



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DATE RECEIVED: AUG 20 AM 11:5

Permit No.: **019002751**

*Health*

Building Address: 3655 Paupers Folly La  
City: Wst Friendship State: MD Zip Code: 21794  
Suite/Apt. #: \_\_\_\_\_  
Subdivision: Belvedere Estates  
Lot: 11 Tax Map: \_\_\_\_\_ Parcel: F-16-065

Existing Use: Vacant lot  
Proposed Use: Single family house  
Estimated Construction Cost: \$ 230,000

Description of Work: New 2 story "Marymount" ELV 'K' with 2 car garage, 2 car side attached garage, covered porch, 1st floor bedroom and finished lower level (Rec rm, area #2, bathroom, wet bar and bedroom)

Occupant/Tenant Name: \_\_\_\_\_  
Was tenant space previously occupied?  Yes  No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Property Owner's Name: NVR Inc  
Address: 9720 Patuxent Woods Dr  
City: Columbia State: MD Zip Code: 21046  
Phone: 410-379-5950 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (if other than stated herein)  
Applicant's Name: Decatur Building Services  
Address: PO Box 552  
City: Woodbine State: MD Zip Code: 21797  
Phone: 443-309-7792 Fax: \_\_\_\_\_  
Email: jim@decaturbuilding.com

Contractor Company: NV Homes  
Contact Person: Clint Cagle  
Address: 9720 Patuxent Woods Dr  
City: Columbia State: MD Zip Code: 21046  
License No.: 516  
Phone: 410-379-5950 Fax: \_\_\_\_\_  
Email: ccagle@nvinc.com

Engineer/Architect Company: \_\_\_\_\_  
Responsible Design Prof.: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1st floor: <u>45 x 87</u>	
Area of construction (sq. ft.):	2nd floor: <u>42 x 54</u>	
Use group:	Basement: <u>45 x 87</u>	
<b>Construction type:</b>	<input checked="" type="checkbox"/> Finished Basement	
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement	
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space	
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>6</u>	
<input type="checkbox"/> State Certified Modular	<b>Multi-family Dwelling</b>	
	No. of efficiency units:	
	No. of 1 BR units:	
	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jim Kerwin Print Name: Jim Kerwin  
Email Address: jim@decaturbuilding.com Date: 8/20/2019  
Title/Company: Agent/NV Homes

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>8/20/19</u>	<u>H. Oswald</u>

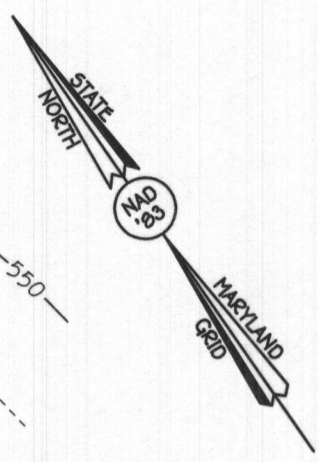
DPZ SETBACK INFORMATION	
Front:	<u>50</u>
Rear:	<u>30</u>
Side:	<u>10</u>
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>308506</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA  
T:\Operations\Updated Forms\BuildingPermitApplication03.29.2018.docx  
*re approved 2/1/06 &c to book change*  
*realine in but not approved yet (NO)*  
*LM*

**STORMWATER MANAGEMENT NOTES:**

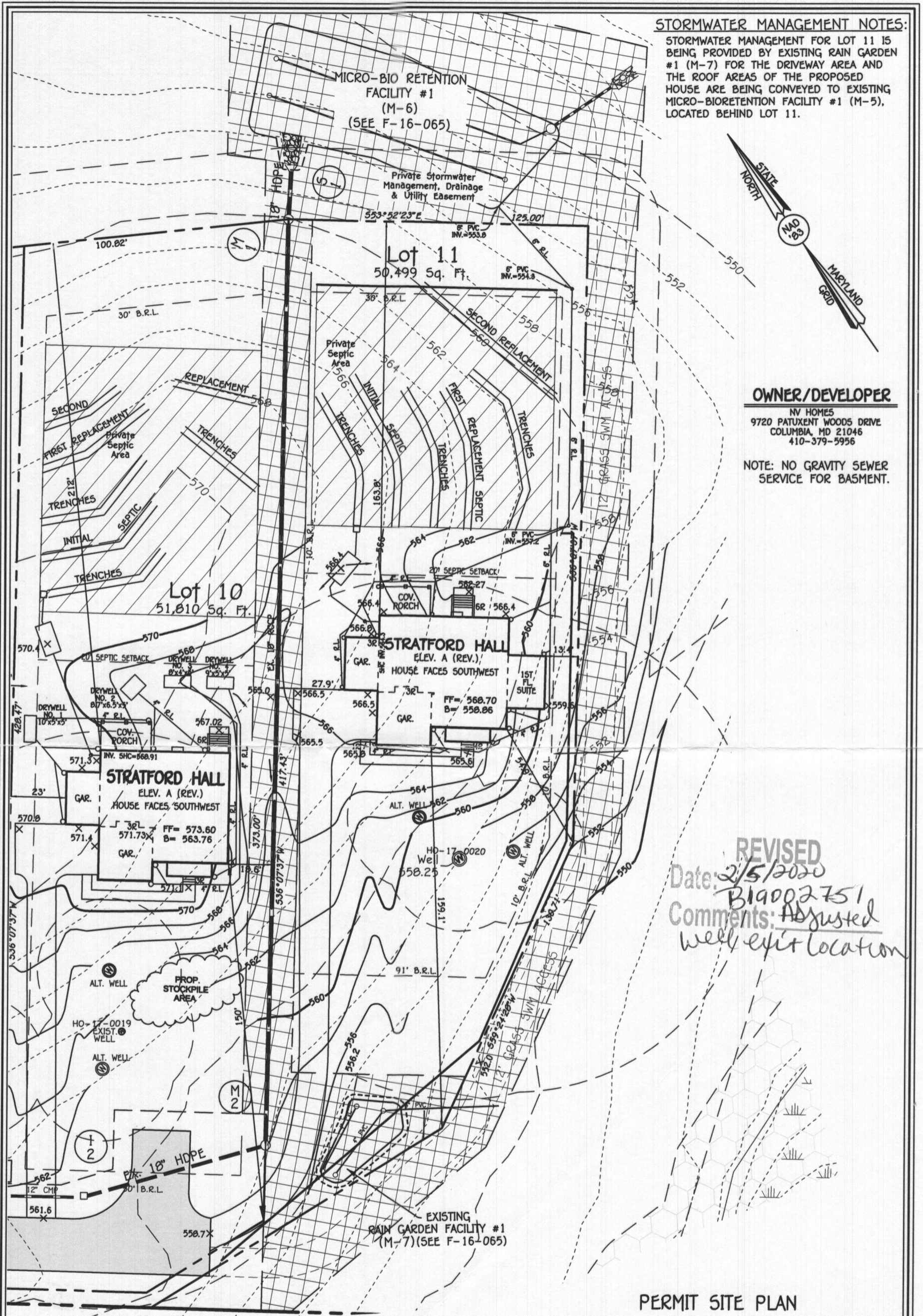
STORMWATER MANAGEMENT FOR LOT 11 IS BEING PROVIDED BY EXISTING RAIN GARDEN #1 (M-7) FOR THE DRIVEWAY AREA AND THE ROOF AREAS OF THE PROPOSED HOUSE ARE BEING CONVEYED TO EXISTING MICRO-BIORETENTION FACILITY #1 (M-5), LOCATED BEHIND LOT 11.



**OWNER/DEVELOPER**

NV HOMES  
9720 PATUXENT WOODS DRIVE  
COLUMBIA, MD 21046  
410-379-5956

NOTE: NO GRAVITY SEWER SERVICE FOR BASMENT.



