
GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR MYRTUE PROPERTY, PLAT NUMBER 23865. REFER TO THE PLAT FOR LOT DIMENSIONS, LOT AREA, ALL EASEMENTS AND CONDITIONS.
2. THE EXISTING WELL SHOWN ON THIS PLAN (HO-95-1225) HAS BEEN FIELD LOCATED BY DAFT, McCUNE WALKER, INC. AND IS SHOWN IN ACCORDANCE WITH THEIR SURVEY.
3. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
4. TOPOGRAPHY SHOWN WAS FLOWN BY VIRGINIA RESOURCE MAPPING, INC. DATED FEBUAURY 2003 AND SUPPLEMENTED WITH FIELD SURVEY BY DMW, INC. DATED 2005.
5. SEDIMENT AND EROSION CONTROLS WILL BE SUBMITTED BY HOWARD SOILS CONSERVATION DISTRICT AS A CUSTOM GRADING PLAN.
6. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED BUILDING PERMIT AND CUSTOM GRADING PLANS.
7. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
8. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
9. ANY ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
10. THE SEPTIC TANK WILL BE A 2000 GALLON TWO COMPARTMENT TANK.
11. THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
12. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS/OR SEPTIC SYSTEM HAVE BEEN SHOWN.



VICINITY MAP

SCALE: 1"=2000'



BENCHMARK INFORMATION NAD83

Ho. Co. STATION 101A STAMPED DISC SET ON TOP OF CONCRETE COLUMN	Ho. Co. STATION 17AB STAMPED DISC SET ON TOP OF CONCRETE COLUMN
NORTHING: 565347.937'	NORTHING: 564468.943'
EASTING: 1319266.269'	EASTING: 1318257.375'
ELEVATION: 588.708'	ELEVATION: 561.105'

Approved Septic System Plan
Howard County Health Department
2000-gal Septic Tank
to Gravity Distribution
for 5-bedroom SFD
P. Buckner
Signature 7/6/2020
Date

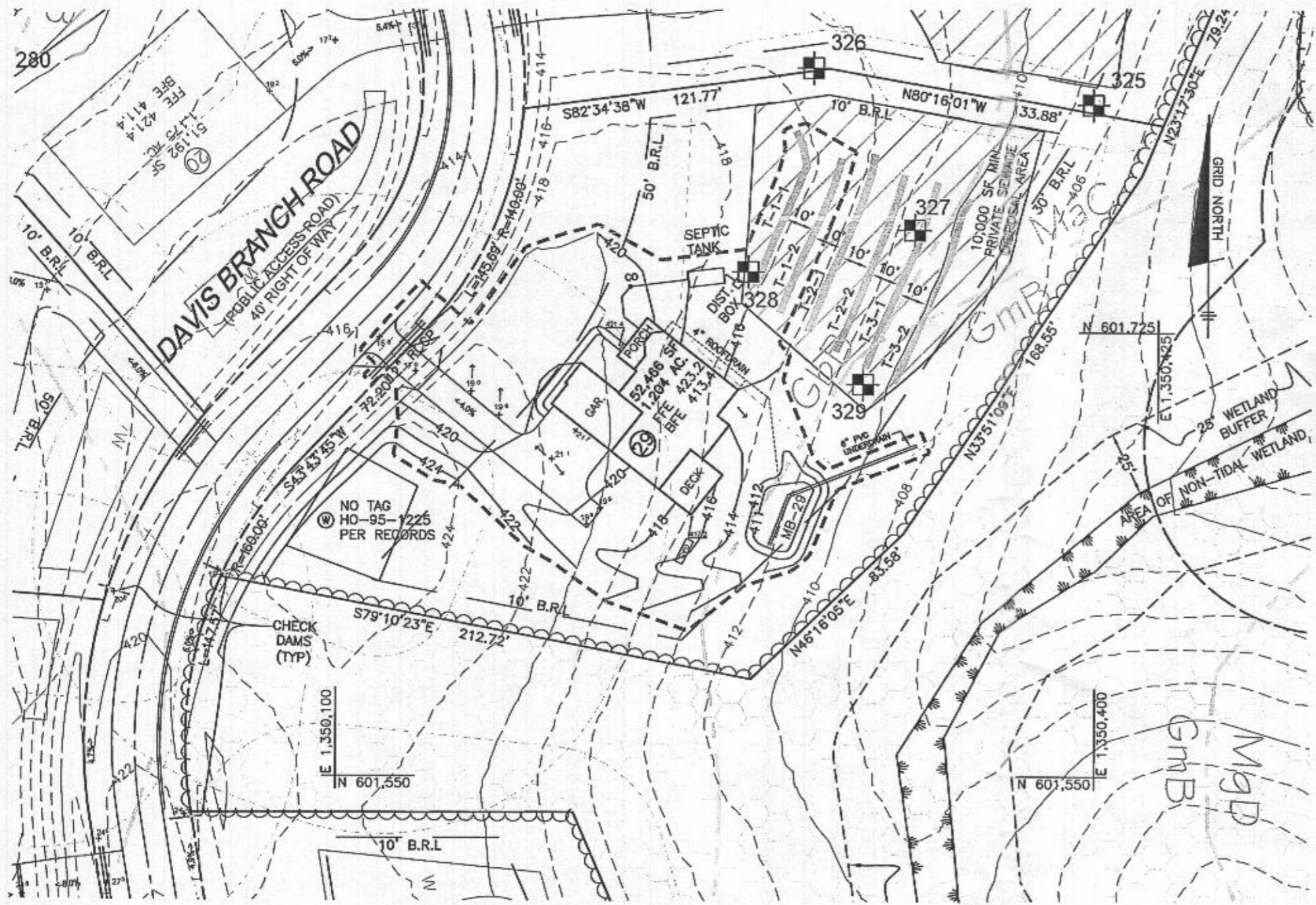
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2021.



