



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B20000 796

Building Address: _____
City: _____ State: _____ Zip Code: _____
Suite/Apt. # _____ SDP/WP/BA # _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: _____
Proposed Use: _____
Estimated Construction Cost: \$ _____
Description of Work: _____

Occupant/Tenant Name: _____
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: _____
Contact Person: _____
Address: _____
City: _____ State: _____ Zip Code: _____
License No.: _____
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

| Commercial Building Characteristics | Residential Building Characteristics |
|--|--|
| Height: _____ | <input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse |
| No. of stories: <u>2</u> | Depth Width |
| Gross area, sq. ft./floor: <u>1,000</u> | 1 st floor: _____ |
| Area of construction (sq. ft.): <u>2,000</u> | 2 nd floor: _____ |
| Use group: _____ | Basement: _____ |
| Construction type: | <input type="checkbox"/> Finished Basement |
| <input type="checkbox"/> Reinforced Concrete | <input type="checkbox"/> Unfinished Basement |
| <input type="checkbox"/> Structural Steel | <input type="checkbox"/> Crawl Space |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Slab on Grade |
| <input type="checkbox"/> Wood Frame | No. of Bedrooms: <u>3</u> |
| <input type="checkbox"/> State Certified Modular | Multi-family Dwelling |
| <input type="checkbox"/> Roadside Tree Project Permit | No. of efficiency units: _____ |
| <input type="checkbox"/> Yes <input type="checkbox"/> No | No. of 1 BR units: _____ |
| Roadside Tree Project Permit # | No. of 2 BR units: _____ |
| _____ | No. of 3 BR units: _____ |
| _____ | Other Structure: _____ |
| _____ | Dimensions: _____ |
| _____ | Footings: _____ |
| _____ | Roof: _____ |
| _____ | <input type="checkbox"/> State Certified Modular |
| _____ | <input type="checkbox"/> Manufactured Home |

| Utilities | |
|--------------------------------------|--|
| Electric: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Gas: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Water Supply | |
| <input type="checkbox"/> Public | |
| <input type="checkbox"/> Private | |
| Sewage Disposal | |
| <input type="checkbox"/> Public | |
| <input type="checkbox"/> Private | |
| Heating System | |
| <input type="checkbox"/> Electric | <input type="checkbox"/> Oil |
| <input type="checkbox"/> Natural Gas | <input type="checkbox"/> Propane Gas |
| <input type="checkbox"/> Other: | |
| Sprinkler System: | |
| <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| Grading Permit Number: _____ | |
| Building Shell Permit Number: _____ | |

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: _____
Email Address: _____
Title/Company: _____

Print Name: _____
Date: _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY
FOR OFFICE USE ONLY

| AGENCY | DATE | SIGNATURE OF APPROVAL |
|----------------------|-----------|-----------------------|
| State Highways | | |
| Building Officials | | |
| PSZA (Zoning) | | |
| PSZA (Engineering) | | |
| Health | 4/17/2000 | [Signature] |

| DPZ SETBACK INFORMATION | |
|---------------------------------|--|
| Front: | |
| Rear: | |
| Side: | |
| Side St.: | |
| All minimum setbacks met? | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Is Entrance Permit Required? | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Historic District? | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Lot Coverage for New Town Zone: | |
| SDP/Red-line approval date: | |

| | |
|----------------|------|
| Filing Fee | \$ |
| Permit Fee | \$ |
| Tech Fee | \$ |
| Excise Tax | \$ |
| PSFS | \$ |
| Guaranty Fund | \$ |
| Add'l per Fee | \$ |
| Total Fees | \$ |
| Sub-Total Paid | \$ |
| Balance Due | \$ |
| Check # | 1411 |

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START



I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM AN ADULT LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 13643, EXPIRATION 10-23-2023.

NOTE: THESE DRAWINGS ARE THE PROPERTY OF TRANSFORMING ARCHITECTURE AND AS SUCH MAY NOT BE REPRODUCED OR REPRODUCED, EITHER WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN CONSENT OF TRANSFORMING ARCHITECTURE.

