



**Howard County  
Health Department**

Maura J. Rossman, M.D., Health Officer

**Bureau of Environmental Health**  
8930 Stanford Boulevard, Columbia, MD 21045  
Main: 410-313-2640 | Fax: 410-313-2648  
TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)

RECEIPT DATE: 12/15/2020 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 572897

APPROVAL DATE: 04/09/2021 **PERMIT: CONSTRUCTION**

A \_\_\_\_\_

PROPERTY ADDRESS: 1957 DAVIS BRANCH ROAD, WOODSTOCK, MD 21163

SUBDIVISION: MYRTUE PROPERTY LOT: 24 TAX ID: 03-352587

CONTRACTOR: FARM AND HOME EMAIL: \_\_\_\_\_

CONTRACTOR ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

PROPERTY OWNER: SONSHINE MD LP EMAIL: greinsmith@keystonecustomhomes.

OWNER ADDRESS: 227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601 PHONE: (717)464-9060

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: MAYER BROS., INC.

PUMP MODEL: n.a. PUMP SIZE n.a. PUMP TANK CAPACITY: n.a.

DISTRIBUTION SYSTEM:  GRAVITY  PRESSURE DOSED BEDROOMS: 6 APPLICATION RATE: 0.8

TRENCHES:	LINEAR FEET REQUIRED: <u>188</u>	INLET DEPTH: <u>2.0</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>6.0</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>3.0</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	INSTALL CLEANOUT IN SHC AT FIRST BEND.	

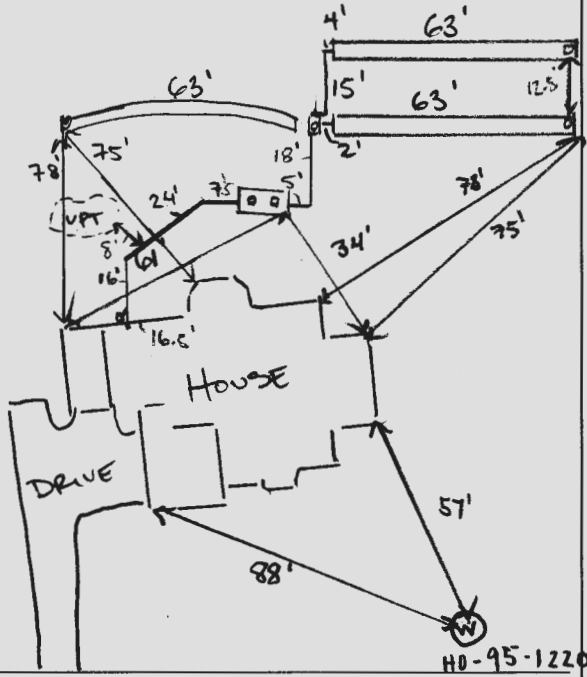
ISSUED BY: R BRICKER ISSUE DATE: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM  
 ELECTRICAL PERMIT ISSUED E n.a.
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.  
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.  
CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

1x50'

NOT TO SCALE



ROAD NAME  
Davis Branch Rd

TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	2'	6'
NUMBER OF TRENCHES		3
TOTAL LENGTH		189'
ABSORPTION AREA		567 SF + SIDE WALL
DISTRIBUTION BOX LEVEL		SPEED
DISTRIBUTION BOX BAFFLE		YES
DISTRIBUTION BOX PORT		YES

SEPTIC TANK DATA	
SEPTIC TANK I LEVEL	yes
MANUFACTURER	Babylon
CAPACITY	2000 GAL
SEAM LOC	TOP
TANK LID DEPTH	1.5' (1.2) - 1' (1.1)
BAFFLES	YES
BAFFLE FILTER	-
MANHOLE LOC	front / back
6" PORT LOC	-
WATERTIGHT TEST	-
SLOTTED	YES
DATE ON LID	12/28/20
PUMP/SEPTIC TANK LEVEL	
MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION:

02/26/2021 SDA STAKED - CHECKED CONTOUR 3x 63' TRENCHES. TRENCHES SLIGHTLY OUTSIDE CENTER OF SDA DUE TO CONTOUR; OK. OK TO LOWER INLET TO 2.5'. ⊕

INSTALLATION:

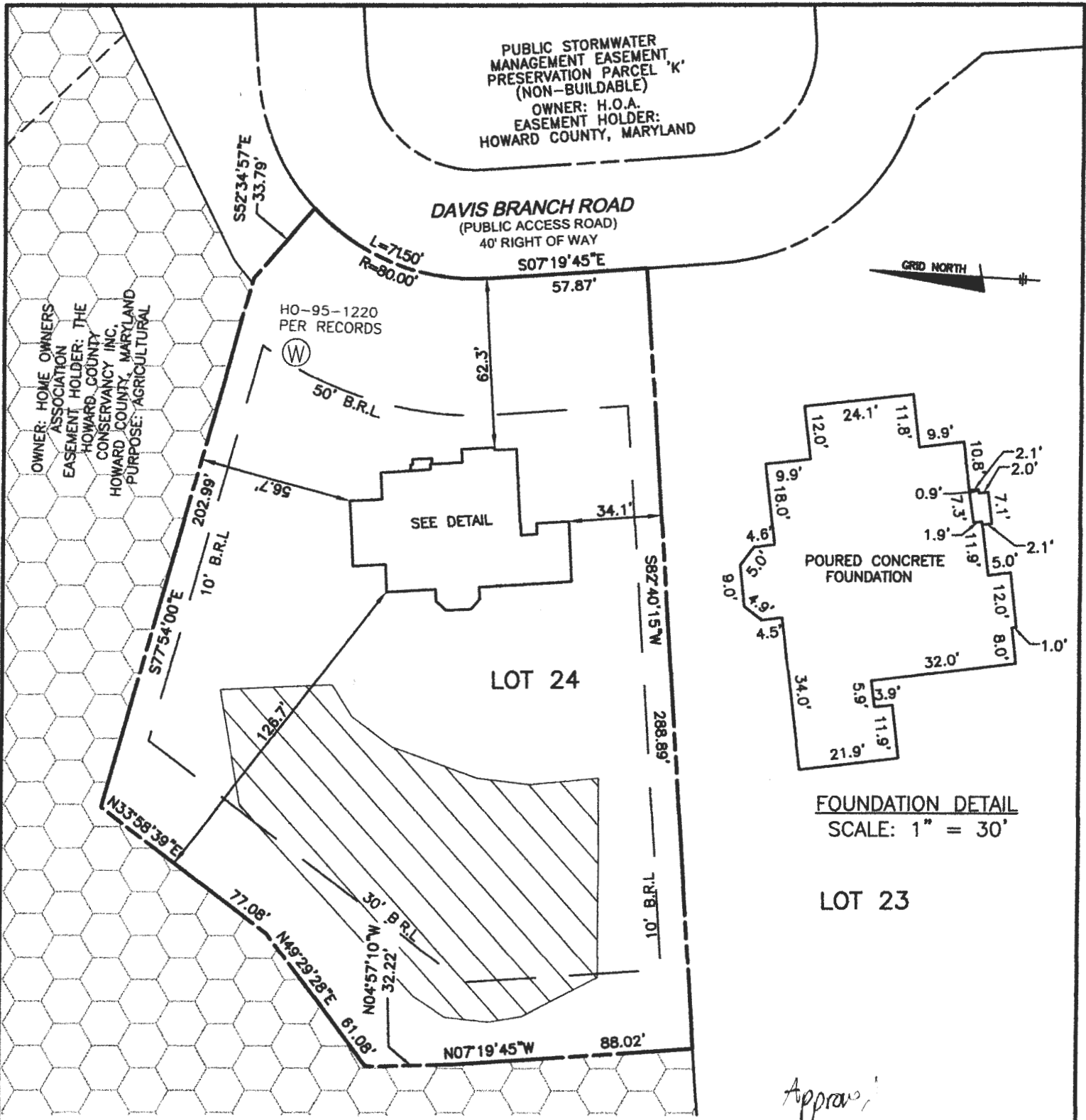
3/11/21 - Only tank in the ground, no contractor onsite. reinspect baffles, slot, tank lid depth at final grade, sewer line, SHC, d box & trenches. ⊕ 03/15/2021 INSTALLED SEWER LINE TO TANK; SET 2 BOX AND INSTALLED BACKLINE. ⊕ 04/09/2021 TRENCHES COMPLETE, D Box LEVELED W/ SPEED LEVELS. ⊕