PROJECT: MYRTUE PROPERTY LOT 29	
LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1930 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404	
TITLE: ONSITE SEWAGE DISPOSAL PLAN	
HOUSE TYPE: CUSTOM - KEYSTONE HOMES	
DATE: MAY, 2020	PROJECT NO. 2099
SCALE: AS SHOWN	DRAWING 1 OF 3

OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-9060

BENCHMARK
ENGINEERS • LAND SURVEYORS • PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE • SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-465-8105 • (F) 410-465-8644
WWW.BEJ-CMENGINEERING.COM



LEGEND

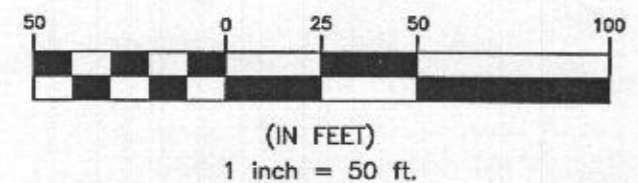
- 400 PROPOSED CONTOURS
- 398 EXISTING CONTOURS
- 400 EXISTING PRIVATE SEWAGE AREA
- PROPOSED PRIVATE SEWAGE DISPOSAL AREA
- EXISTING WELL BOX
- PROPOSED TREELINE
- EXISTING TREELINE
- SOILS MAP SYMBOL
- SOILS DELINEATION LINE
- PERC TEST PASSED
- PERC TEST FAILED

Approved Septic System Plan
 Howard County Health Department
 2000-gal Septic Tank
 to Gravity Distribution
 for 5-bedroom SFD
Buck
 Signature
 7/6/2020
 Date

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2021.



PLAN VIEW
 1" = 50'



OWNER/BUILDER:
 KEYSTONE CUSTOM HOMES, INC.
 227 GRANITE RUN DR.
 SUITE 100
 LANCASTER, PA 17601
 717-464-9060

BENCHMARK
 ENGINEERS & LAND SURVEYORS & PLANNERS
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 8480 BALTIMORE NATIONAL PIKE & SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 (P) 410-485-8105 & (F) 410-485-6644
 WWW.BEI-CVILENGINEERING.COM

PROJECT:		MYRTUE PROPERTY LOT 29	
LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1930 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404			
TITLE:		ONSITE SEWAGE DISPOSAL PLAN	
HOUSE TYPE:		CUSTOM - KEYSTONE HOMES	
DATE:	MAY, 2020	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	2 OF 3

HEALTH DEPARTMENT SPEC SHEET INFORMATION - LOT 29			
System	Application Rate	Effective Depth	Bottom Depth
Initial System	1.2	6.0	8.0
1st Replacement	1.2	6.5	8.0
2nd Replacement	0.8	5.0	8.0