REVISED  
Date: 2/5/2020  
Bl9002751  
Comments: Adjusted well exit location

NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-17-0020, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLCOTT CITY, MARYLAND 21042  
(410) 461 - 2855

**PLAN**

SCALE: 1" = 40'

Drawing Name:

**PERMIT SITE PLAN  
BELVEDERE ESTATES  
LOT 11**

3655 PAUPERS FOLLY LANE

ZONED: RC-DEO

TAX MAP NO.: 22 GRID NO.: 8 PARCELS NO.: 116 AND P/O 7

THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

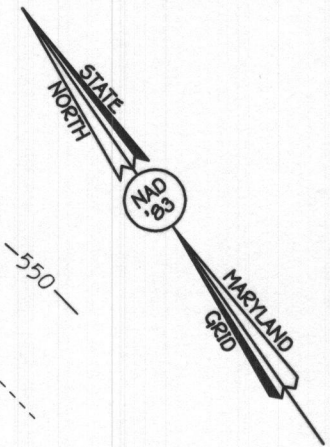
SCALE: AS SHOWN

DATE: FEB. 4, 2020

SHEET 1 OF 1

**STORMWATER MANAGEMENT NOTES:**

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REVISED

Date: \_\_\_\_\_  
Comments: \_\_\_\_\_

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**BELVEDERE ESTATES**

**LOT 11**

3655 PAUPERS FOLLY LANE

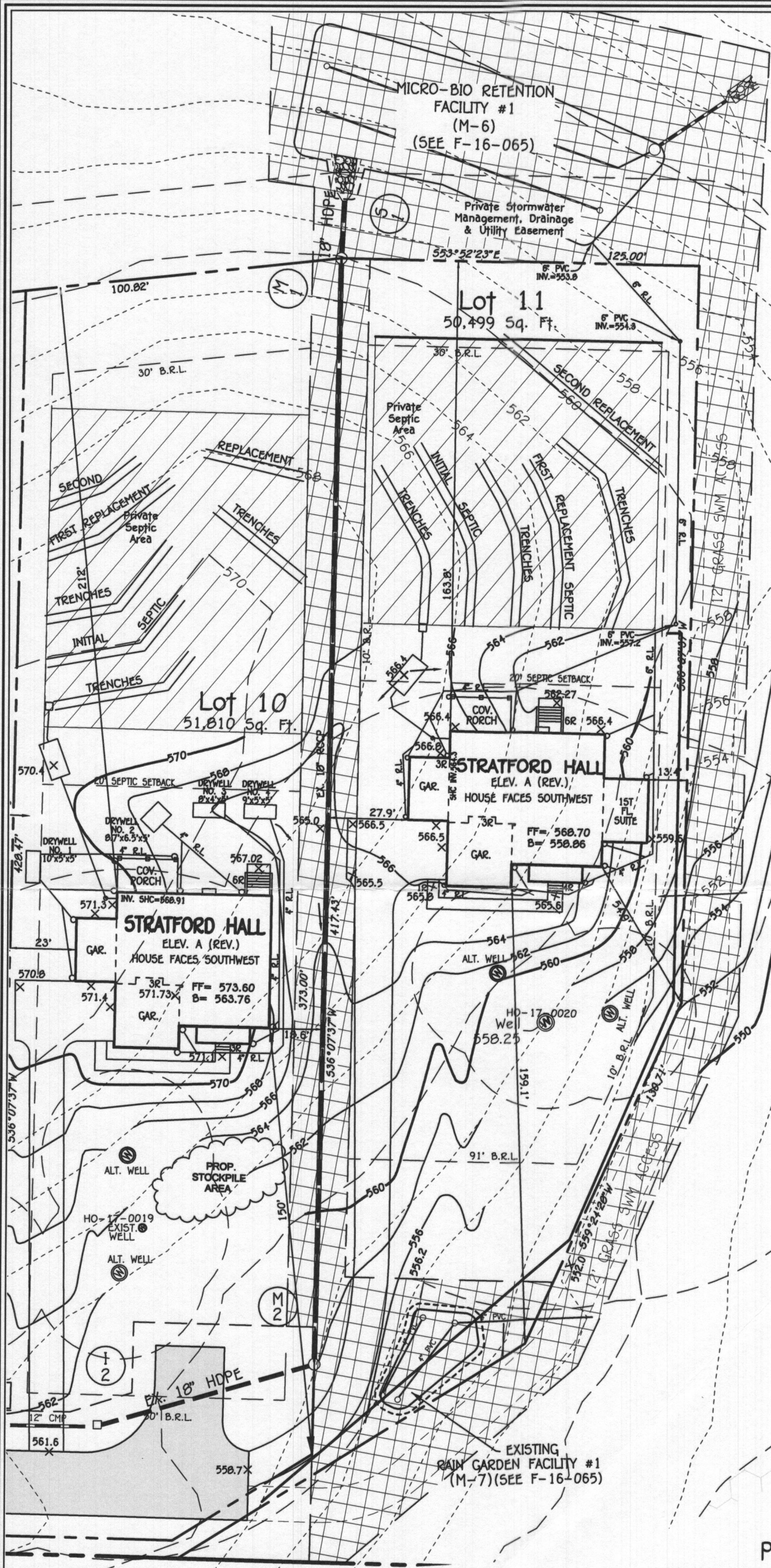
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THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN

DATE: FEB. 4, 2020

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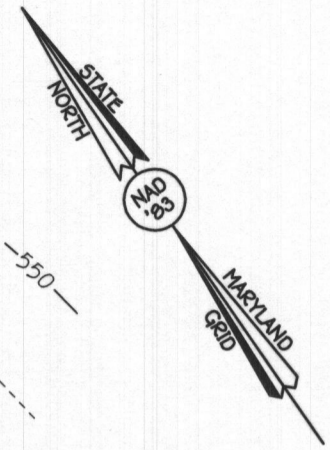
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SCALE: 1" = 40'

Drawing Name: \_\_\_\_\_

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9720 PATUXENT WOODS DRIVE  
COLUMBIA, MD 21046  
410-379-5956

NOTE: NO GRAVITY SEWER SERVICE FOR BASMENT.

REVISED

Date:

Comments:

PERMIT SITE PLAN

**BELVEDERE ESTATES**

LOT 11

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ZONED: RC-DEO

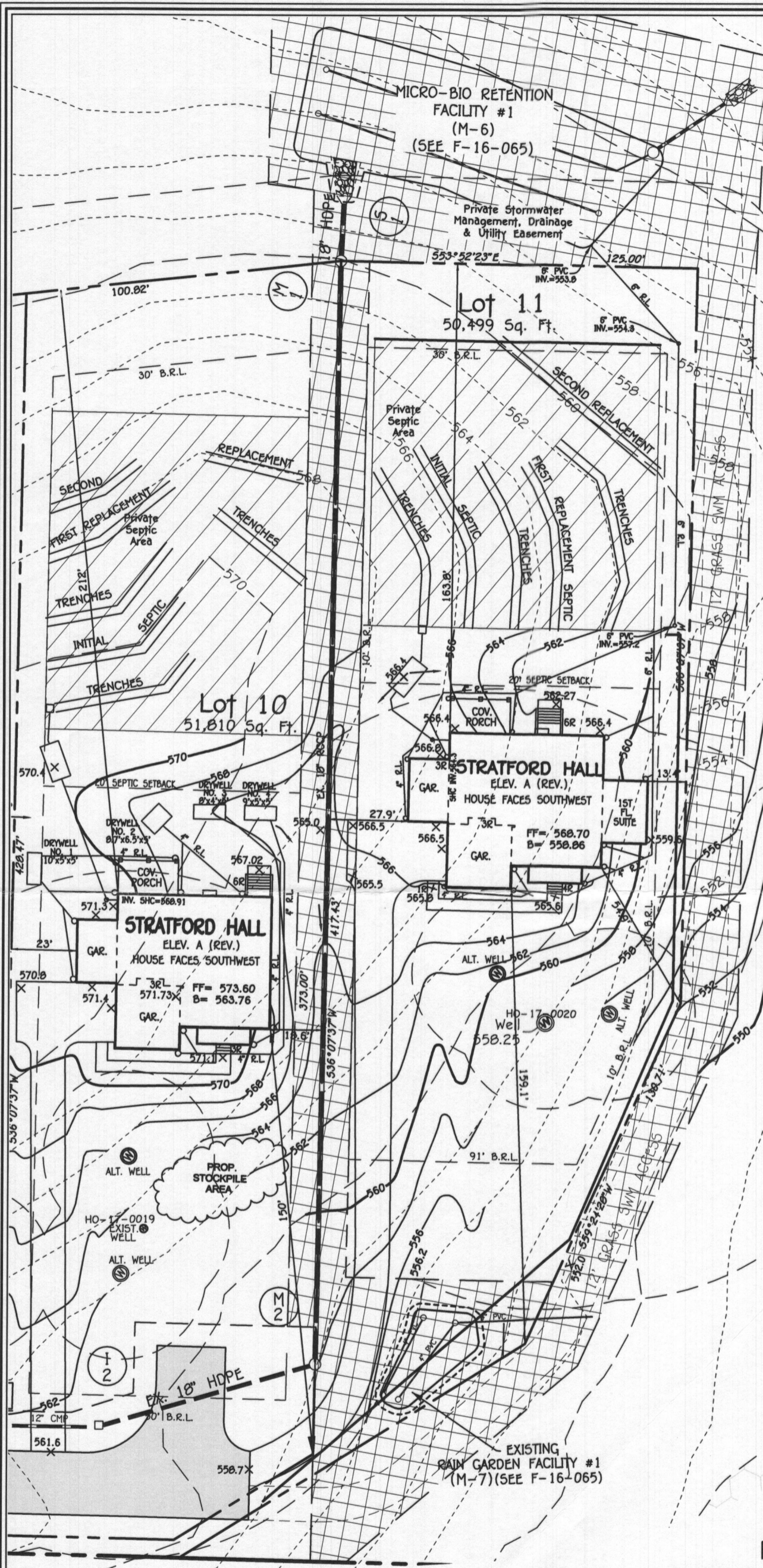
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THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN

DATE: FEB. 4, 2020

SHEET 1 OF 1



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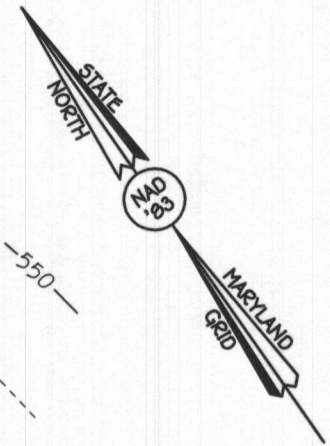
**PLAN**

SCALE: 1" = 40'

Drawing Name:

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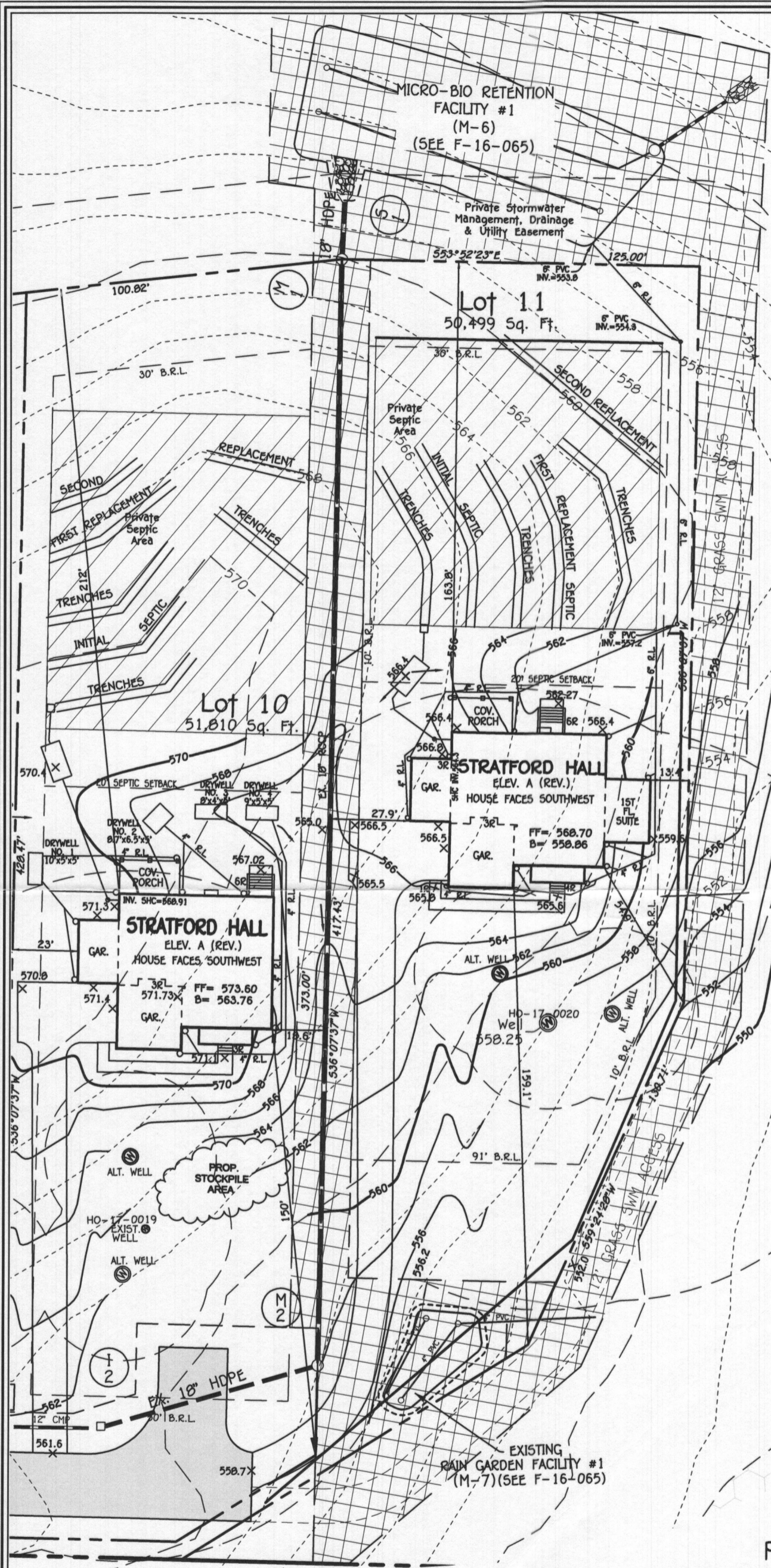
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COLUMBIA, MD 21046  
410-379-5956

NOTE: NO GRAVITY SEWER SERVICE FOR BASMENT.



