

Save Reset Cancel Help

Approved  
R/E 6/29/2021

Record Detail \* (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Alteration/SFD	B21001497	05/04/2021
Description of Work		
SFD/ REMODEL EXISTING KITCHEN, PANTRY, SUNROOM, & HALF BATH, APPROXIMATELY 465 SQ FT		

check spelling

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
3117	FOX VALLEY	DR	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.97491	39.28511
City	State	Zip Code	Primary
WEST FRIENDSHIP	MD	21794	Yes

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
899357	42	1.14	252600	780500	527900	RURAL

Legal Description

IMPLOT 40 1.14 A [3117 FOX VALLEY DR] WEST FRIENDSHIP EST S 1

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	40	603000	5				
Plan Area	State Tax Id	Subdivision Name					
	1403319008						
Section	Area	Tax Map					
		15					
Grid	Zoning District	ADC Map					
15-21	RC-DEO	4813-D5					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.	Primary				
11434			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	1997	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	3-04	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name \*

THORSTENSEN BJORN E

Address Line 1

3117 FOX VALLEY DR

Address Line 2

Address Line 3

Mail City

WEST FRIENDSHIP

Mail State

MD

Mail Zip Code

21794

Phone

240-385-2507

E-mail

Cell Number

Fax Number

Professionals (This section is not required.)

Search    Reset    Clear

License # *	Business Name		
08050049783	TALON CONSTRUCTION INC		
License Type *	First Name	Middle Name	Last Name
MHIC Co	PAUL		ROSNER
Primary	Address Line 1		
Yes	302 E. 4TH STREET		
	Address Line 2		
City	State	ZIP Code	
FREDERICK	MD	21701-0000	
Phone 1	Phone 2	Fax	
3026208604		0000000000	
E-mail			
PAUL@TALON-CONSTRUCTION.COM			

Applicant (This section is not required.)

Search    As Owner    As Lic. Prof    As Contact

Type *	First Name	MI	Last Name
Applicant	Brady		Rosner
Relationship	Full Name		
Applicant	Brady Rosner		
Primary	Organization Name		
No	Talon Construction Inc.		
	Street Address		
	302 East 4th Street		
	Address Line 2		
City	State	Zip Code	
Frederick	MD	21701	
Phone	Cell	Fax	
240-385-2507			
E-mail *			
brady@talon-construction.com			

Contact (This section is not required.)

Search    As Owner    As Lic. Prof    As Contact

Type	First Name	MI	Last Name
Contact	Brady		Rosner
Relationship	Full Name		
Licensed Professional	Brady Rosner		
Primary	Organization Name		
Yes	Talon Construction Inc.		
	Street Address		
	302 East 4th Street		
	Address Line 2		
City	State	Zip Code	
Frederick	MD	21701	
Phone	Cell	Fax	
240-385-2507			
E-mail			
brady@talon-construction.com			

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
85000	0	0	No
Construction Type			
434 - Additions, Alterations and Conversions - Residential			

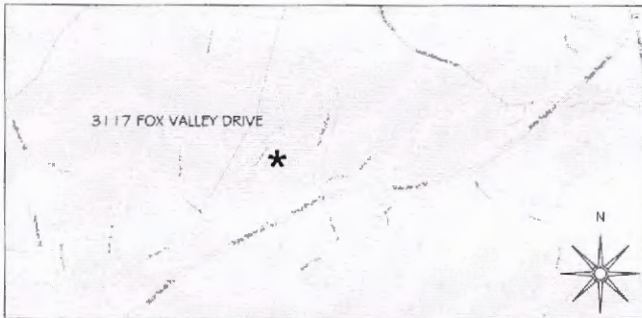
RESIDENTIAL ALTERATION INFO

RESIDENTIAL ALTERATION INFORMATION

Total Square Footage *	Bedrooms	Full Baths	Half Baths	Water *	Sewage *	Existing Utilities *
465 SQFT				Private	Private	Gas
Existing Heating System *	Existing Sprinkler System *	Type of New Fireplace	Expiration Date	Fee Exempt *		
Natural Gas	None	--Select--	11/10/2021	<input type="radio"/> Yes <input checked="" type="radio"/> No		