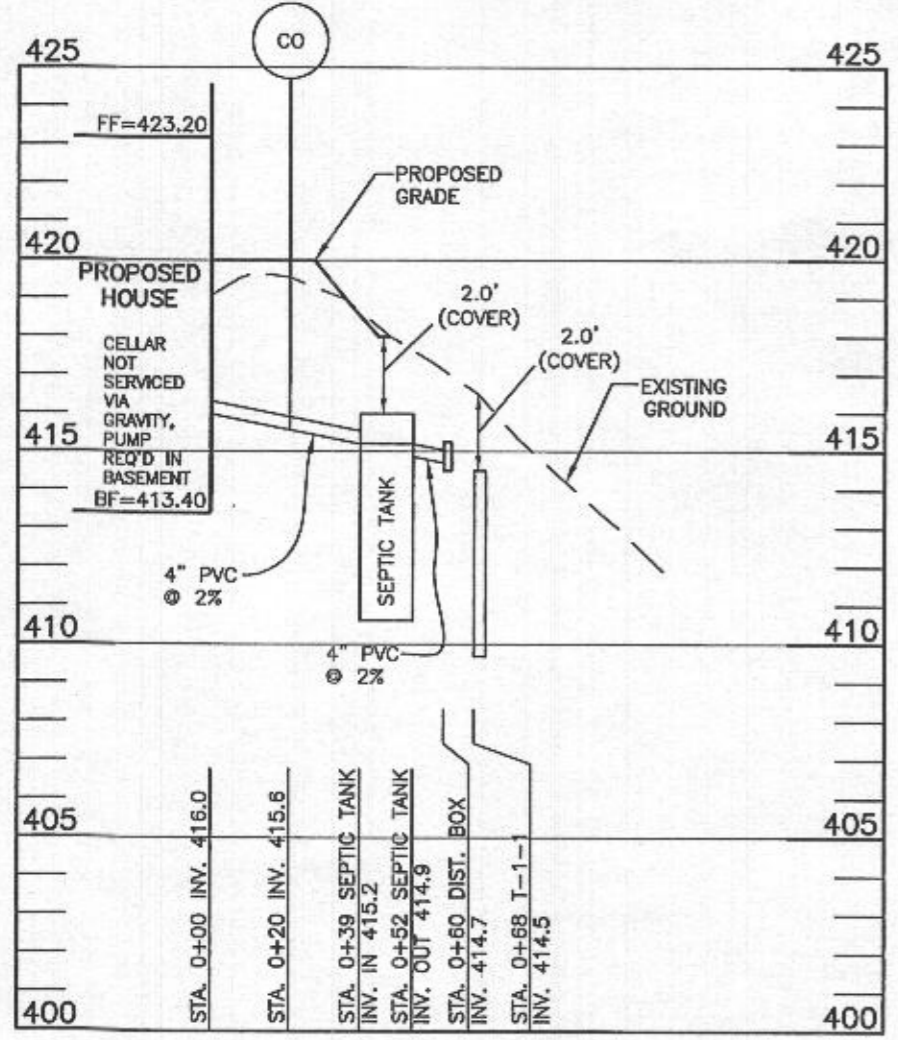
TRENCH DESIGN - LOT 29					
INITIAL SYSTEM					
T-1-1	LENGTH	65.2 ft	T-1-2	LENGTH	65.2 ft
	GROUND ELEVATION	416.2		GROUND ELEVATION	414.9
	INVERT ELEVATION	414.2		INVERT ELEVATION	412.9
	MAX BOTTOM ELEVATION	408.2		MAX BOTTOM ELEVATION	406.9
1ST REPLACEMENT SYSTEM					
T-2-1	LENGTH	74.5 ft	T-2-2	LENGTH	74.5 ft
	GROUND ELEVATION	413.7		GROUND ELEVATION	412.4
	INVERT ELEVATION	411.7		INVERT ELEVATION	410.4
	MAX BOTTOM ELEVATION	405.7		MAX BOTTOM ELEVATION	404.4
2ND REPLACEMENT SYSTEM					
T-3-1	LENGTH	78.2 ft	T-3-2	LENGTH	78.2 ft
	GROUND ELEVATION	411.2		GROUND ELEVATION	409.9
	INVERT ELEVATION	409.2		INVERT ELEVATION	407.9
	MAX BOTTOM ELEVATION	403.2		MAX BOTTOM ELEVATION	401.9