PROJECT PHASE
PERMIT

PROJECT TITLE
THE REUER RESIDENCE

18321 Penn Shop Road
Mt. Airy, MD 21771

REVISIONS

| SYMBOL | DATE | ISSUED FOR |
|--------|-----------|-----------------------|
| ⚠ | 3/30/2020 | BUILDING PLANS REVIEW |
| ⚠ | 4/3/2020 | HEALTH DEPARTMENT |

PROJECT NUMBER 20-485
DATE 04/03/2020
SCALE

DRAWING TITLE
NOTES, SCHEDULES, KEY PLANS + ROOF PLAN

SHEET NUMBER
A-100

SCOPE OF WORK

ADD 2 STORY ADDITION TO EX. 2 BEDROOM HOUSE FOR NEW HUBROOM, MASTER SUITE, OFFICE AND PLAYROOM.
ADDITION FOOTPRINT 1564 SF
ADD 46 SF FRONT PORCH FOR NEW ENTRY TO HUBROOM.

EX. SQUARE FOOTAGE 2,320 SF
ADDITION SQUARE FOOTAGE 2,033 SF
TOTAL SQUARE FOOTAGE 4,353 SF

SHEET INDEX

| | |
|-------|--|
| A-100 | PROJECT NOTES, SCHEDULES, KEY PLANS & ROOF PLAN |
| A-101 | DEM. FLOOR PLANS, FOUNDATION PLAN & SIDE ELEVATION |
| A-102 | FLOOR & ROOF FRAMING PLANS & BUILDING SECTION |
| A-103 | LATERAL BRACING PLANS |
| A-200 | EXT. ELEVS. |
| A-300 | BUILDING SECTION |

RESIDENTIAL NOTES & SPECIFICATIONS

GENERAL CONSTRUCTION NOTES
1. THESE STRUCTURAL NOTES AND SPECIFICATIONS SHALL BE CONSIDERED PART OF THE FINAL DESIGN PACKAGE INCLUDING CONSTRUCTION DRAWINGS FOR THE PROJECT SPECIFICALLY DESCRIBED ABOVE. NEITHER THE STRUCTURAL NOTES NOR THE DRAWINGS ABOVE ARE SUFFICIENT IN DESCRIBING A COMPLETE DESIGN.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ON DRAWINGS SHALL GOVERN. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE OFFICE OF ANY VARIATIONS FROM THE SPECIFICATIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT BEFORE PROCEEDING WITH FABRICATION OF ASSEMBLIES, STEEL, TRUSS, ROOF AND/OR FLOOR TRUSSES.
3. WHERE THERE IS CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.
4. PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR FINISHES.
5. ALL CLOSETS ARE TO HAVE THE SAME FINISH AS THE ADJOINING ROOM UNLESS OTHERWISE NOTED.
6. PROVIDE PLUMBING VENTURE ACCESS PANEL AT EACH TUB AND SHOWER ENCLOSURE AS REQUIRED BY LOCAL JURISDICTION.
7. PROVIDE HANDRAILS 34" ABOVE FINISH ON ALL STAIRS. PROVIDE GUARDRAILS AT RAISED FLOORS, BALCONIES, ETC. 36" OR HIGHER ABOVE GRADE OR FLOOR BELOW. GUARDS SHALL BE MINIMUM 4" HIGH AND HAVE COLUMNS SPACED TO PREVENT PASSAGE OF A 4" SPHERE.
8. PROVIDE NOMINAL OR BEYOND JOISTS AT EVERY FLOOR INTERNAL BULKHEAD AND CHASE. IF OPEN WEB FLOOR TRUSSES ARE UTILIZED, PROVIDE 1/2" OR GREATER TOPPING NOT TO EXCEED 1/8" SF.
9. PROVIDE A MINIMUM 6" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 7-1/2" AND TREADS SHALL BE AT LEAST 10-1/2".
10. PROVIDE CORSE VENTS, RIDGE VENTS OR GABLE END VENTS AS SHOWN ON THE DRAWINGS. MAINTAIN MINIMUM 1200 CFM VENTILATION FOR HORIZONTAL PROJECTED ROOF AREA. INSTALL PLASTIC OR CARBONADO BAPLES IN EACH TRUSS/RAFTER BAY TO MAINTAIN AIR FLOW.
11. MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL BE REQUIRED TO SEAL ALL PENETRATIONS IN FLOORS AND EXTERIOR WALLS CAUSED BY THEIR TRADES.
12. ROUGH CARPENTRY CONTRACTORS SHALL SEAL ALL PANEL, BUTT JOINTS AND FLATS AT COOK, CEILING, WINDOW, DOOR FLANGES AND JAMBS.
13. WEATHERING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECIFICATIONS.
14. SCORE ALL EXTERIOR PLATFORMS, PORCHES, WALLS AND GARAGE SLABS 1/2" IN 12" TO DRAIN AS NOTED ON PLANS.
15. PROVIDE TERMITE PROTECTION INCLUDING SOIL TREATMENT BY LICENSED EXTERMINATOR.