PAYMENT INFORMATION

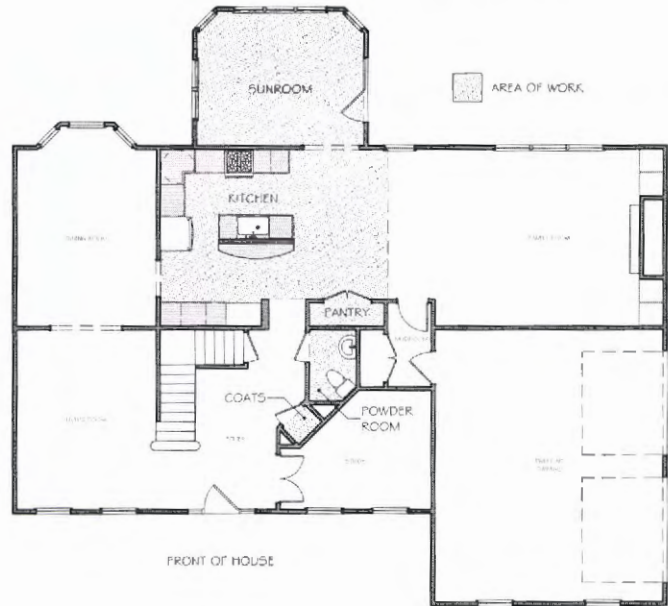
# THORSTENSEN KITCHEN REMODEL



**2**  
**A-0** LOCATION MAP  
SCALE: NTS

**GENERAL NOTES:**

- 1 ALL WORK SHALL COMPLY WITH THE 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), THE 2015 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE AND ALL OTHER APPLICABLE CODES, REGULATIONS AND ORDINANCES.
- 2 ALL WORK SHALL BE COMPLETED BY EXPERIENCED TRADESMEN.
- 3 ANY INCONSISTENCIES FOUND BETWEEN THE DRAWINGS AND EXISTING CONDITIONS OR BETWEEN THE DRAWINGS THEMSELVES SHALL BE REPORTED TO THE DESIGNER AND CONTRACTOR, AND SHALL BE WORKED OUT IN THE FIELD.
- 4 DRAWINGS ARE TO BE READ AND NEVER SCALED.
- 5 PROTECT ALL JOBSITE CONDITIONS NOT SPECIFICALLY AFFECTED BY THE WORK.
- 6 THE CONTRACTOR SHALL MAINTAIN THE JOBSITE FREE AND CLEAR OF TRASH AND DEBRIS.
- 7 FOLLOW INDUSTRY GUIDELINES AND REGULATIONS FOR SELECTION, APPLICATION AND INSTALLATION OF EACH MATERIAL.
- 8 FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK.
- 9 CONTRACTORS SHALL FURNISH AND INSTALL ALL WORK AND MATERIALS AS MAY BE PROPER AND SUITABLE PREPARATION BASIS, SUPPORT OR FINISH FOR THE WORK WHICH IS SHOWN ON THE DRAWINGS WHETHER OR NOT THE SAME IS SPECIFICALLY MENTIONED.



**1**  
**A-0** EXISTING FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

- EXISTING EXTERIOR WALLS
- EXISTING INTERIOR WALLS
- AREA OF WORK

RESIDENTIAL CODE FUNCTION, DESIGN PARALLEL 1.1.5				116, FC 201.6				
GROUND (SNOW LOAD)	WIND SPEEDS	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINDSPEED CATEGORY	TERRACE	DECK
			WIND	ICE	WATER			
30 PSF (1.4 kN/m²)	115 MPH (1.85 kN/m²)	3	SEVERE	NO	NO	NO	NO	NO