SEPTIC INVERT CHART - LOT 29	
INV @ HOUSE	416.0
GROUND @ HOUSE	420.0
INV IN SEPTIC TANK	415.2
INV OUT SEPTIC TANK	414.9
TOP OF SEPTIC TANK	416.0
GROUND OVER SEPTIC TANK	418.0

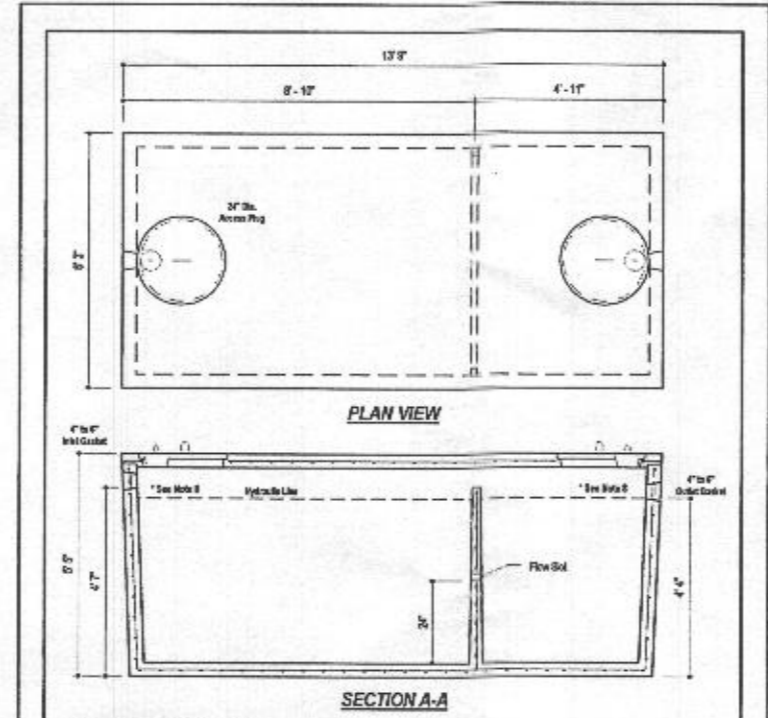
INITIAL SYSTEM		
Number of Bedrooms	5	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	6.0	ft
Bottom Max Depth	8.0	ft
Design Flow	750	gpd
Drainage Field square footage	625	sf
Sidewall Reduction Credit	0.63	
Trench width	3	ft
Effective Area Depth	2	ft
Trench Spacing	10	ft
Linear Length of trench Required	130	lf

1ST REPLACEMENT SYSTEM		
Number of Bedrooms	5	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	6.5	ft
Bottom Max Depth	8.0	ft
Design Flow	750	gpd
Drainage Field square footage	625	sf
Sidewall Reduction Credit	0.71	
Trench width	3	ft
Effective Area Depth	1.5	ft
Trench Spacing	10	ft
Linear Length of trench Required	149	lf

2ND REPLACEMENT SYSTEM		
Number of Bedrooms	5	
Application Rate	0.8	gpd/sf
Effective Area Beginning Depth	5.0	ft
Bottom Max Depth	8.0	ft
Design Flow	750	gpd
Drainage Field square footage	938	sf
Sidewall Reduction Credit	0.50	
Trench width	3	ft
Effective Area Depth	3	ft
Trench Spacing	10	ft
Linear Length of trench Required	156	lf



LOT 29 OSDS
SCALE: 1"=50' HORIZ., 1"=5' VERT.