REVISED  
Date: \_\_\_\_\_  
Comments: \_\_\_\_\_

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PERMIT SITE PLAN  
**BELVEDERE ESTATES**  
LOT 11

3655 PAUPERS FOLLY LANE  
ZONED: RC-DEO

TAX MAP NO.: 22 GRID NO.: B PARCELS NO.: 116 AND P\O 7  
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: FEB. 4, 2020  
SHEET 1 OF 1

**PLAN**

SCALE: 1" = 40'

Drawing Name:



072

# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: B70 000726

Building Address: 3655 PAUPERS FOLLY LANE  
 City: WEST FRIENDSHIP State: MD Zip Code: 21794  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 11  
 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Property Owner's Name: BOARMAN PROPERTY INVESTMENT  
 Address: 12126 ROUTE 216  
 City: FULTON State: MD Zip Code: 20759  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

**Applicant's Name & Mailing Address, (if other than stated herein)**  
 Applicant's Name: MICHELLE CLANC  
 Address: PO BO 310  
 City: PERR HALL State: MD Zip Code: 21128  
 Phone: 443-610-7514 Fax: \_\_\_\_\_  
 Email: MICHELLE@APPLIEDANDAPPRO ED.COM

Existing Use: SFD  
 Proposed Use: SFD /PROPANE TANK  
 Estimated Construction Cost: \$ 4,000  
 Description of Work:  
INSTALL 1000 GAL UNDERGROUND PROPANE TANK  
 Occupant/Tenant Name: OWNER  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Contractor Company: AIR GAS  
 Contact Person: DENNIS FEAGA  
 Address: 6750 MACLEAN A STE B  
 City: GLEN BURNIE State: MD Zip Code: 21060  
 License No.: 81215  
 Phone: 410-984-5681 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Engineer/Architect Company: CONTRACTOR  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	<u>Depth</u>	<u>Width</u>
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<u>Construction type:</u>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	<u>Multi-family Dwelling</u>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
<u>Roadside Tree Project Permit #</u>	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

MICHELLE CLANC  
 Applicant's Signature  
MICHELLE@APPLIEDANDAPPRO ED.COM  
 Email Address  
PERMITS  
 Title/Company

MICHELLE CLANC  
 Print Name  
3/3/2020  
 Date  
**MAR 03 2020**  
 LICENSES & PERMITS  
 DIVISION

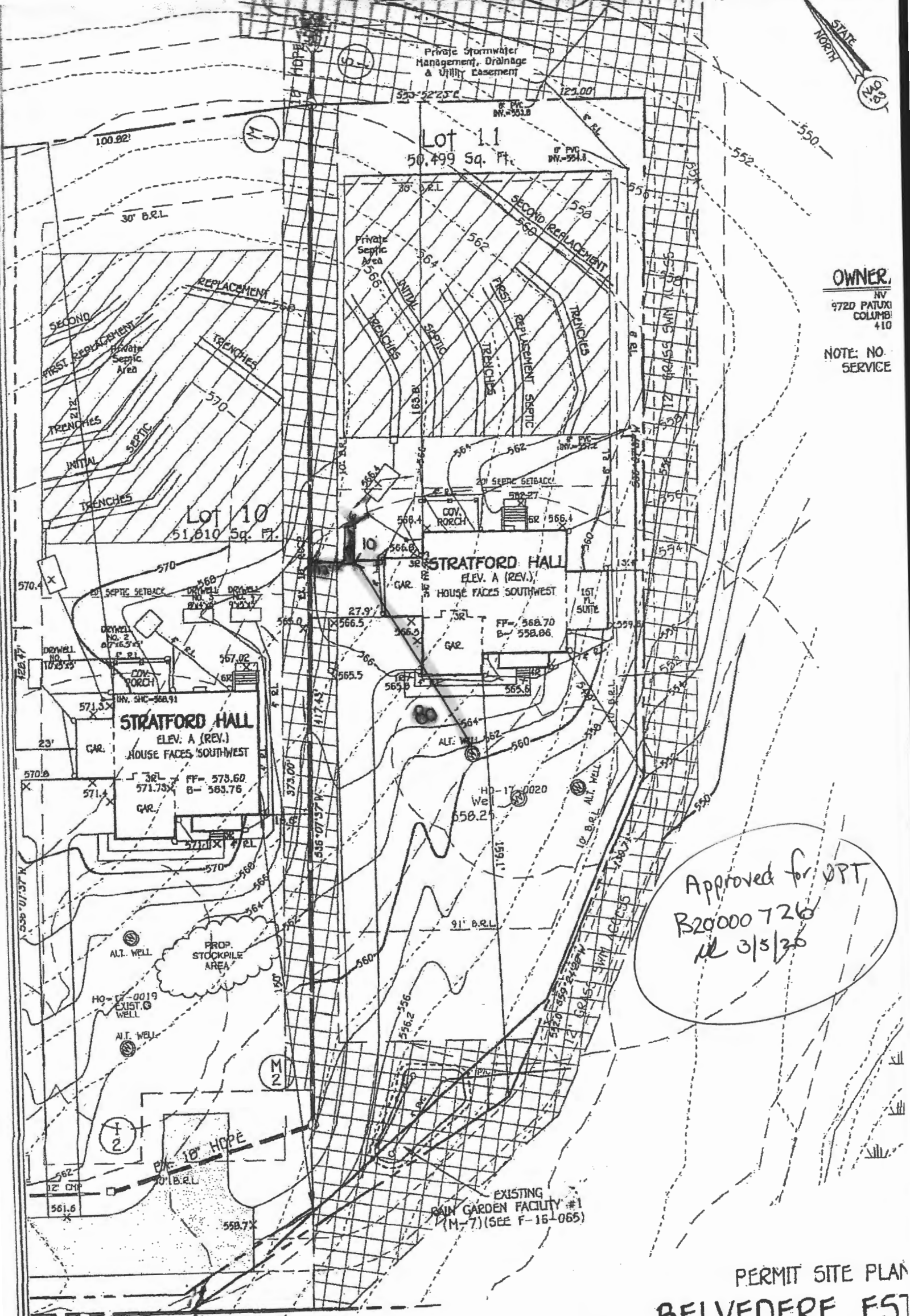
Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>3/5/20</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$
Permit Fee	\$ <u>110</u>
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#



**OWNER,**  
NV  
9720 PATUXI  
COLUMB  
410

**NOTE: NO  
SERVICE**

Approved for OPT  
R20000 726  
11/3/25

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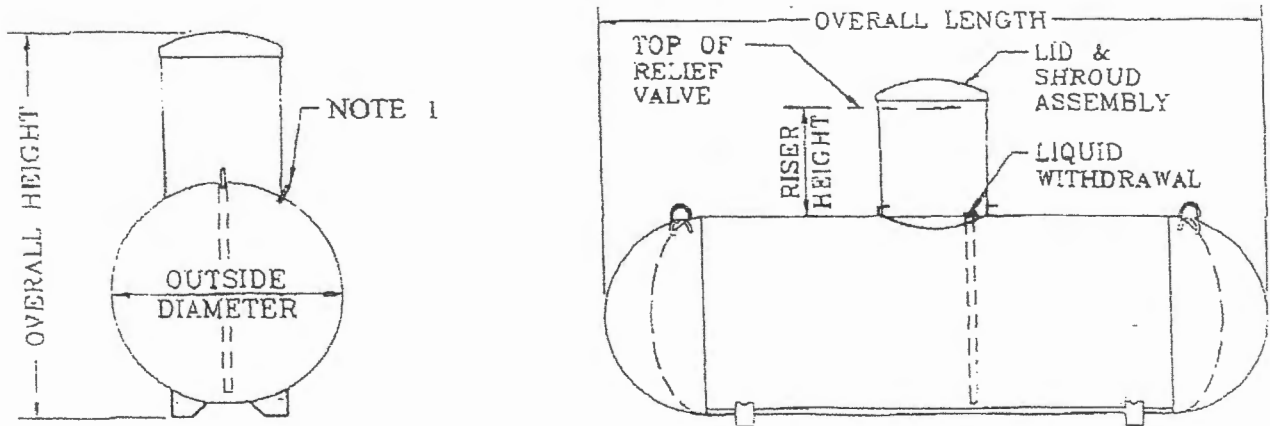
**PERMIT SITE PLAN  
BELVEDERE EST  
LOT 11  
3655 PAUPERS FOLLY LAN  
ZONED: RC-DEO  
TAX MAP NO.: 22 GRID NO.: 8 PARCELS NO.  
THIRD ELECTION DISTRICT HOWARD COUNT  
SCALE: AS SHOWN DATE: FEB.  
SHEET 1 OF 1**

**PLAN**  
SCALE: 1" = 40'

Drawing Name:

# TRINITY INDUSTRIES, INC.

## Underground Vessel



### General Specifications

Conforms to the latest edition and addenda of the ASME, Section VIII, div.1 code for Pressure Vessels. Complies with NFPA 58 and is listed by Underwriters Laboratories, Inc.