**TALON CONSTRUCTION**  
1400 CHERRY HILL DRIVE  
300 EAST 80 STREET  
FARMERS, MD 21741  
(301) 441-1000

**PERMIT DRAWINGS**

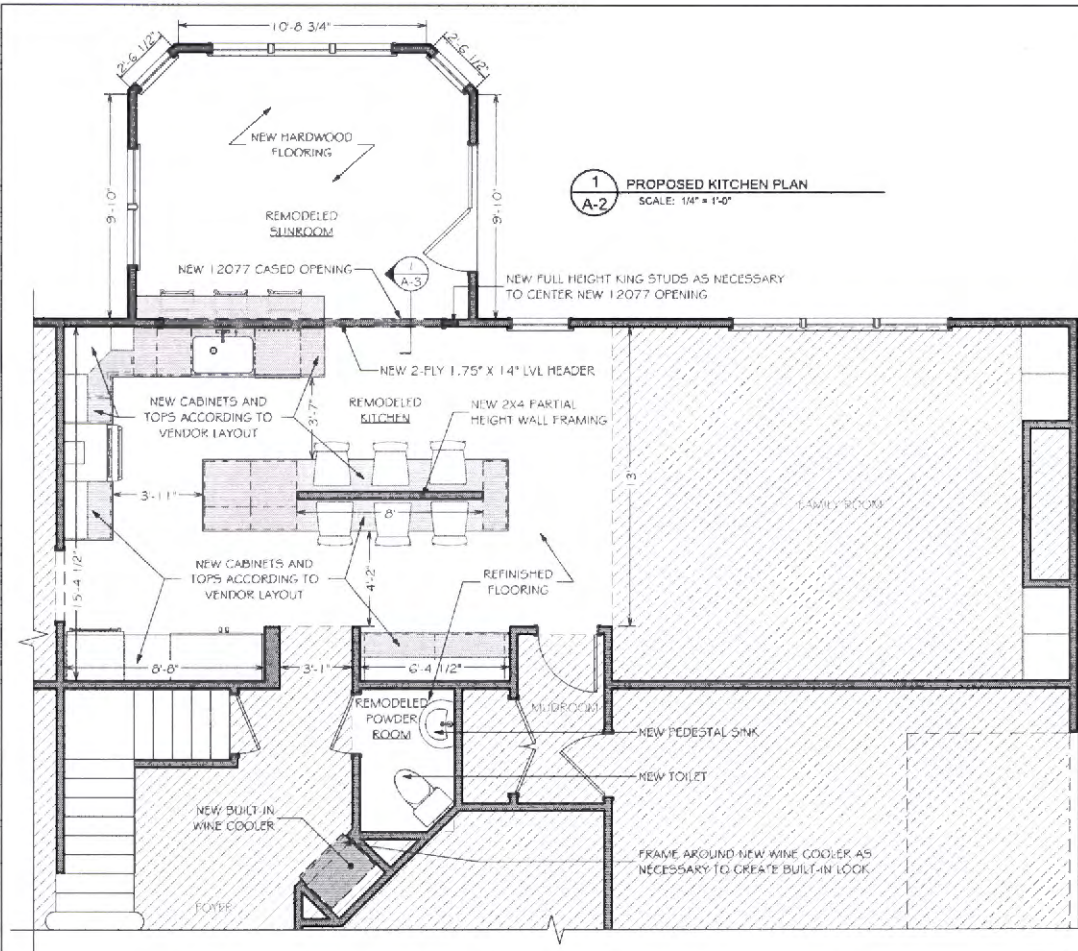
**THORSTENSEN RESIDENCE**  
3117 FOX VALLEY DRIVE  
WEST FRIENDSHIP, MD 21784  
HOWARD COUNTY