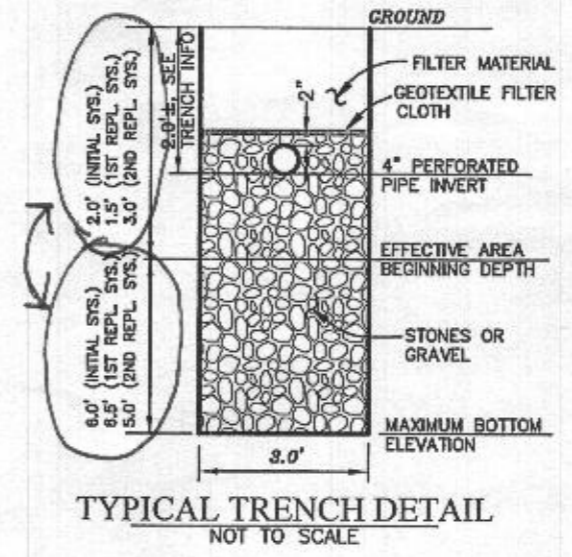
DESIGN DATA & GENERAL NOTES

- 1) Concrete strength = 4000 p.s.i. @ 28 days. See notes 104 p.c.
- 2) Concrete - Portland Type III per ASTM C 150-04.
- 3) Admixtures & plasticizers per ASTM C 150-04 & C 494-04.
- 4) Reinforcing per ASTM A 618, Min. 5-10" cover.
- 5) Top finish coated with hard cure sealant.
- 6) 4" wall, 4" base, 5" top thickness.
- 7) Max. # of cover.
- 8) Depending on size of tank, inlet & outlet for the plug be required by code.

M.B.I. Meyer Bros., Inc. 4364 River Road, Glen Ridge, Maryland 21035, Tel. 410.796.5434, Fax. 410.796.5428, www.cuyabro.com

2,000 GALLON SEPTIC TANK
2-Compartment
Starch Item (Approx. 19,900 lbs)
Dep. No. 2900-02 No Scale Aug 11, 2008

Approved Septic System Plan
Howard County Health Department
2000-gal Septic Tank
to Gravity Distribution
for 5-bedroom SFD
P. Bickler, 7/6/2020
Signature Date



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2021.



PROJECT:	MYRTUE PROPERTY LOT 29	
LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1930 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404	
TITLE:	ONSITE SEWAGE DISPOSAL PLAN	
HOUSE TYPE:	CUSTOM - KEYSTONE HOMES	
DATE:	MAY, 2020	PROJECT NO. 2099
SCALE:	AS SHOWN	DRAWING 3 OF 3

OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-9060

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KEYSTONE CUSTOM HOMES

227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601
 PHONE: (717) 494-9060 • FAX: (717) 735-2034 • KeystoneCustomHomes.com