FINAL INSPECTOR

*Janet Calaf*

DATE OF APPROVAL

04/09/2021



PUBLIC STORMWATER  
MANAGEMENT EASEMENT  
PRESERVATION PARCEL 'K'  
(NON-BUILDABLE)  
OWNER: H.O.A.  
EASEMENT HOLDER:  
HOWARD COUNTY, MARYLAND

DAVIS BRANCH ROAD  
(PUBLIC ACCESS ROAD)  
40' RIGHT OF WAY  
S07'19'45"E  
57.87'

OWNER: HOME OWNERS  
ASSOCIATION  
EASEMENT HOLDER: THE  
HOWARD COUNTY  
CONSERVANCY INC.  
HOWARD COUNTY, MARYLAND  
PURPOSE: AGRICULTURAL

HO-95-1220  
PER RECORDS

50' B.R.L.

SEE DETAIL

LOT 24

POURED CONCRETE  
FOUNDATION

FOUNDATION DETAIL  
SCALE: 1" = 30'

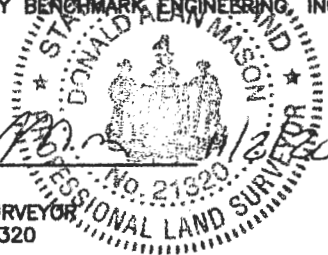
LOT 23

*Approved*  
12/22/2020

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1-7-2021 AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN, HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. ON 10/30/2020.

TOP OF FOUNDATION WALL = 402.0'  
OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.1'



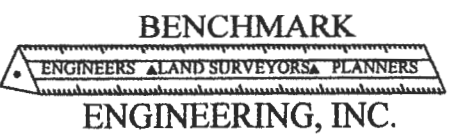
*Donald A. Mason*  
12/22/2020

DONALD A. MASON  
PROFESSIONAL LAND SURVEYOR  
MARYLAND REG. No. 21320  
FEMA FIRM No. 24027C0080D  
ZONE: X  
DATED: 11/06/2013