SPECIFICATIONS - GENERAL CONDITIONS
1. ALL WORK SHALL CONFORM TO ALL LOCAL AND NATIONAL ORDINANCES & BUILDING CODES APPLICABLE TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO INTERNATIONAL RESIDENTIAL CODES.
2. DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. CONTRACTOR AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING DOOR, PANEL, WINDOW, EQUIPMENT, ETC. AND THEIR OPENING PRIOR TO FABRICATION AND CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, FINISHES, BOUNDARIES, EASEMENTS AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.
4. DESIGN STANDARDS
RESIDENTIAL
CONCT. TYPE: TWO STORY WOOD FRAME W/ BRICK
FLOOR LOAD (IRC TABLE R10) WIND SPEED 115 MPH
ACEE LIVE LOAD 40 PSF WIND SPEED 115 MPH
GRADE FLOOR LOAD 40 PSF WIND SPEED 115 MPH
FLOOR LOAD (R10) 40 PSF EXF. FACTOR "C"
FLOOR LIVE LOAD (R10) 30 PSF SBRIC DESIGN CAT. B
ATTIC LIVE LOAD (ATC) 20 PSF WEATHER RESISTANT
GARAGE LIVE LOAD 50 PSF
GUARD RAILS 200 LB. FORCE IN ANY DIRECTION
JOIST BEARING: ASSUMED 1800 PSF. JOIST LINE DEPTH - 3X
TERMITE: VERY HEAVY DECA. VERY HEAVY
WATER RESISTANT CONSTRUCTION: MDO, TS

CONCRETE
1. CONCRETE FOR THIS PROJECT SHALL BE NORMAL WEIGHT (145 PCF) AND CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) STANDARD 318-19.
2. CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
3. ALL REINFORCING BAR SHALL BE GRADE 60 (F_y 60,000 PSI).
4. ALL INTERIOR CONCRETE SLABS SHALL BE 4" THICK AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH 6X4 - W/14 W/4 WAY AND BE POLISHED OVER A 60/40 POLY POLY VAPOR BARRIER OVER 4" POROUS GRANULAR FILL.
5. ALL INTERIOR CONCRETE SLABS BE 3/4" OR GREATER IN ANY DIRECTION SHALL HAVE CONTROL JOINTS.
6. ALL EXTERIOR CONCRETE SLABS SHALL BE AIR ENTRAINED (AIR CONTENT BETWEEN 5% AND 7%) INCLUDING THE GARAGE SLAB AND HAVE 4" GRANULAR FILL MIN. BELOW CONCRETE SLAB.
7. WHERE FORCE (NOT NON-FLEXIBLY POINTED), PARTIO OR OTHER CONCRETE FLAT WORK ABUTS AN EXISTING CONCRETE SLAB, PROVIDE 1/2" AIR GAP.
8. ALL REINFORCING SHALL CONFORM TO SPECIFICATIONS FOR DIFORMED REINFORCING BARS FOR CONCRETE REINFORCEMENT (ASTM 185A). WELDED WIRE FABRIC SHALL CONFORM TO LATEST ASTM A185.
9. REINFORCEMENT FOR THE ANCHORAGE OF CONNECTING WORK IF NOT CONTIGUOUS AND REINFORCEMENT FOR TENSILE AND ALL OTHER PURPOSES NOT SPECIFICALLY PROVIDED SHALL HAVE DIAMETERS OR # IF MINIMUM AT ALL SPICES OR SHALL HAVE DOUBLES OF THE BARS, BAR SIZE AND SPACING AS THAT WHICH WOULD BE PLACED ON WORK TO BE CONNECTED.
10. MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT CONCRETE DEPOSITED AGAINST GROUND 2" FORMED CONCRETE IN CONTACT WITH GROUND 2" FORMED CONCRETE NOT IN CONTACT WITH GROUND 1 1/2"