FOUNDATION PLAN

MODEL: MRS029 KNELLER

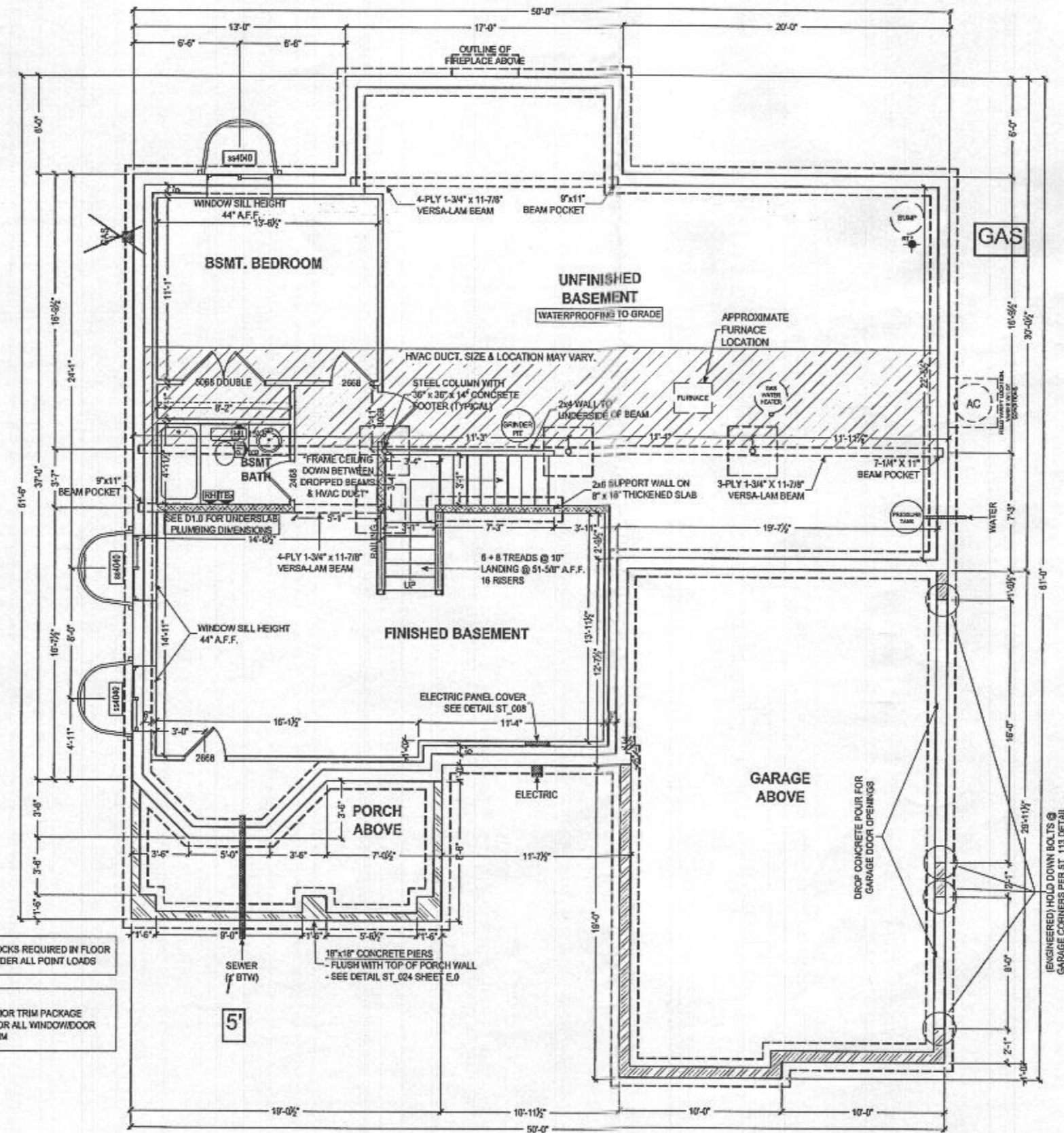
ISSUED: MAR 23 2020

SCALE: AS NOTED

DRAWN BY: M.HERSHEY

SHEET NO. P1.2

PLAN ID: ahw 10



SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

NOTE:
 -WIDE INTERIOR TRIM PACKAGE
 -ALLOW 4" FOR ALL WINDOW/DOOR HEADER TRIM

NOTE TO HOMEOWNER(S):
 LOCATIONS SHOWN FOR HVAC, PLUMBING, AND OTHER MECHANICAL ITEMS WILL BE USED IF POSSIBLE. ACTUAL PLACEMENT OF FURNACE, WATER HEATER, SUMP PIT, ETC. MAY VARY DUE TO INDIVIDUAL SITE REQUIREMENTS.

FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"