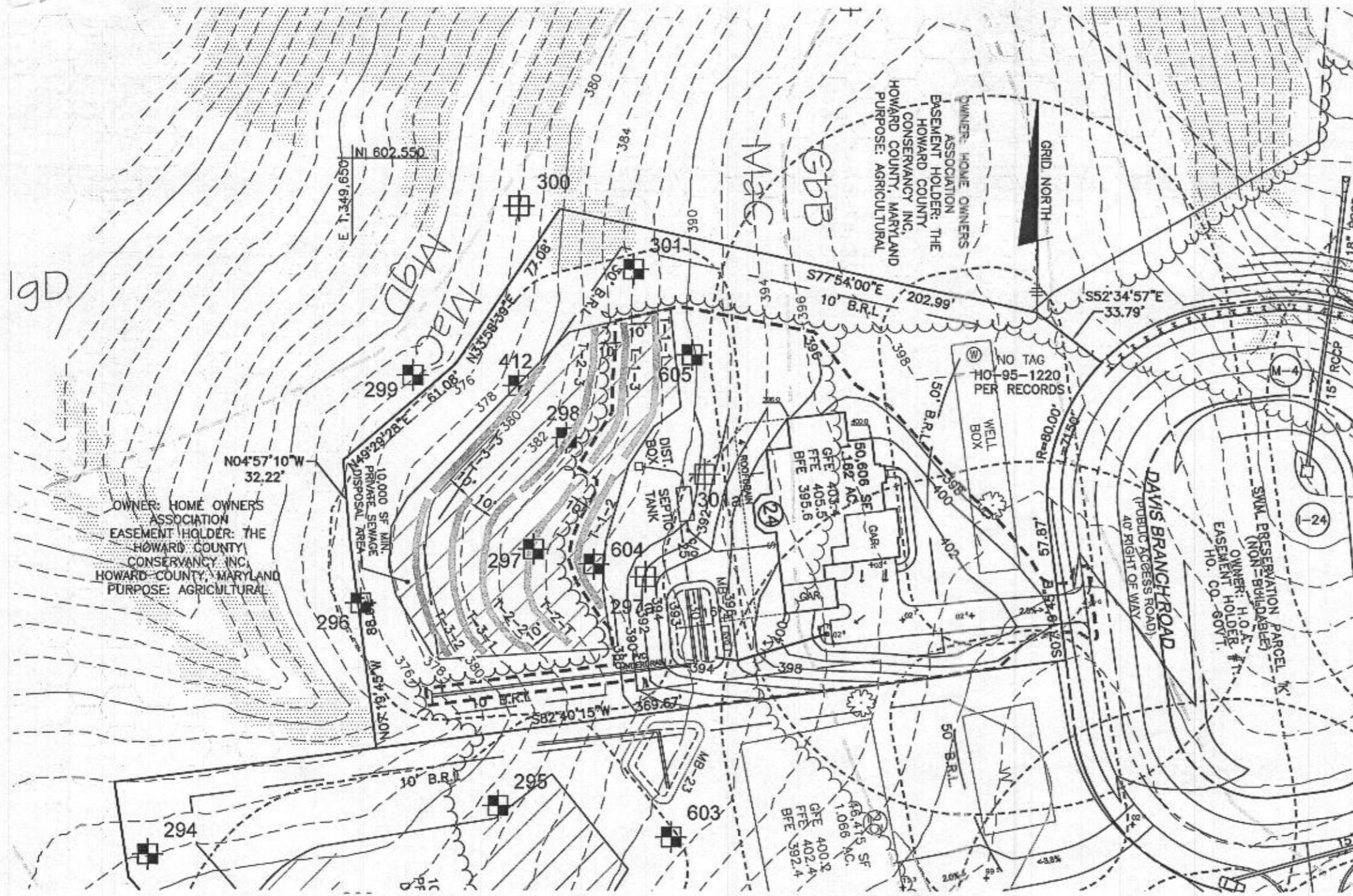
WALL CHECK  
MYRTUE PROPERTY

PLAT No. 23867  
LOT No. 24  
1957 DAVIS BRANCH ROAD

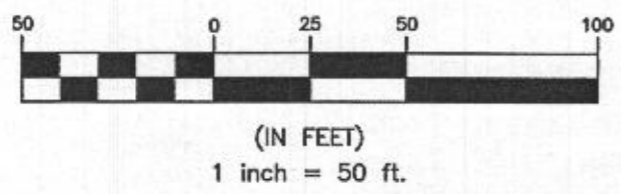
3rd ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
FIELD OBS. BY PJ  
COMP. BY EWF  
DRAWN BY EWF SCALE: 1" = 50' DATE: 10/30/2020



ENGINEERING, INC.  
8480 BALTIMORE NATIONAL PIKE SUITE 315  
ELLCOTT CITY, MARYLAND 21043  
(P) 410-465-6105 (F) 410-465-6644



**PLAN VIEW**  
1" = 50'



**OWNER/BUILDER:**  
KEYSTONE CUSTOM HOMES, INC.  
227 GRANITE RUN DR.  
SUITE 100  
LANCASTER, PA 17601  
717-464-9060

**BENCHMARK**  
ENGINEERS • LAND SURVEYORS • PLANNERS  
**ENGINEERING, INC.**  
8480 BALTIMORE NATIONAL PIKE SUITE 315  
ELLCOTT CITY, MARYLAND 21043  
(P) 410-465-6105 • (F) 410-465-6844  
WWW.BEI-CMLENGINEERING.COM

- LEGEND**
- 400 PROPOSED CONTOURS
  - 398 EXISTING CONTOURS
  - 400 EXISTING PRIVATE SEWAGE AREA
  - PROPOSED PRIVATE SEWAGE DISPOSAL AREA
  - EXISTING WELL BOX
  - PROPOSED TREELINE
  - EXISTING TREELINE
  - SOILS MAP SYMBOL
  - SOILS DELINEATION LINE
  - PERC TEST PASSED
  - PERC TEST FAILED

Approved Septic System Plan  
Howard County Health Department  
2000-gal Saffle Tank  
to Gravity Distribution  
for 6-Bedroom SED  
R. Buckner 6/30/2020  
Signature Date

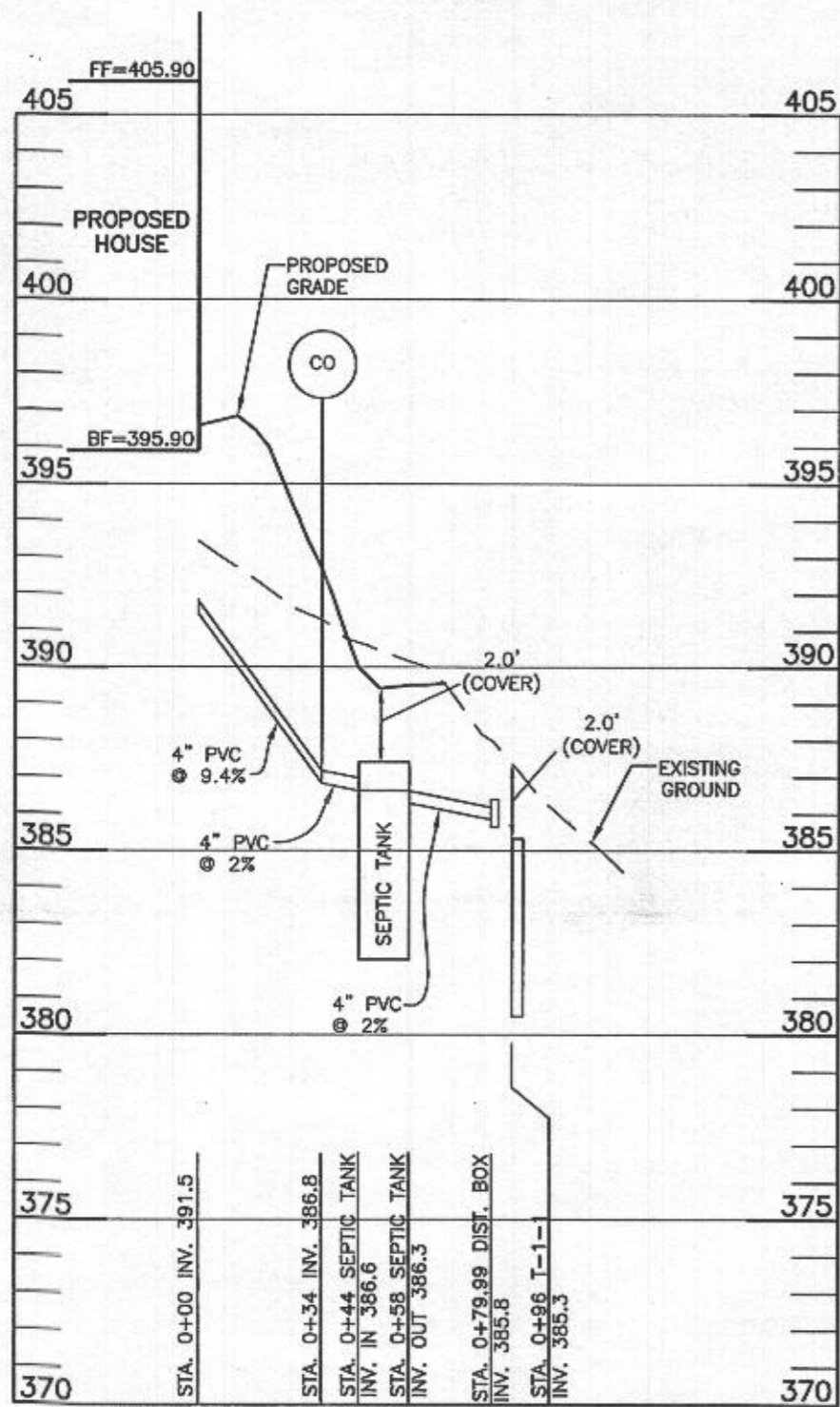
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2021.