**EXISTING FLOOR PLAN**

MARCH 26, 2021

**A-0**





**CONSTRUCTION NOTES**

- 1 FIELD VERIFY ALL MEASUREMENTS BEFORE STARTING WORK.
- 2 ALL DIMENSIONS SHOWN ARE TO DRYWALL FACE, ALWAYS ASSUMING 1/2" FACING MATERIAL IS OR WILL BE IN PLACE. ALLOW AN EXTRA 1/2" FOR FRAMING PLACEMENT.
- 3 ALL NEW INTERIOR WALLS AND FRAMED-IN OPENINGS ARE IMPLIED TO BE CONSTRUCTED WITH 2X4 5/8" FLANGED AT 15" O.C., MAX., 2X4 5/8" TOP PLATES, AND 2X4 BOTTOM PLATES.
- 4 HVAC - MECHANICAL LINES TO BE RE-WORKED AS NECESSARY BY LICENSED TECHNICIAN.
- 5 ELECTRICAL - ALL ELECTRICAL WIRING AND DEVICES TO BE RE-WORKED AND INSTALLED BY LICENSED ELECTRICIAN. INSTALL NEW KITCHEN APPLIANCES IN NEW LOCATIONS.
- 6 PLUMBING - INSTALL NEW KITCHEN FIXTURES IN NEW LOCATIONS. INSTALL NEW POWDER ROOM PEDESTAL SINK AND TOILET IN EXISTING LOCATIONS. ALL PLUMBING WORK TO BE RE-WORKED AND INSTALLED BY A LICENSED PLUMBER.
- 7 FRAMING - FRAME NEW PARTIAL HEIGHT WALL FOR ISLAND AS SHOWN ON PLAN. ADJUST AND FRAME IN OLD COAT CLOSET DOOR OPENING AS NECESSARY TO CREATE BUILT-IN LOCK AROUND NEW WINE COOLER UNIT.
- 8 DRYWALL - ANY WALL AND CEILING PATCHES NECESSARY TO RECEIVE 1/2" GYPSUM BOARD.
- 9 FLOORING - INSTALL NEW FLOORING IN SUNROOM PATCH FLOOR WHERE NECESSARY, AND REFINISH FLOORING THROUGHOUT FIRST FLOOR.
- 10 CABINETS AND COUNTERTOPS - INSTALL NEW KITCHEN CABINETS AND TOPS ACCORDING TO VENDOR LAYOUT.
- 11 DOORS: ALL DOORS TO REMAIN AS-IS.
- 12 WINDOWS: ALL WINDOWS TO REMAIN AS-IS.
- 13 TRIM: INSTALL BASE BOARD AND CASING THROUGHOUT PLAN AS REQUIRED. STYLE OF ALL TRIM TO MATCH EXISTING. AND REUSE SALVAGE MATERIAL IF POSSIBLE.

- EXISTING EXTERIOR WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- NEW FULL HEIGHT KING STUDS
- NEW PARTIAL HEIGHT PARTITION WALL
- AREA NOT IN SCOPE OF WORK

**Talon**  
CONSTRUCTION

CONTRACTOR  
No. 001704000000  
201 Fox Valley Drive  
Farmingdale, NY 11735

PERMIT  
DRAWINGS

COLOR

THORSTENSEN RESIDENCE  
3117 FOX VALLEY DRIVE  
WEST FRIENDSHIP, MD 21794  
HOWARD COUNTY

ISSUE: REVISION

DATE OF REVISION

REVISIONS ARE TO BE MADE BY THE ARCHITECT. ALL REVISIONS MUST BE APPROVED BY THE ARCHITECT AND THE ENGINEER. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE REVISIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE ORIGINAL DRAWINGS.