6" THICK POURED CONCRETE WALLS
 CHECK P.O. FOR WALL HEIGHT OF FRONT PORCH WALLS

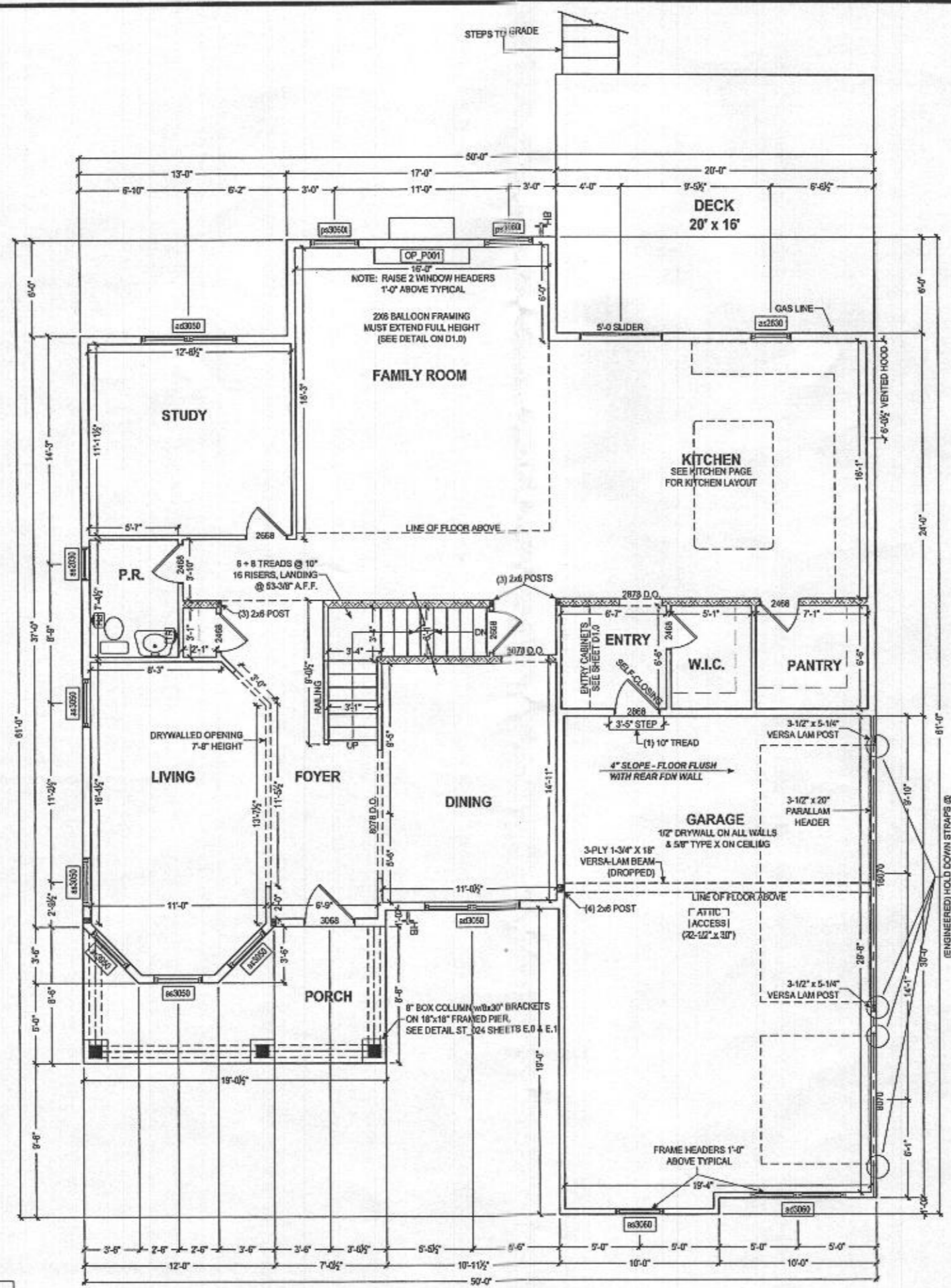
8" THICK POURED CONCRETE WALLS
 9'-0" HIGH MAIN HOUSE WALLS STANDARD

8" THICK POURED CONCRETE WALLS
 CHECK P.O. FOR WALL HEIGHT OF CRAWL SPACE AND GARAGE WALLS

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KEYSTONE CUSTOM HOMES
 227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601
 PHONE: (717) 664-0000 • FAX: (717) 735-2034 • KeystoneCustomHomes.com



FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SHEATHING (METHOD #3, PER ST_112)

GYPSUM BOARD, TWO SIDES (METHOD #5, PER ST_111)	2 x 6 INTERIOR WALL	INTERIOR HALF WALL	FRAMING POST

RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2018 IRC. THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM. CONCEALED SPRINKLER HEADS