5-19-20

PROJECT:	MYRTUE PROPERTY LOT 24	
LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1957 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404	
TITLE:	ONSITE SEWAGE DISPOSAL PLAN	
HOUSE TYPE:	CUSTOM - KEYSTONE HOMES	
DATE:	MAY, 2020	PROJECT NO. 2099
SCALE:	AS SHOWN	DRAWING 2 OF 3

HEALTH DEPARTMENT SPEC SHEET INFORMATION - LOT 24			
System	Application Rate	Effective Depth	Bottom Depth
Initial System	0.8	3.0	6.0
1st Replacement	0.8	6.0	8.0
2nd Replacement	0.6	4.0	8.0



LOT 24 OSDS  
SCALE: 1"=50' HORIZ., 1"=5' VERT.

TRENCH DESIGN - LOT 24					
<b>INITIAL SYSTEM</b>					
T-1-1	LENGTH 62.5 ft	T-1-2	LENGTH 62.5 ft	T-1-3	LENGTH 62.5 ft
	GROUND ELEVATION 387.4		GROUND ELEVATION 387.1		GROUND ELEVATION 385.0
	INVERT ELEVATION 385.4		INVERT ELEVATION 385.1		INVERT ELEVATION 383.0
	MAX BOTTOM ELEVATION 381.4		MAX BOTTOM ELEVATION 381.1		MAX BOTTOM ELEVATION 379.0
<b>1ST REPLACEMENT SYSTEM</b>					
T-2-1	LENGTH 78.2 ft	T-2-2	LENGTH 78.2 ft	T-2-3	LENGTH 78.2 ft
	GROUND ELEVATION 385.0		GROUND ELEVATION 383.2		GROUND ELEVATION 383.2
	INVERT ELEVATION 383.0		INVERT ELEVATION 381.2		INVERT ELEVATION 381.2
	MAX BOTTOM ELEVATION 377.0		MAX BOTTOM ELEVATION 375.2		MAX BOTTOM ELEVATION 375.2
<b>2ND REPLACEMENT SYSTEM</b>					
T-3-1	LENGTH 69.5 ft	T-3-2	LENGTH 69.5 ft	T-3-3	LENGTH 69.5 ft
	GROUND ELEVATION 381.5 ft		GROUND ELEVATION 379.9 ft		GROUND ELEVATION 379.9 ft
	INVERT ELEVATION 379.5		INVERT ELEVATION 377.9		INVERT ELEVATION 377.9
	MAX BOTTOM ELEVATION 373.5		MAX BOTTOM ELEVATION 371.9		MAX BOTTOM ELEVATION 371.9

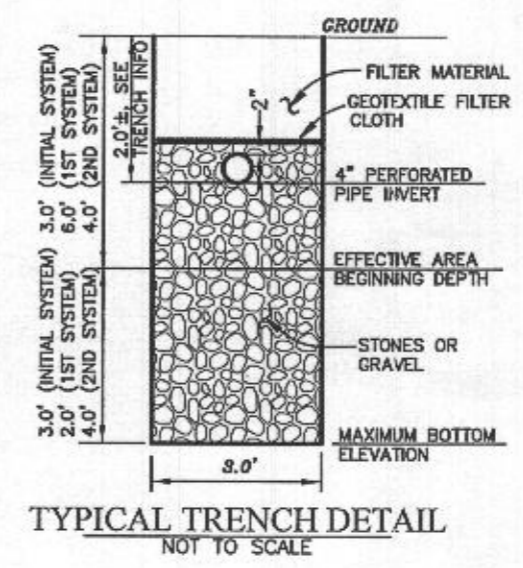
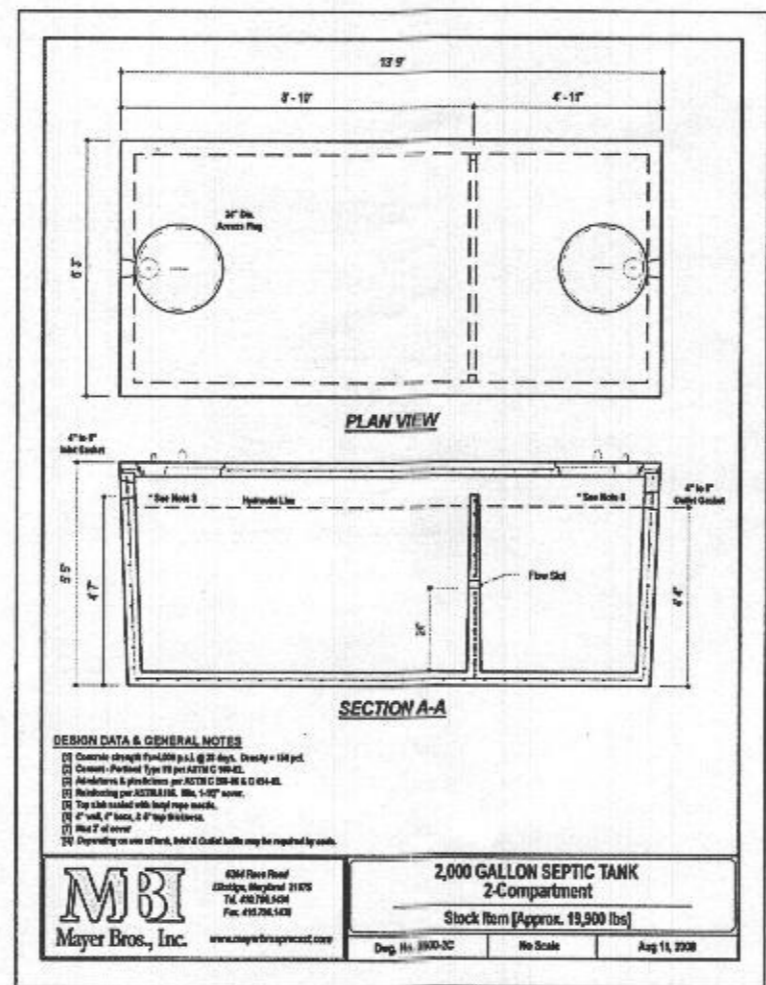
SEPTIC INVERT CHART - LOT 24	
INV @ HOUSE	391.5
GROUND @ HOUSE	396.6
INV IN SEPTIC TANK	386.6
INV OUT SEPTIC TANK	386.3
TOP OF SEPTIC TANK	388.1
GROUND OVER SEPTIC TANK	389.5