ISSUING DATE

PROPOSED FLOOR PLAN

DATE: MARCH 26, 2021

DRAWING NUMBER

**A-2**



CONTRACTOR  
TALON CONSTRUCTION  
20100 West  
Fleming Rd. #100  
Farmingdale, NY

PERMIT  
DRAWINGS

DATE:

THORSTENSEN RESIDENCE  
3117 FOX VALLEY DRIVE  
WEST FRIENDSHIP, MD 21794  
HOWARD COUNTY

CLIENT:

SCOPE OF PROJECT  
REMODEL 2014  
KITCHEN, SUNROOM  
FIRST FLOOR  
FOUNDATION AND RETAINMENT  
WALLS FOR SUNROOM  
REMODELING AND  
FINISHING WORK

DESIGNER:

SECTION  
DETAILS

DATE:

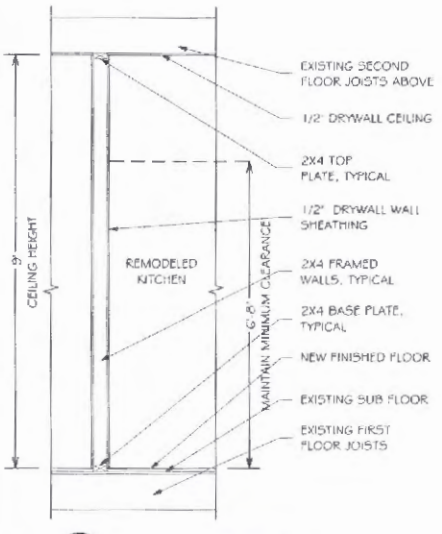
MARCH 26, 2021

DESIGNED BY:

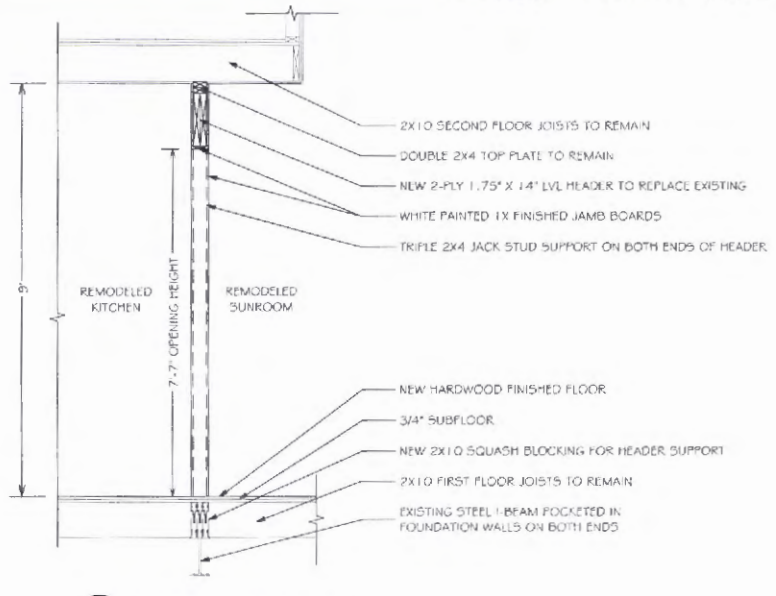
A-3

Beam Span (ft)	Beam Width	Span Carried By Beam (ft)												
		20	22	24	26	28	30	32	34	36	38	40		
6	3-1/2"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"
8	3-1/2"	7-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"
10	3-1/2"	9-1/4"	9-1/2"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-7/8"	11-7/8"	11-7/8"
12	3-1/2"	11-1/4"	11-1/4"	11-7/8"	11-7/8"	14"	14"	14"	14"	14"	14"	14"	14"	14"
14	3-1/2"	14"	14"	14"	14"	16"	16"	16"	16"	16"	16"	16"	16"	16"
16	3-1/2"	16"	16"	16"	16"	18"	18"	18"	18"	18"	18"	18"	18"	18"

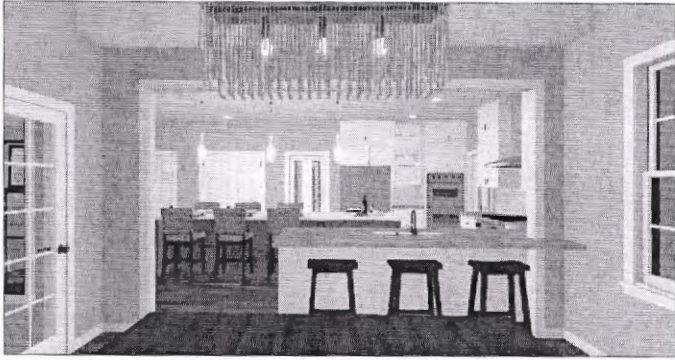
NEW 2-PLY 1.75" X 14" LVL HEADER AT KITCHEN/SUNROOM OPENING