Rated at 250 psig from -20°F. to 125°F. All tanks may be evacuated to a full (14.7 psi) vacuum.

Vessel Finish: Coated with epoxy red powder.

Applicable federal, state or local regulations may contain specific requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state or local regulations.

All vessel dimensions are approximate

WATER CAPACITY	OUTSIDE DIAMETER	HEAD TYPE	OVERALL LENGTH	OVERALL HEIGHT		WEIGHT	QUANTITY IN FULL LOAD
				14" Riser Height	28" Riser Height		
120 wg 454.2 L	24" 609.6 mm	Ellip	5' - 5 7/8" 1671.6 mm	3' - 9 7/8" 1165.2 mm	4' - 8 3/8" 1431.9 mm	252 lbs. 114.3 kg	63
250 wg 946.3 L	31.5" 800.1 mm	Hemi	7' - 2 1/2" 2197.1 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	472 lbs. 214.1 kg	42
320 wg 1211.2 L	31.5" 800.1 mm	Hemi	8' - 11 3/4" 2736.9 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	588 lbs. 266.7 kg	35
500 wg 1892.5 L	37.42" 950.5 mm	Hemi	9' - 10" 2997.2 mm	4' - 11 3/8" 1506.6 mm	5' - 9 7/8" 1773.2 mm	921 lbs. 417.8 kg	25
1000 wg 3785.0 L	40.96" 1040.4 mm	Hemi	15' - 10 7/8" 4846.6 mm	5' - 2 7/8" 1597.0 mm	6' - 1 3/8" 1863.7 mm	1731 lbs. 785.2 kg	15
2000 wg 3785.6 L	46.614" 1183.9 mm	Ellip	23' - 9 3/8" 7248.5 mm	5' - 8 13/16" 1747.8 mm	6' - 7 5/16" 2014.5 mm	3685 lbs. 1671.4 kg	8

# STRATFORD HALL

DIV-COMM-LOT-UNIT  
**MDE-BV-0011**  
 COMM-LOT  
 BELVEDERE ESTATES - 0011  
 STREET ADDRESS  
 8655 PAUPERS FOLLY LANE  
 CITY WEST FRIENDSHIP STATE MD ZIP 21144



NVR, Inc.  
 5285 Westview Drive, Suite 100  
 Frederick, MD 21703

FULL BASEMENT		STANDARD DETAILS
STD. DWGS.		
SPEC SHEET	55-1	AD-1
ELEVATIONS	4	AD-1b
FOUNDATIONS	14	DR-1
FOUNDATION HOLD DOWNS	22, 23, 24, 25	DR-2
PLUMBING	26	DR-3
BASEMENT FLOOR PLAN	27	DW-2
FIRST FLOOR PLAN	29	ET-1
SECOND FLOOR PLAN	32,1	ET-1b
BUILDING SECTIONS	34, 36	ET-1c
STAIR SECTIONS	38	ET-1d
KITCHEN - BATHS	41, 42, 43, 44	ET-1f
BASEMENT ELECTRICAL	45	ET-2
FIRST FLOOR ELECTRICAL	47	ET-3a
SECOND FLOOR ELECTRICAL	50	F-1
FIRST FLOOR FRAMING	52	F-1b
SECOND FLOOR FRAMING	54	F-2
ROOF FRAMING	55, 56	F-3
TRUSS BRACING	61	F-3a
WALL BRACING LAYOUT	63	FA-1
HVAC LAYOUT	67	FC-1
HVAC LAYOUT	68	FC-2
HVAC LAYOUT	64	FC-4
HVAC LAYOUT	70	FD-1
HVAC LAYOUT	71	FD-2
HVAC LAYOUT	72	FD-2b
HVAC LAYOUT	73	FD-3
HVAC LAYOUT	74	FP-1
		GB-1
		IT-1
		IT-1b
		IT-1c
		IT-2
		JT-1
		JT-3
		JT-3a
		KT-1
		RF-1
		RF-1b
		RF-1c
		SEP-1
		SEP-2
		SEP-3
		SEP-4
		SP-1
		SP-2
		SP-3
		ST-1
		ST-2
		MB-1
		MB-2
		MD-1
		MD-2
		MD-3
		MS-1

**REVISED**  
 Date: 12/19/19  
 Comments: B19002751  
 HOUSE TYPE CHANGE  
 FROM A MARYMOUNT  
 TO A STRATFORD HALL

HEALTH

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
1ST FLOOR SUITE (ADD. SF)	352 SF
	2503 SF

SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
	2133 SF

GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
THO GAR GARAGE ELEV. 'A' OR 'K' OR 'R'	501 SF
ONE GAR SIDE ATTACHED GARAGE (ADD. SF)	314 SF
	821 SF

BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1521 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	361 SF
	1882 SF

UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
MECHANICAL ROOM	245 SF
	245 SF