INITIAL SYSTEM		
Number of Bedrooms	6	
Application Rate	0.8	gpd/sf
Effective Area Beginning Depth	3.0	ft
Bottom Max Depth	6.0	ft
Design Flow	900	gpd
Drainage Field square footage	1125	sf
Sidewall Reduction Credit	0.50	
Trench width	3	ft
Effective Area Depth	3	ft
Trench Spacing	10	ft
Linear Length of trench Required	188	lf

1ST REPLACEMENT SYSTEM		
Number of Bedrooms	6	
Application Rate	0.8	gpd/sf
Effective Area Beginning Depth	6.0	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	1125	sf
Sidewall Reduction Credit	0.63	
Trench width	3	ft
Effective Area Depth	2	ft
Trench Spacing	10	ft
Linear Length of trench Required	234	lf

2ND REPLACEMENT SYSTEM		
Number of Bedrooms	6	
Application Rate	0.6	gpd/sf
Effective Area Beginning Depth	4.0	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	1500	sf
Sidewall Reduction Credit	0.42	
Trench width	3	ft
Effective Area Depth	4	ft
Trench Spacing	11	ft
Linear Length of trench Required	208	lf

*Howard County Health Department*  
 2000-gal Septic Tank  
 to Gravity Distribution  
 for 6-Bedroom SFD  
 R. Pinker  
 Signature  
 6/30/2020  
 Date



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2021.



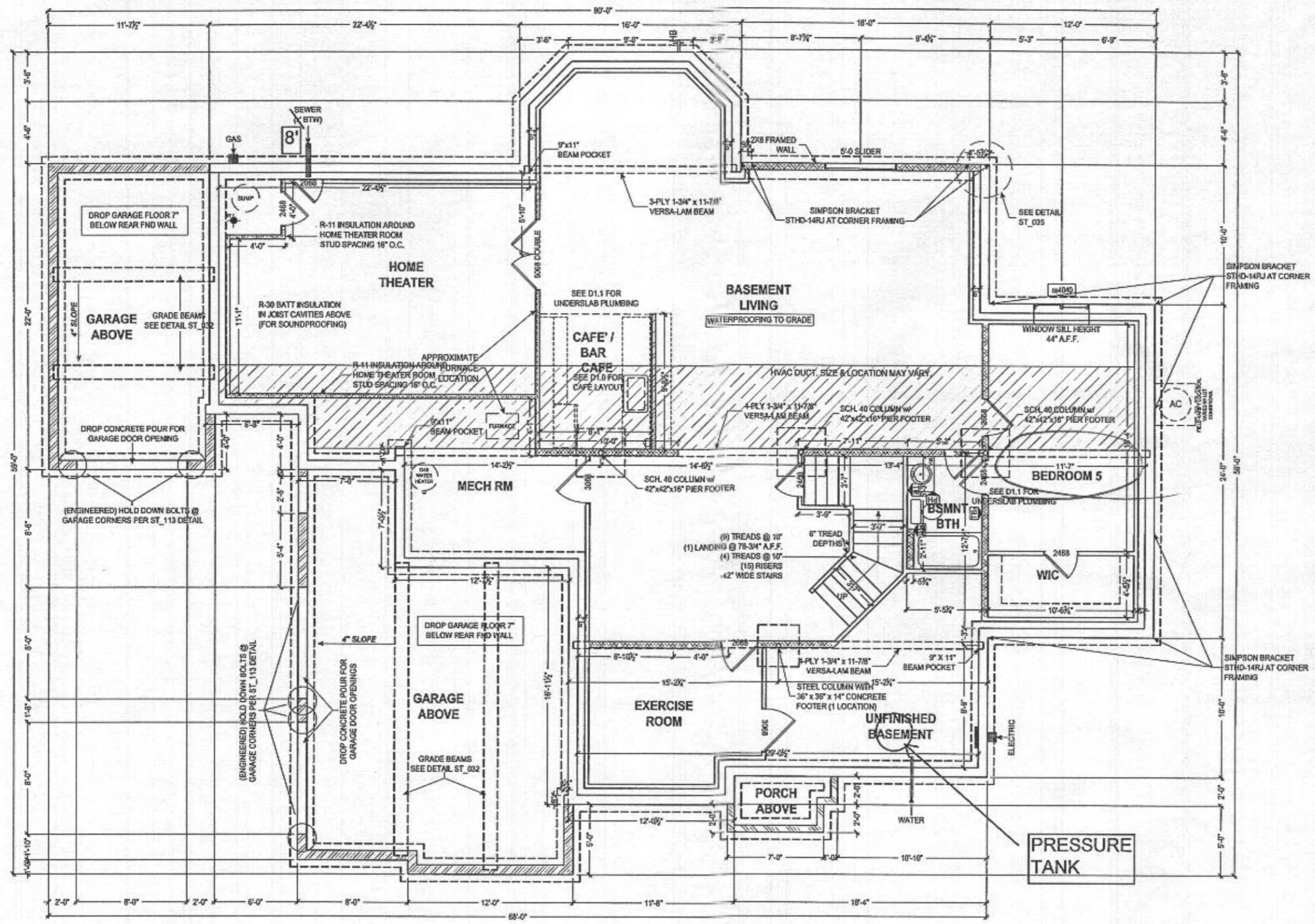
PROJECT:	MYRTUE PROPERTY LOT 24		
LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1957 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404		
TITLE:	ONSITE SEWAGE DISPOSAL PLAN		
HOUSE TYPE:	CUSTOM - KEYSTONE HOMES		
DATE:	MAY, 2020	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	3 OF 3