FOUNDATION PERIMETER INSULATION
1. INSTALL EXPANDED RIGID CLOSED CELL POLYSTYRENE FOAM BOARD PER SPEC. H-140-03. DENSITY 2.1 LB/RS. CU FT. "R" VALUE PER 1" THICKNESS - 5.41

STAIR
DIMENSION:
MAX. R: 7"
MIN. T: 10"

STRUCTURAL STEEL NOTES
1. MATERIALS
STRUCTURAL STEEL AND PLATE: ASTM A36
UNREFURBED BOLTS: ASTM A307
HIGH-STRENGTH BOLTS: ASTM A325
WELDING ELECTRODES: ASTM E701, CLASS E70
2. BEAM TO BEAM AND COLUMN CONNECTIONS SHALL BE ASIC STANDARD (FULL DEPTH) WHERE REACTIONS EXCEED MINIMUM CONDITIONS. THE APPROPRIATE CONNECTIONS SHALL BE DETERMINED BY FABRICATOR (CONTRACTOR).
3. ALL MAJOR CONNECTIONS SHALL BE HIGH STRENGTH PRACTICE BOLTS OR WELDS OF EQUAL STRENGTH. ANCHOR BOLTS SHALL BE UNREFURBED BOLTS.
4. STEEL WORK SHALL BE FABRICATED AND BRICEST IN ACCORDANCE WITH LATEST AISC SPECIFICATIONS.
5. SUBMIT SHOP DRAWINGS FOR ALL STEEL WORK.
6. STEEL UNITS FOR ALL OPENINGS AND KEEPS IN STONE OR BRICK FACED WALLS NOT SPECIFICALLY DETAILED. PROVIDE ONE STEEL ANGLE FOR EACH 4 INCH WALL THICKNESS. STEEL ANGLES SHALL BE 1/2" MINIMUM BEARING OF 4" AT EACH END HORIZONTAL LEG SHALL BE 1/2" UNLESS OTHERWISE SHOWN.
7. UNLT. SCHEDULE UNLESS OTHERWISE ON PLANS. NOTE ALL UNITS ARE TO RECEIVE SHOP APPLIED CORROSION PROTECTION.
8. STEEL BEAM POCKETS, SEE AS INDICATED ON PLAN. BEAMS SHALL HAVE A MINIMUM BEARING OF 4" IN LENGTH MEASURED PARALLEL TO THE BEAM UPON SOLID MASONRY NOT LESS THAN 4" IN THICKNESS OR UPON A METAL BEARING PLATE OF ADEQUATE DIMENSIONS TO DISTRIBUTE THE LOAD SAFELY. AREA AROUND BEAM TO RECEIVE FINISH BRUSH.
9. X BEAM PLATE IS ANCHORED TO STEEL BEAM WITH 3/8" DIAMETER STEEL BOLTS ON EQUIVALENT POWER ACTIVATED FASTENERS AT 4" O.C. FASTENERS TO BE LOCATED AT HEAVY TO CENTER OF BEAM AS POSSIBLE.
10. STEEL BEAMS SHALL HAVE A MINIMUM BEARING OF 4 INCHES IN CONCRETE POCKETS AND A MINIMUM BEARING OF 3 INCHES ON STEEL COLUMNS. STEEL BEAMS SHALL BE CENTERED OVER COLUMNS BELOW.