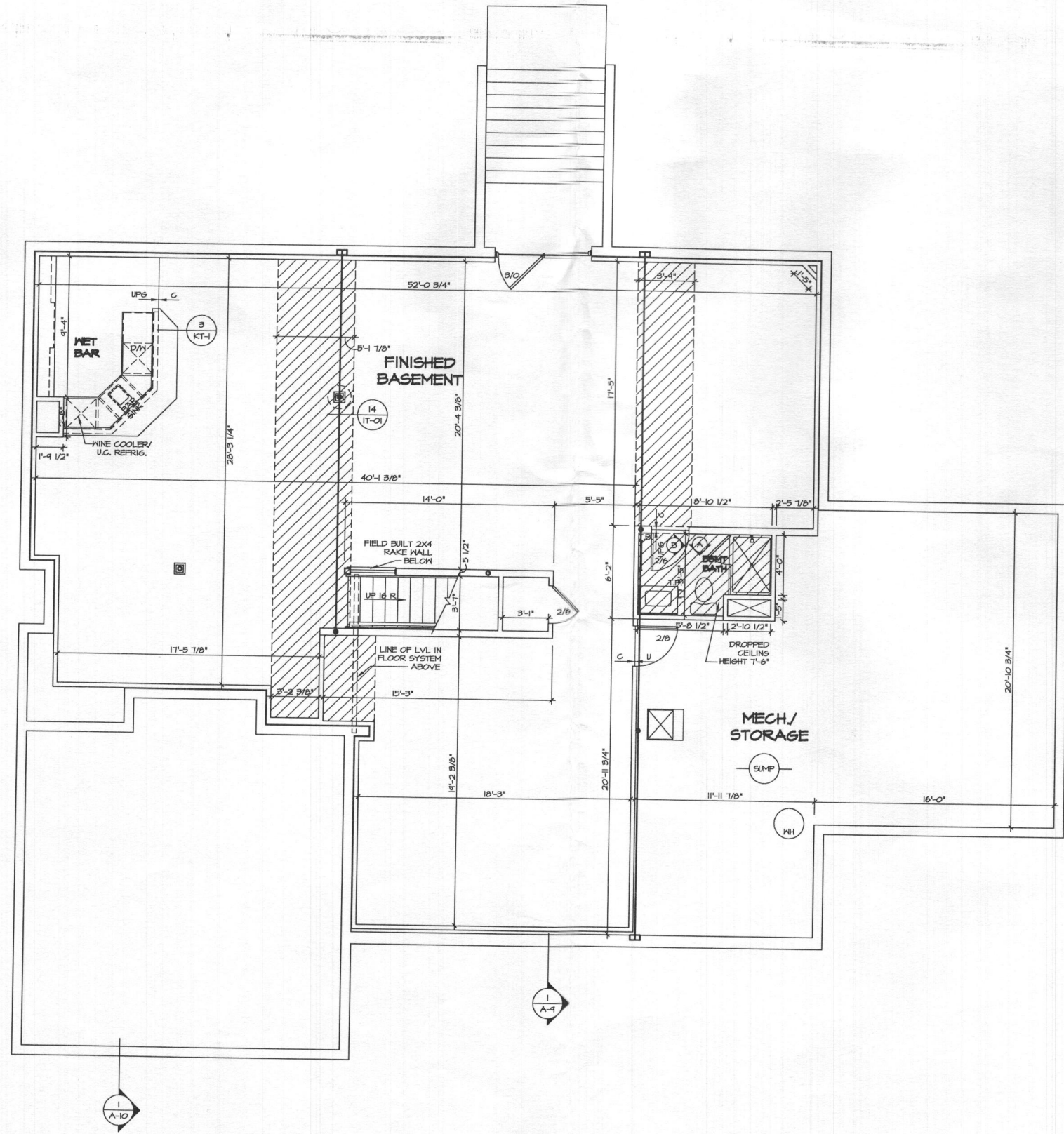
  

TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
1ST FLOOR SUITE (ADD. SF)	352 SF
2ND FLOOR (BASE SF)	2133 SF
FINISHED BASEMENT	1521 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	361 SF
	6518 SF

SET - VERSION  
 11900 - 01

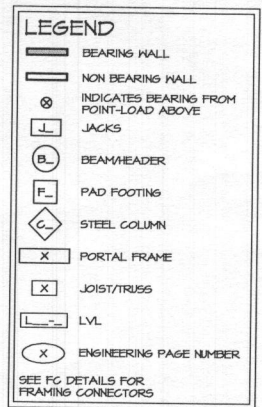
CS-1

C:\NVR\Server\STRATFORD HALL\_11900\_01\MDE-BV-0011\547954\Sheets\Lot Specific\CS-1 COVER SHEET.dwg 12/13/19 - 4:45 am



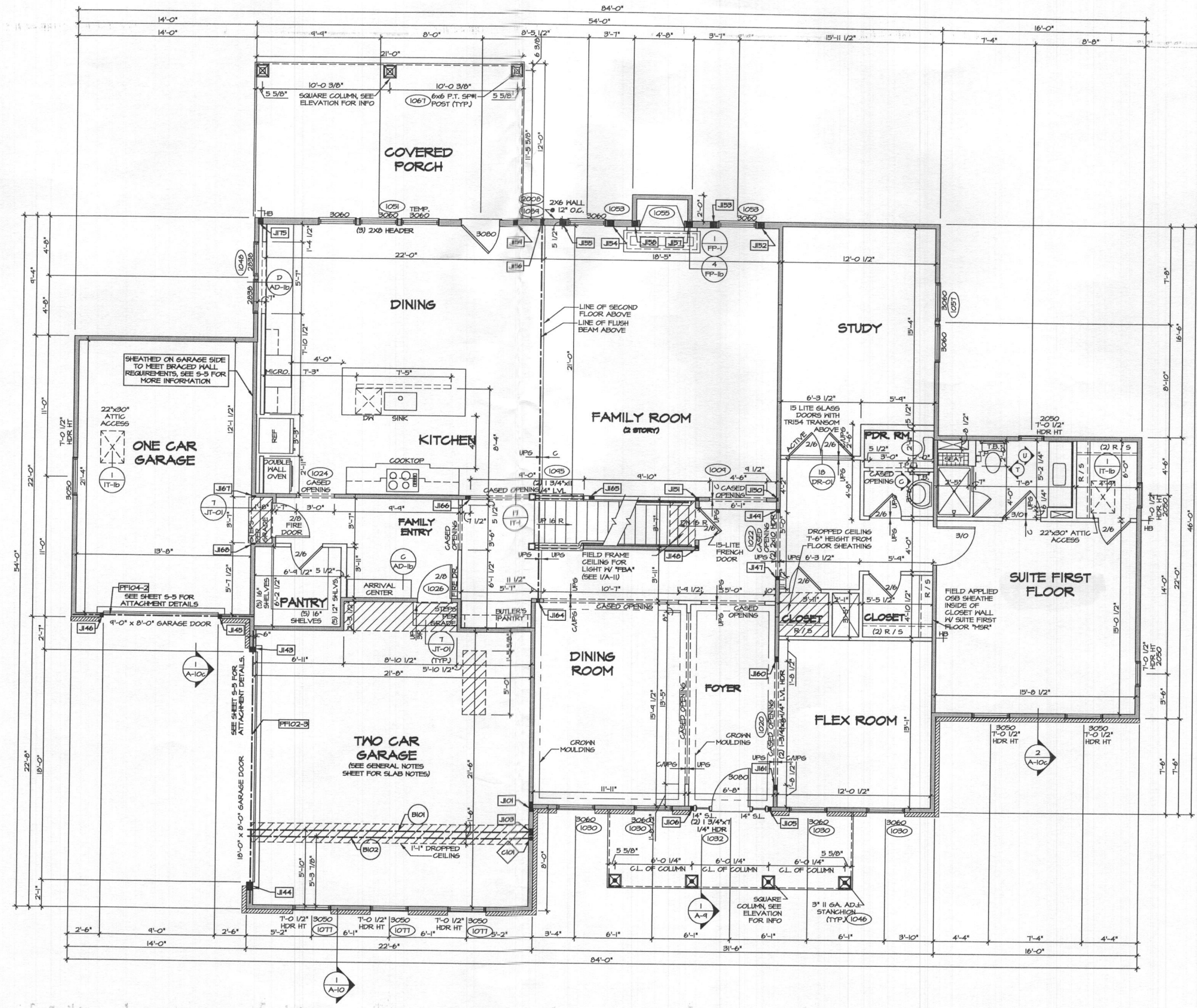
**BASEMENT FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
1. ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
  2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
  3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
  4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
  5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
  6. SEE STANDARD DETAIL CATEGORY "11" SHEET(S) FOR INTERIOR TRIM DETAILS.
  7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
  8. ALL WINDOWS HAVE 1'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
  9. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
- GYPSUM NOTES**
- AT GARAGE:  
 5/8" DRYHALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:  
 1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET
- WITH OPTION "SCI" - DRYHALL UNFINISHED BASEMENT CEILING AREA
- NOTES:**
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
  - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
  - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYHALL HAS BEEN OMITTED.