OWNER/BUILDER:  
KEYSTONE CUSTOM HOMES, INC.  
227 GRANITE RUN DR.  
SUITE 100  
LANCASTER, PA 17601  
717-464-9060

BENCHMARK  
ENGINEERS & LAND SURVEYORS & PLANNERS  
ENGINEERING, INC.  
8480 BALTIMORE NATIONAL PIKE SUITE 315  
ELLCOTT CITY, MARYLAND 21043  
(P) 410-465-6105 & (F) 410-465-6844  
WWW.BEI-CIVILENGINEERING.COM

The architect, design, drawings, and content of this plan is the property of Keystone Custom Homes, Inc. and is protected under copyright law. Reproduction in any form without express written consent is strictly prohibited. All copyright notices are published by United States Copyright Law (Title 17, United States Code) and the Service Corporation for the Intellectual Production of Literary and artistic works. Patent and International Copyright protection have been secured in original and copied drawings, plans, and related works, concepts and designs, and in applicable to international and intellectual property laws, and protection for specific sketchy designs both civil and criminal.

**KEYSTONE CUSTOM HOMES**  
 227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601  
 PHONE: (717) 464-9060 • FAX: (717) 735-2304 • KeystoneCustomHomes.com



SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

**FOUNDATION PLAN**  
 SCALE: 1/8" = 1'-0"

- = 6" THICK POURED CONCRETE WALLS  
CHECK P.O. FOR WALL HEIGHT OF FRONT PORCH WALLS
- = 8" THICK POURED CONCRETE WALLS  
8'-0" HIGH MAIN HOUSE WALLS STANDARD
- = 8" THICK POURED CONCRETE WALLS  
CHECK P.O. FOR WALL HEIGHT OF CRAWL SPACE AND GARAGE WALLS

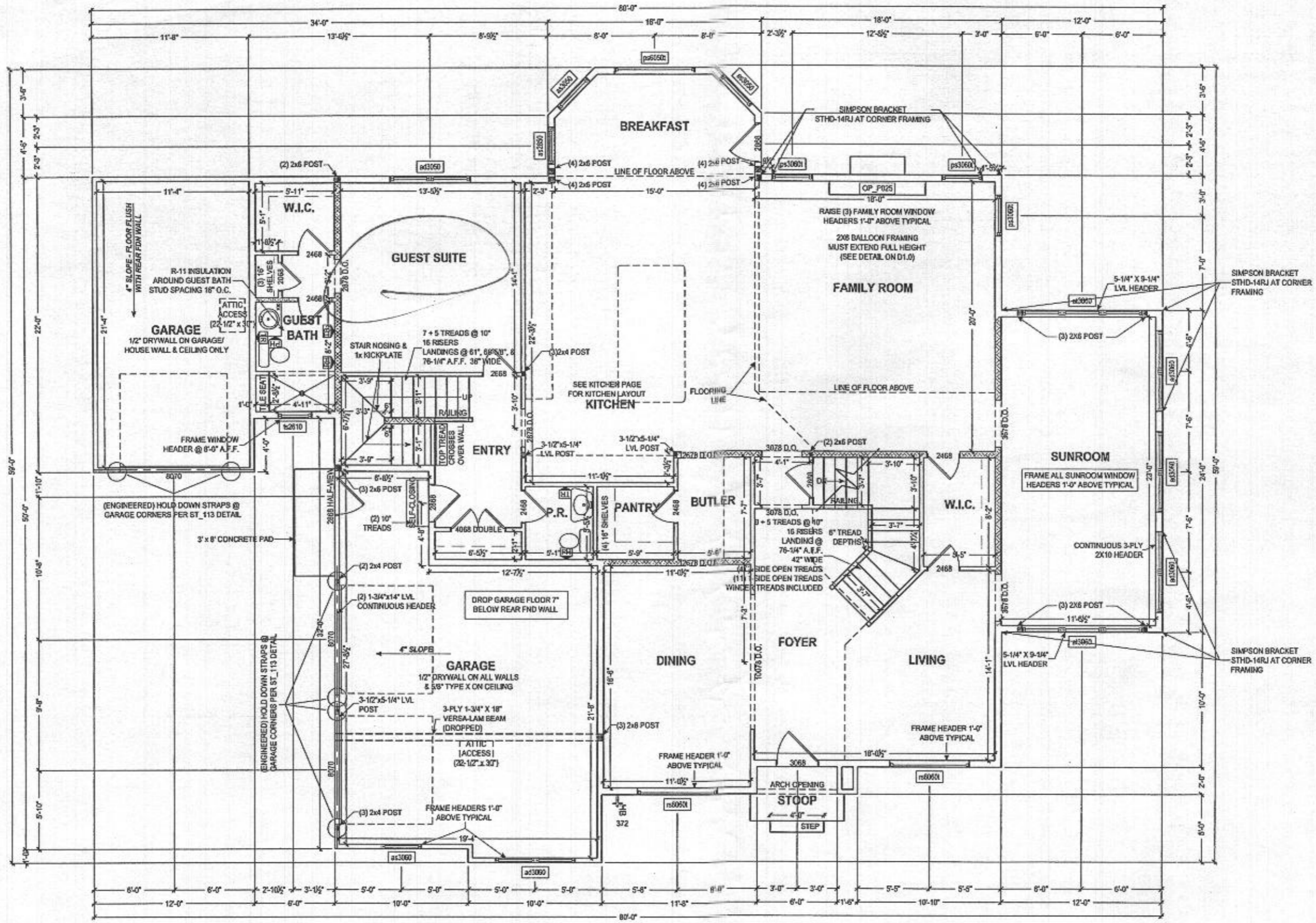
NOTE TO HOMEOWNER(S):  
 LOCATIONS SHOWN FOR HVAC, PLUMBING, AND OTHER MECHANICAL ITEMS WILL BE USED IF POSSIBLE. ACTUAL PLACEMENT OF FURNACE, WATER HEATER, SUMP PIT, ETC. MAY VARY DUE TO INDIVIDUAL SITE REQUIREMENTS.