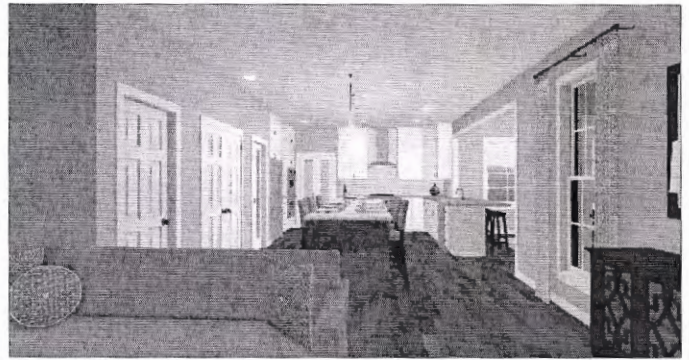
2 TYPICAL WALL SECTION DETAIL  
SCALE: 1/2" = 1'-0"



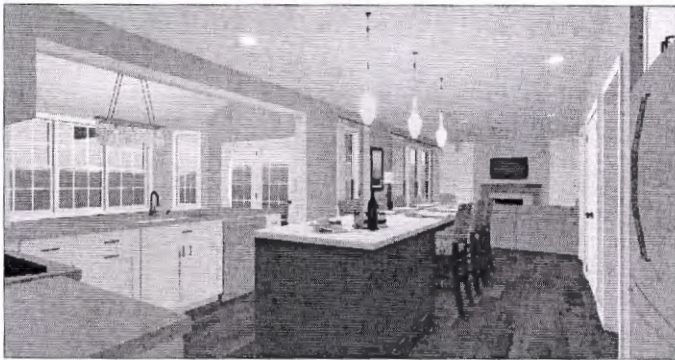
1 NEW HEADER SECTION DETAIL  
SCALE: 1/2" = 1'-0"



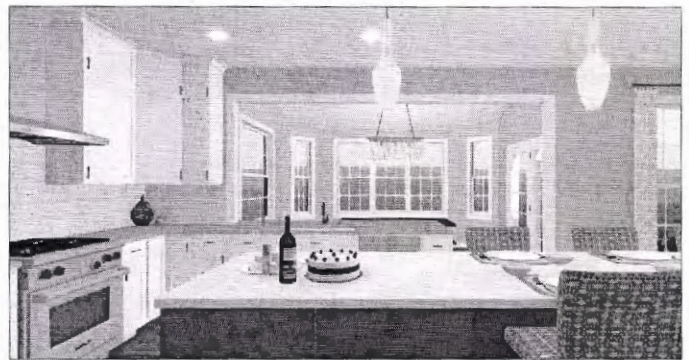
4 KITCHEN VIEW 4  
A-4 SCALE: NTS



3 KITCHEN VIEW 3  
A-4 SCALE: NTS



2 KITCHEN VIEW 2  
A-4 SCALE: NTS



1 KITCHEN VIEW 1  
A-4 SCALE: NTS



10000 WOODBURN  
LAWRENCE, MISSOURI 64503  
TEL: 816.888.8888  
WWW.TALONARCHITECTURE.COM

PERMIT  
DRAWINGS

02/27/21

THORSTENSEN RESIDENCE  
3117 FOX VALLEY DRIVE  
WEST FRIENDSHIP, MD 21754  
HOWARD COUNTY

PROJECT NUMBER  
3117 FOX VALLEY DRIVE  
WEST FRIENDSHIP, MD 21754  
ARCHITECTURE  
DATE: 02/27/21

PROPOSED  
RENDERINGS

DATE: 02/27/21

A-4