<b>SHEET NO.</b> <b>A-6</b>	<b>MODEL</b> STRATFORD HALL	<b>SET NO.</b> 11600	<b>DRAWING TITLE</b> BASEMENT FLOOR PLAN
	<b>VERSION</b> 01 <b>DRAWN BY</b> BIM	<b>DATE:</b>	<b>OPTION</b>
<b>27</b>	<b>OPTION DESCRIPTION</b>		
<p><small>© NVR, Inc. The owner expressly reserves its copyright in these plans. These plans are not to be reproduced, changed, or otherwise used in any way without the prior written consent of NVR, Inc.</small></p> <p style="font-size: 2em; font-weight: bold; letter-spacing: 0.5em;">NVR</p> <p><small>NVR, Inc. Suite 100 5285 Walkers Lane Frederick, MD 21703</small></p>			
<p><b>DIV.-COMM.-LOT-UNIT</b> MDE-BV-0011</p> <p><b>COMM.-LOT</b> BELVEDERE ESTATES - 0011</p> <p><b>STREET ADDRESS</b> 5665 PAUPERS FOLLY LANE</p> <p><b>CITY</b> WEST FRIENDSHIP <b>STATE</b> MD <b>ZIP</b> 21794</p>			

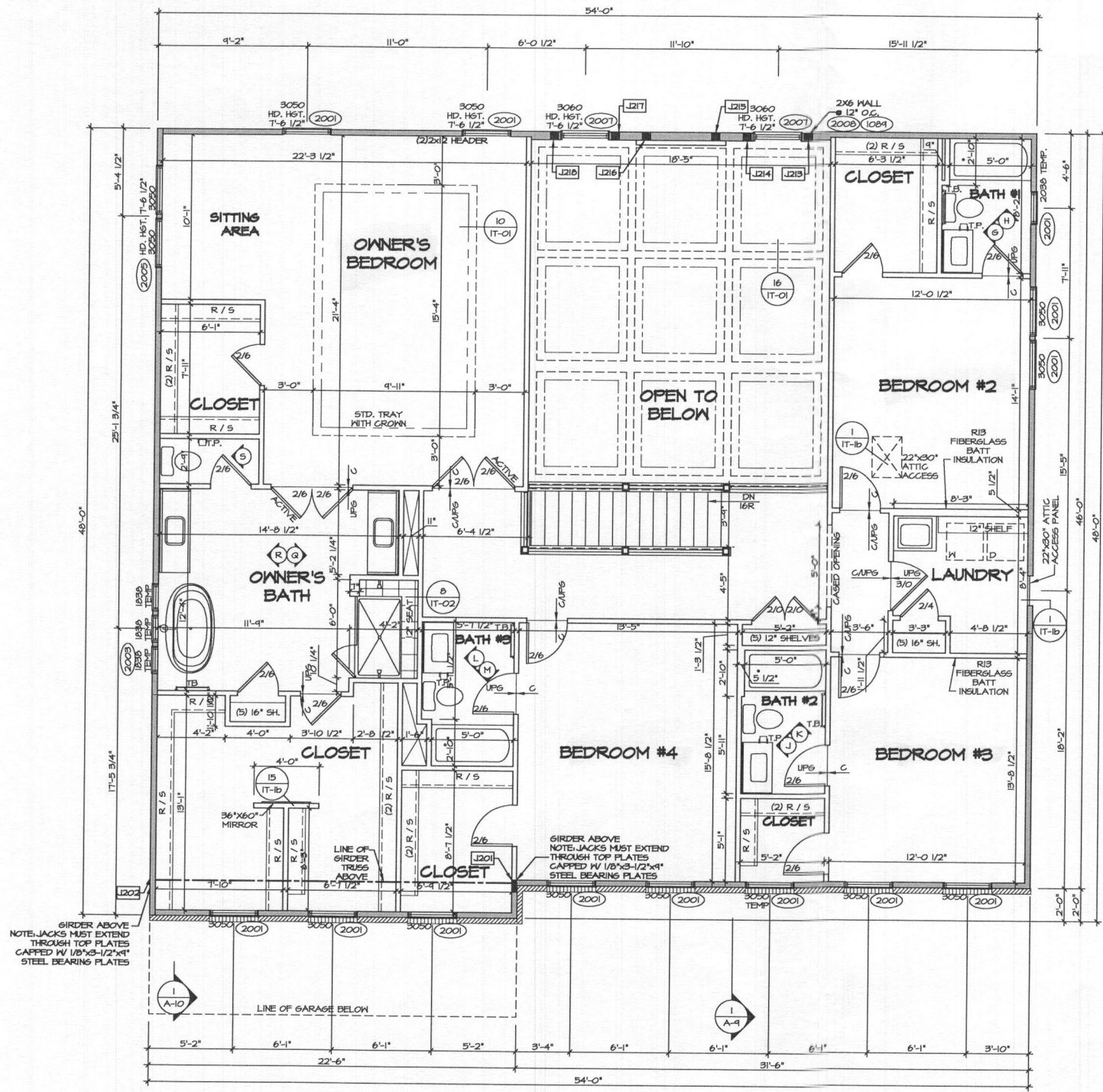
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**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

SHEET NO. <b>A-7</b>	MODEL <b>STRATFORD HALL</b>	SET NO. 11900	DATE: OPTION
	DRAWING TITLE <b>FIRST FLOOR PLAN</b>	VERSION 01	
29	OPTION DESCRIPTION	CA:\NVA\S0198\STRATFORD HALL_11900_01.MXD-BY-001\154796A Sheets\Lot_Specific\A-7 PLAN -LS-MIRROR.dwg 12/13/19 - 445.dwg	
		<p><b>NVR</b> NVR, Inc. Suite 100 5885 Washington Blvd. Frederick, MD 21703</p> <p><small>NVR, Inc. expressly reserves its right to modify, amend, or change these plans at any time without notice. The user agrees to hold NVR, Inc. harmless in any event, without limitation, for any such modifications, amendments, or changes.</small></p>	
DIV-COMM-LOT-UNIT <b>MDE-BY-001</b> COMM-LOT BELVEDERE ESTATES - 001 STREET ADDRESS 9695 PAUPERS FOLLY LANE CITY WEST FRIENDSHIP STATE MD ZIP 21744			



**1 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
  - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
  - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
  - HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
  - SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
  - SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
  - SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
  - ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
  - ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

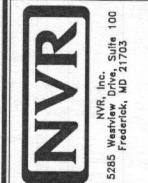
- LEGEND**
- BEARING WALL
  - NON BEARING WALL
  - INDICATES BEARING FROM POINT-LOAD ABOVE
  - JACKS
  - BEAM/HEADER
  - PAD FOOTING
  - STEEL COLUMN
  - PORTAL FRAME
  - JOIST/TRUSS
  - LVL
  - ENGINEERING PAGE NUMBER
- SEE FG DETAILS FOR FRAMING CONNECTORS

**SECOND FLOOR JACK SCHEDULE**

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J201	JACK - (6) 2X4 SFF#1		200B	
J202	JACK - (6) 2X4 SFF#1		200B	
J213	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J214	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J215	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J216	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J217	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J218	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS

DIR-COMM-LOT-LINE  
**MDE-BY-0011**  
COM-LOT  
BELVEDERE ESTATES - 0011  
STREET ADDRESS  
5655 FAUPELERS FOLLY LANE  
CITY  
WEST FRIENDSHIP  
STATE  
MD  
ZIP  
21144

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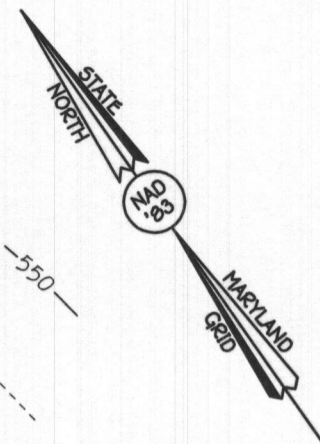
SET NO. 11900  
VERSION C1  
DRAWN BY BIM  
DATE:  
OPTION