SHEET DESCRIPTION: FOUNDATION PLAN  
 MODEL: MRS024 PORNADA  
 ISSUED: MAR 4 2020  
 SCALE: AS NOTED  
 DRAWN BY: E.WEAVER  
 SHEET NO. P1.1  
 PLAN ID: ads10

© COPYRIGHT 2015

The architectural design, drawings, and content of this form is the property of Keystone Custom Homes, Inc. and is protected under copyright law. Reproduction in any form without express written consent is strictly prohibited. All copyrighted works are protected by United States Copyright Law (Title 17, United States Code) and the Berne Convention for the International Protection of Literary and Artistic Works. Federal and International Copyright protection laws extend to original and creative designs, plans, architectural forms, concepts and designs, and is applicable to electronic and digital information technologies, and provides for specific statutory damages both civil and criminal.

**KEYSTONE CUSTOM HOMES**  
 227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17604  
 PHONE: (717) 464-6660 • FAX: (717) 735-2034 • KeystoneCustomHomes.com



SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2015 IRC. THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM. CONCEALED

R-11 BATT INSULATION BETWEEN ENTIRE 1st & 2nd FLOOR

**FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SHEATHING (METHOD #3, PER ST\_112)

GYPSUM BOARD, TWO SIDES (METHOD #5, PER ST_111)	2x6 INTERIOR WALL	INTERIOR HALF WALL	FRAMING POST

SHEET DESCRIPTION:  
 FIRST FLOOR PLAN

MODEL:  
 MRs024  
 PONNADA

ISSUED:  
 MAR 4 2020

SCALE:  
 AS NOTED

DRAWN BY:  
 E.WEAVER

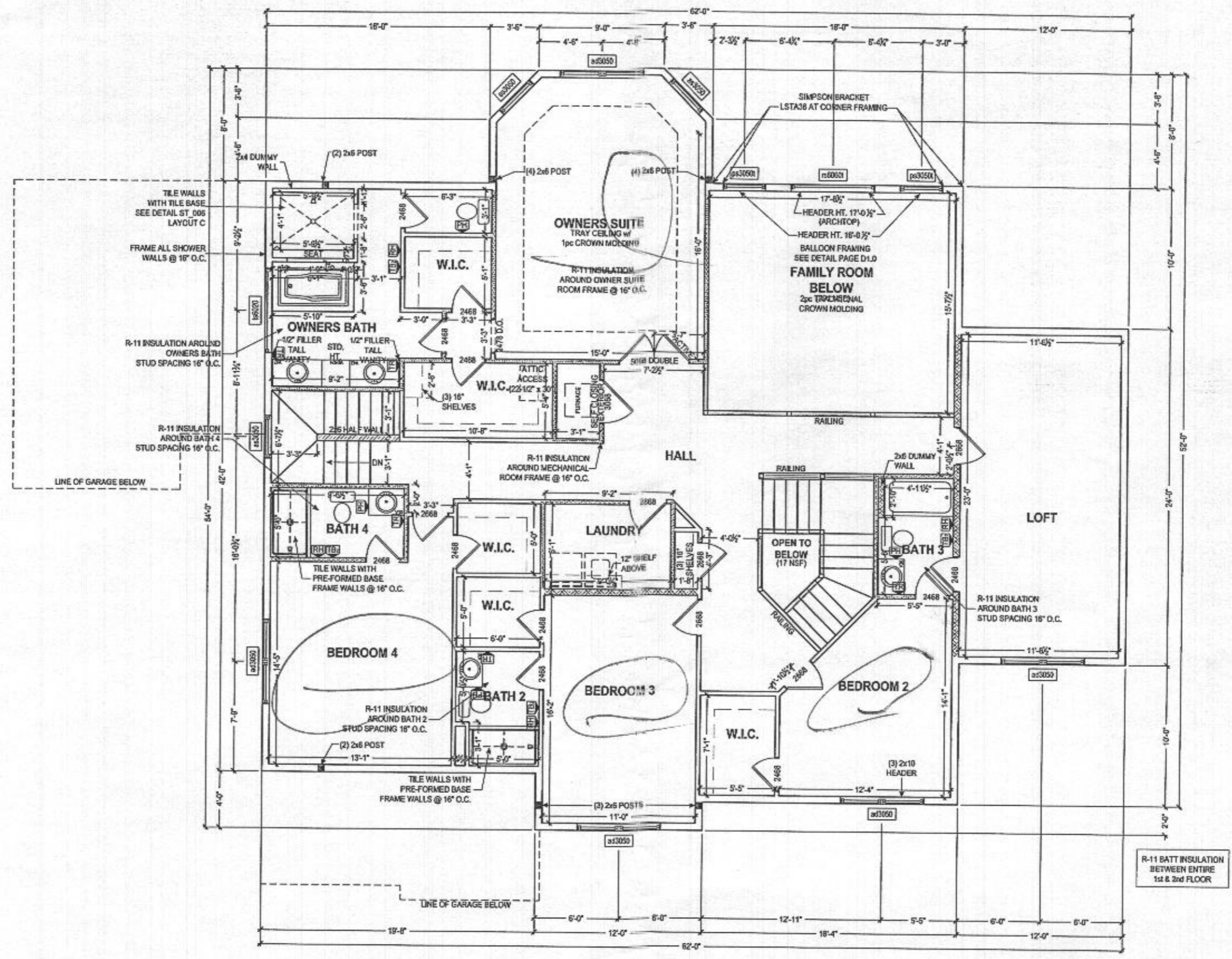
SHEET NO.  
**P1.0**

PLAN ID:  
 ads10

© COPYRIGHT 2015

The architectural design, drawings, and content of this plan is the property of Keystone Custom Homes, Inc. and is provided under copyright law. Reproduction in any form without express written consent is strictly prohibited. All copyrighted works are protected by United States Copyright Law (Title 17, United States Code) and the International Convention for the Intellectual Protection of Literary and Artistic Works. Federal and International Copyright protection has been extended to original and modified drawings, plans, architectural works, concepts and designs, and is applicable to intellectual and physical material arrangements, and provides for specific statutory damages both civil and criminal.