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

NOTE: WIDE INTERIOR TRIM PACKAGE - ALLOW 4" FOR ALL WINDOW/DOOR HEADER TRIM

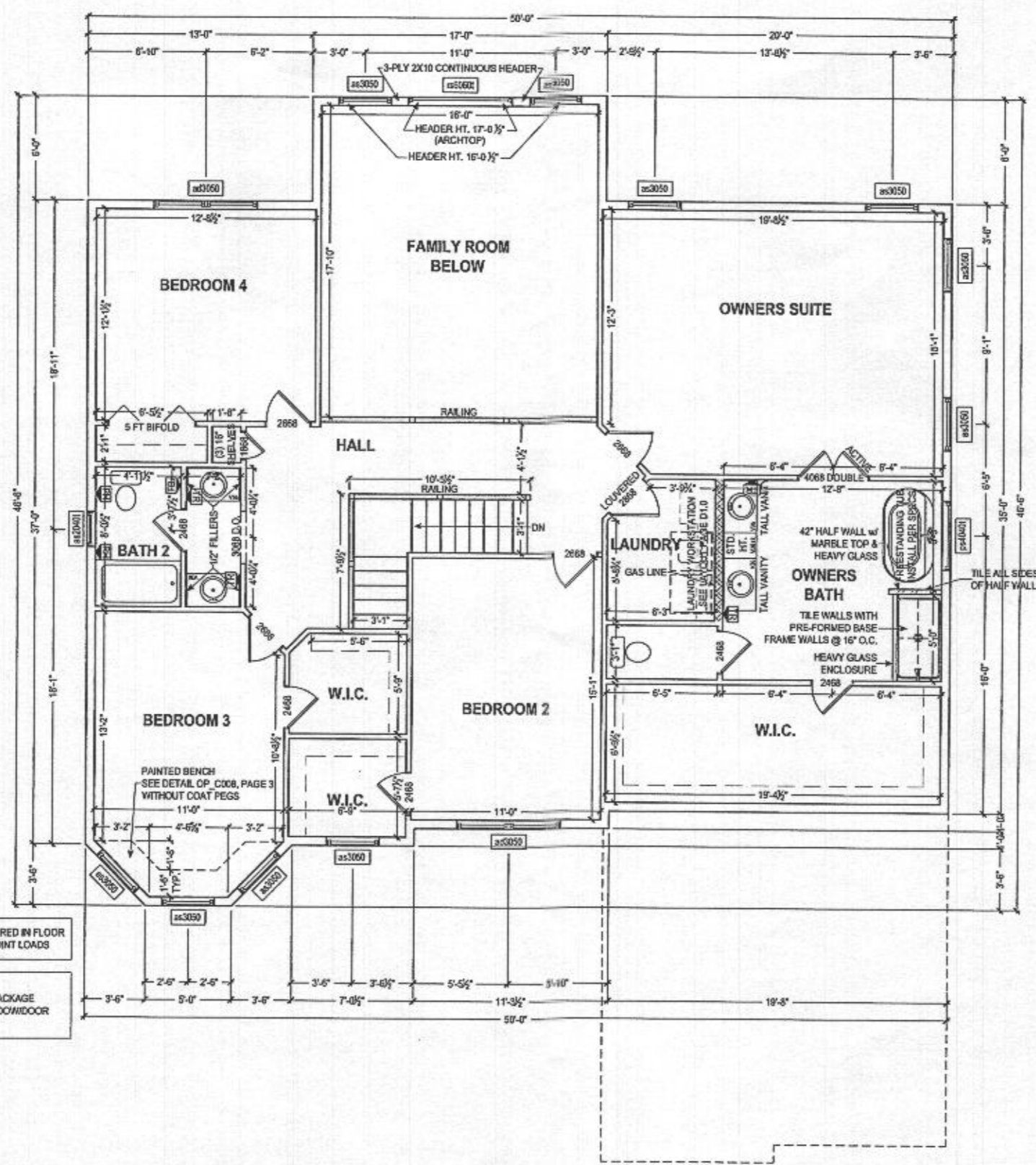
SHEET DESCRIPTION:
 FIRST FLOOR PLAN
 MRS029
 KNELLER
 MODEL:

ISSUED:
 MAR 23 2020
 SCALE:
 AS NOTED
 DRAWN BY:
 M.HERSHEY

SHEET NO.
P1.0
 PLAN ID:
 a h w 10

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SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

NOTE:
-WIDE INTERIOR TRIM PACKAGE
-ALLOW 4" FOR ALL WINDOW/DOOR
HEADER TRIM

SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SHEATHING (METHOD #3, PER ST_112)

GYPSUM BOARD, TWO SIDES (METHOD #5, PER ST_111)	2 x 6 INTERIOR WALL	INTERIOR HALF WALL	FRAMING POST

KEYSTONE CUSTOM HOMES

227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601
PHONE: (717) 464-0868 • FAX: (717) 735-0324 • KeystoneCustomHomes.com

SHEET DESCRIPTION:
SECOND FLOOR PLAN

MODEL:
MRs029
KNELLER

ISSUED:
MAR 23 2020

SCALE:
AS NOTED

DRAWN BY:
M.HERSHEY

SHEET NO.
P1.1

PLAN ID:
ahw 10

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