MODEL  
**STRATFORD HALL**  
DRAWING TITLE  
**SECOND FLOOR PLAN**  
OPTION DESCRIPTION

SHEET NO.  
**A-8**  
32.1

**STORMWATER MANAGEMENT NOTES:**

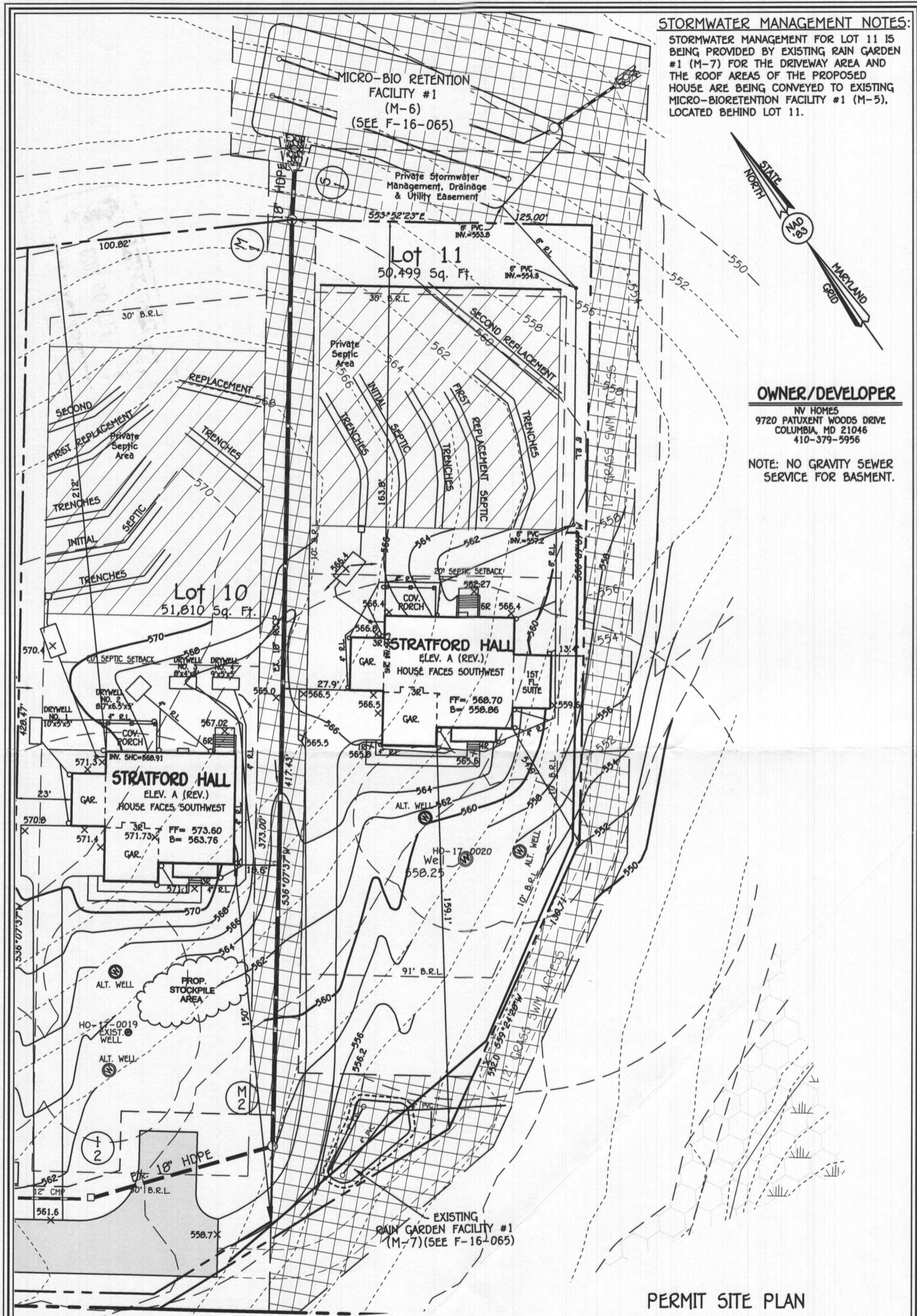
STORMWATER MANAGEMENT FOR LOT 11 IS BEING PROVIDED BY EXISTING RAIN GARDEN #1 (M-7) FOR THE DRIVEWAY AREA AND THE ROOF AREAS OF THE PROPOSED HOUSE ARE BEING CONVEYED TO EXISTING MICRO-BIORETENTION FACILITY #1 (M-5), LOCATED BEHIND LOT 11.



**OWNER/DEVELOPER**

NV HOMES  
9720 PATUXENT WOODS DRIVE  
COLUMBIA, MD 21046  
410-379-5956

NOTE: NO GRAVITY SEWER SERVICE FOR BASMENT.



NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-17-0020, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLCOTT CITY, MARYLAND 21042  
(410) 461 - 2855

**PLAN**

SCALE: 1" = 40'

**PERMIT SITE PLAN  
BELVEDERE ESTATES  
LOT 11**

3655 PAUPERS FOLLY LANE  
ZONED: RC-DEO

TAX MAP NO.: 22 GRID NO.: 8 PARCELS NO.: 116 AND P\O 7  
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: FEB. 4, 2020  
SHEET 1 OF 1

Drawing Name:

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 2/5/20

To: DICP / Health  
(Person's Name and Division)

From: Dave Howard, Fisher, Collins, & Carter Inc. (410) 461-2855  
(Your Name, Company Name and Telephone Number)

Subject: Project name Belvedere Estates: Lot 11  
Project site address 3655 Paupers Folly Lane  
Permit # B19002751 SDP # N/A  
Other information pertinent to this project \_\_\_\_\_

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of Permit (Plot) Plan Lot 11 (be specific). *As requested by Hank Oswald (Health Dept.) Adjusted wetland exit location to match architectural plans on file.*
- Health Department Request  DPZ/ DED Request  Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- Other \_\_\_\_\_

**Contact Person Information: (Required)**

\_\_\_\_\_  
Please Print Name

\_\_\_\_\_  
Telephone No:

\_\_\_\_\_  
E-Mail Address:

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by A. Furman

311-P-2020-0000-0000

Name: Jim Kerwin  
Street Address: PO Box 552  
City, State, Zip: Woodbine MD 21797  
Date: \_\_\_\_\_

**REVISION**  
Amendment, Permit # B19002751

**RECEIVED**

DEC 19 2019

LICENSES & PERMITS  
DIVISION

Ms. Debbie Whalen  
Division of Plan Review  
Department of Inspections, Licenses and Permits  
Howard County Government  
3430 Court House Dr  
Ellicott City, MD 21043

Dear Ms. Whalen:

**REVISE**

I am requesting to amend Permit # B19002751 at  
3655 Paupers Folly Lane West Friendship MD to  
change house type from "Marymount" to "Stratford Hall" ELV 'A'  
with 2 car garage, 1 car side attached garage, 1st floor suite, covered  
porch, and finished lower level (rec room, area #2, full bar + wet bar),  
11 rooms, 6 full baths, 1 1/2 bath and 5 bedrooms, Gross S.F. = 7729, OGSF  
= 7477 2018 code and Performance Method.

Enclosed: CK# 3321

Fee: 50.00 INV# 602322  
 Plot Plans  
 Sets of Construction Drawings  
Other: \_\_\_\_\_

REVIEWED FOR  
CODE COMPLIANCE  
DEPARTMENT OF INSPECTIONS,  
LICENSES AND PERMITS  
HOWARD COUNTY  
DATE: 1/15/2020  
BY: [Signature]  
 SUBJECT TO COMMENTS OF LETTER  
 SUBJECT TO FIELD INSPECTION  
 SUBJECT TO COMMENTS ON PLANS  
 AMENDMENT  FINAL

If there is anything we can do to assist you, please let me know.

Sincerely, CC. Health

Name: Jim Kerwin  
Title: AGENT for NV Homes  
Phone: 443-309-7792  
Email: Jim@DecaturbuildingServices.com

Model Change  
Amendment Letter

9869 64

1166