**KEYSTONE CUSTOM HOMES**  
 227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601  
 PHONE: (717) 464-8888 • FAX: (717) 735-2034 • KeystoneCustomHomes.com



**SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SHEATHING (METHOD #3, PER ST\_112)

GYPSUM BOARD, TWO SIDES (METHOD #5, PER ST_111)	2 x 6 INTERIOR WALL	INTERIOR HALF WALL	FRAMING POST

SHEET DESCRIPTION:  
 SECOND FLOOR PLAN  
 MODEL:  
 MRs024  
 PONNADA

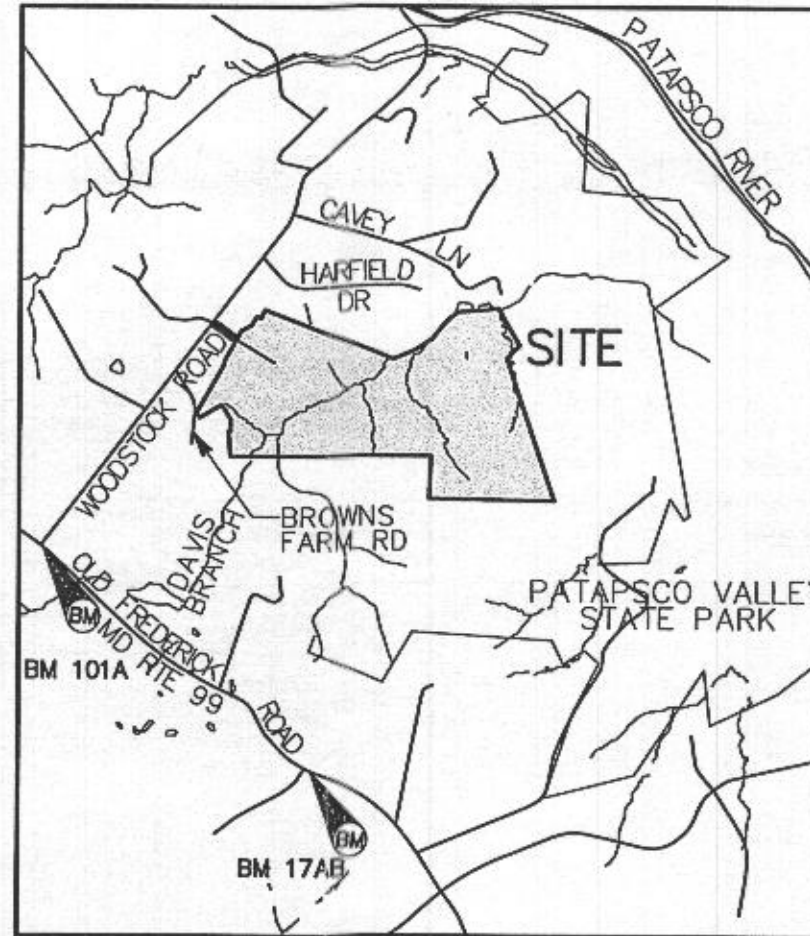
ISSUED:  
 MAR 4 2020  
 SCALE:  
 AS NOTED  
 DRAWN BY:  
 E. WEAVER

SHEET NO.  
**P1.1**  
 PLAN ID:  
 ads 10

© COPYRIGHT 2015

# GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR MYRTUE PROPERTY, PLAT NUMBER 23865. REFER TO THE PLAT FOR LOT DIMENSIONS, LOT AREA, ALL EASEMENTS AND CONDITIONS.
2. THE EXISTING WELL SHOWN ON THIS PLAN (HO-95-1220) HAS BEEN FIELD LOCATED BY DAFT, McCUNE WALKER, INC. AND IS SHOWN IN ACCORDANCE WITH THEIR SURVEY.
3. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
4. TOPOGRAPHY SHOWN WAS FLOWN BY VIRGINIA RESOURCE MAPPING, INC. DATED FEBUAURY 2003 AND SUPPLEMENTED WITH FIELD SURVEY BY DMW, INC. DATED 2005.
5. SEDIMENT AND EROSION CONTROLS WILL BE SUBMITTED BY HOWARD SOILS CONSERVATION DISTRICT AS A CUSTOM GRADING PLAN.
6. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED BUILDING PERMIT AND CUSTOM GRADING PLANS.
7. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
8. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
9. ANY ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
10. THE SEPTIC TANK WILL BE A 2000 GALLON TWO COMPARTMENT TANK.
11. THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
12. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS/OR SEPTIC SYSTEM HAVE BEEN SHOWN.
13. ANY FUTURE WELLS SHALL BE 10' FROM DRIVEWAY.



VICINITY MAP

SCALE: 1"=2000'

BENCHMARK INFORMATION NAD83	
Ho. Co. STATION 101A STAMPED DISC SET ON TOP OF CONCRETE COLUMN	Ho. Co. STATION 17AB STAMPED DISC SET ON TOP OF CONCRETE COLUMN
NORTHING: 565347.937' EASTING: 1319266.269' ELEVATION: 588.708'	NORTHING: 564468.943' EASTING: 1318257.375' ELEVATION: 561.105'

*Approved Septic System Plan  
Howard County Health Department  
2000 gal Septic tank  
to gravity distribution  
or 6-bed room SFD  
6/30/2020  
Date  
Signature*

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2021.



PROJECT: MYRTUE PROPERTY LOT 24	
LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1957 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404	
TITLE: ONSITE SEWAGE DISPOSAL PLAN	
HOUSE TYPE: CUSTOM - KEYSTONE HOMES	
DATE: MAY, 2020	PROJECT NO. 2099
SCALE: AS SHOWN	DRAWING 1 OF 3

OWNER/BUILDER:  
KEYSTONE CUSTOM HOMES, INC.  
227 GRANITE RUN DR.  
SUITE 100  
LANCASTER, PA 17601  
717-464-9060

BENCHMARK  
ENGINEERS • LAND SURVEYORS • PLANNERS  
ENGINEERING, INC.  
8480 BALTIMORE NATIONAL PIKE & SUITE 315  
ELLCOTT CITY, MARYLAND 21043  
(P) 410-485-8105 • (F) 410-485-8644  
WWW.BEI-CVILENGINEERING.COM