HASCOY
1. MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIE. EACH TIE SHALL BE 3/4" ON CENTER HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 1/4 SQUARE FEET OF WALL AREA. ADDITIONAL METAL TIES SHALL BE PROVIDED AROUND ALL WALL OPENINGS GREATER THAN 1/2". THESE TIES SHALL BE SPACED NOT MORE THAN 3" ON CENTER AND PLACED WITHIN 12" OF THE WALL OPENING.
2. CONCRETE MASONRY UNITS SHALL BEET ASTM C90 GRADE A, 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSIVE STRENGTH OF BLOCK TO BE 2000 PSI.
3. CARE AND PROPER MEASURES SHALL BE EMPLOYED TO PREVENT ANY SURFACE CRACKS. WIND LOADS SHOWING OR OTHER LATERAL FORCES FROM BULGING OR DETOURING FINISHED MASONRY WALLS BY WAY OF SHORING, BRACING OR OTHER MEANS AS SET FORTH IN THE SPECIFICATIONS.
4. USE TYPE "N" MORTAR FOR MASONRY BELOW GRADE IN CONTACT WITH EARTH.
5. USE TYPE "M" MORTAR FOR EXTERIOR ABOVE GRADE LOAD BEARING OR NON-LOAD BEARING MASONRY WALLS AND FOR OTHER AREAS IF NOT OTHERWISE NOTED. DESCRIPTION - MASONRY CONSTRUCTION REQUIRING HEAT RESISTANT MORTAR SHALL HAVE A REACTORY AIR SETTING MORTAR.
6. BRICK VENEER TO BE INSTALLED WITHIN 3/4" DIA WEEP HOLES. REACTANT A MINIMUM OF 3/4" O.C. HORIZONTALLY.
7. ALL HEADERS ARE TO BE DOUBLE 2X12 UNLESS SPECIFICALLY NOTED OTHERWISE.

WOOD FRAMING
UNLESS OTHERWISE NOTED, ALL INTERIOR PARTITIONS TO BE CONSTRUCTED WITH 2X4 STUDS, 16" O.C. WITH DOUBLE TOP PLATE MINIMUM 1X12 HEADLINE/LETS AT ALL OPENINGS IN BEARING OR OTHER WALLS. SHEATHING TO BE 5/8" CDX PLYWOOD OR OSB.
1. ALL FRAMING LUMBER TO HAVE A MINIMUM ALLOWABLE FOT THE FIBER BENDING STRESS OF 1200 PSI (F_b 1200 PSI) AND A MINIMUM MODULUS OF ELASTICITY OF 1,800,000 PSI.
2. ALL FLOOR DECKS ARE TO BE GLED TO SUPPORTING BEAMS AND JOIST WITH AN ADHESIVE AS MANUFACTURED BY "COCKITTE" OR APPROVED EQUAL.
3. ALL WOOD BEAMS MADE OF TWO OR MORE MEMBERS SHALL BE GLED WITH AN ADHESIVE AND NAILD TOGETHER @ 12".
4. ALL WOOD PORTS MADE UP OF MULTIPLE RECS SHALL BE GLED WITH PL-900 ADHESIVE AND NAILD @ 12" O.C. BOTH SIDES.
5. DIRECTLY UNDER PARTITIONS WHICH RUN TO JOISTS (AND ARE OTHERWISE UNSUPPORTED) METAL SOULS @ 24".
6. ALL RAFTERS AND JOISTS SHALL HAVE WOOD OR METAL CROSSBRACING AT 4' O.C. OR AT CENTER OF SPAN WHICHEVER IS LESS.
7. GUARD AGAINST UPLIFT FORCES SHALL BE INSTALLED FROM THE FOUNDATION TO THE ROOF RAFTERS AT ALL STUDS. THEY SHALL INCLUDE BUT ARE NOT LIMITED TO FOUNDATION CONNECTORS, FLOOR TO FLOOR CONNECTORS, AND ROOF RAFTER HURRICANE CONNECT OR ANCHORS.
8. MINIMUM BEARING FOR WOOD JOIST, RAFTERS AND BEAMS SHALL BE 3" FOR WOOD AND 4" ON MASONRY.
9. INSTALL WOOD JOIST HANGER & WOOD BEAM HANGER CONNECTIONS AS FOLLOWS:
JOIST HANGER MIN CAPACITY - 800#
BEAM HANGER MIN CAPACITY - 2500#
10. ALL MINIMUM DOUBLE STUDS AT JUMPS OF ALL OPENINGS IN WALLS OR AS SHOWN ON PLAN.
11. ALL MANUFACTURED TRUSSES ARE TO BE IN ACCORDANCE WITH AISC 7.9A.
12. FOUNDATION ANCHORAGE SILL PLATES AND WALLS SUPPORTED DIRECTLY ON CONT. FOUNDATIONS SHALL BE ANCHORED ACCORDING TO IRC R601.6.

FINISHES
1. ALL FINISHES SHALL BE CLASS C OR BETTER WITH A FLAME SPREAD OF 76-200 OR BETTER AND A SMOKE DEVELOPED INDEX OF 0-450.

AIR LEAKAGE
BUILDING THERMAL ENVELOPE: THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO PREVENT AIR INFILTRATION. THE SEALING METHODS BETWEEN DISCREET MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CALICULATED: GASKETS, WEAHER STRIPING OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SLATABLE FILM OR SOLID MATERIAL.
1. ALL JOINTS, SEAMS AND PENETRATIONS.
2. EXTERIOR WINDOWS, DOORS AND SIGHTGLASS.
3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.
4. UTILITY PENETRATIONS.
5. DROPPED CEILING OR CHASES ADJACENT TO THE THERMAL ENVELOPE.
6. EXIST WALLS.
7. WALL AND CEILING SEPARATING A GARAGE FROM CONDITIONED SPACE.
8. BERMED TUBS AND SHOWERS ON EXTERIOR WALLS.
9. COMMON WALLS BETWEEN DWELLING UNITS.
10. ATTIC ACCESS OPENINGS.
11. RIM JOIST JUNCTION.
12. OTHER SOURCES OF INFILTRATION.

HEADER SCHEDULE (U.N.O.)

| OPENING SIZE | HEADER SIZE |
|-----------------------------------|-----------------------------------|
| OPENINGS UP TO 7' | (2) 3x12 |
| OPENINGS GREATER THAN 7' UP TO 8' | (2) 1.75 x 9.50 x 1.9E MICROLAM |
| OPENINGS GREATER THAN 8' UP TO 9' | (2) 1.75 x 11.875 x 1.9E MICROLAM |

REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

| MAX. WALL HT. (FT.) | MAX. UNBALANCED BACKFILL HT. | MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 12" NOMINAL WALL THICKNESS | | |
|---------------------|------------------------------|--|-----------------------------|----------------------------------|
| | | SOIL CLASSIFICATION | SOIL CLASSIFICATION | SOIL CLASSIFICATION |
| 9 | 5 | GW, GC, SW & SP SOILS | GM, GC, SM SM-SC & ML SOILS | SC, MH, ML-CL & INORG. CL. SOILS |
| | | #4 @ 16" O.C. | #4 @ 16" O.C. | #4 @ 16" O.C. |
| | | #4 @ 18" O.C. | #4 @ 18" O.C. | #4 @ 18" O.C. |
| | | #4 @ 20" O.C. | #4 @ 20" O.C. | #4 @ 20" O.C. |
| | | #4 @ 24" O.C. | #4 @ 24" O.C. | #4 @ 24" O.C. |
| 9 | 5 | #4 @ 16" O.C. | #4 @ 16" O.C. | #5 @ 16" O.C. |
| | | #4 @ 18" O.C. | #4 @ 18" O.C. | #5 @ 18" O.C. |
| | | #4 @ 20" O.C. | #4 @ 20" O.C. | #5 @ 20" O.C. |
| | | #4 @ 24" O.C. | #4 @ 24" O.C. | #5 @ 24" O.C. |
| | | #4 @ 24" O.C. | #4 @ 24" O.C. | #5 @ 24" O.C. |
| 10 | 7-1/2" | #4 @ 16" O.C. | #4 @ 16" O.C. | #5 @ 16" O.C. |
| | | #4 @ 18" O.C. | #4 @ 18" O.C. | #5 @ 18" O.C. |
| | | #4 @ 20" O.C. | #4 @ 20" O.C. | #5 @ 20" O.C. |
| | | #4 @ 24" O.C. | #4 @ 24" O.C. | #5 @ 24" O.C. |
| | | #4 @ 24" O.C. | #4 @ 24" O.C. | #5 @ 24" O.C. |

STEEL LINTEL SCHEDULE (U.N.O.)

| STEEL ANGLE SIZE | # STORIES ABOVE | # OF 1/2" REBARS |
|-------------------|-----------------|------------------|
| NONE | ONE | TWO |
| 3 x 3 x 1/4 | 6'-0" | 3'-6" |
| 4 x 3 x 1/4 | 8'-0" | 3'-0" |
| 4 x 3 1/2 x 1/4 | 14'-0" | 3'-4" |
| 2 x 6 x 3/2 x 1/4 | 20'-0" | 11'-0" |

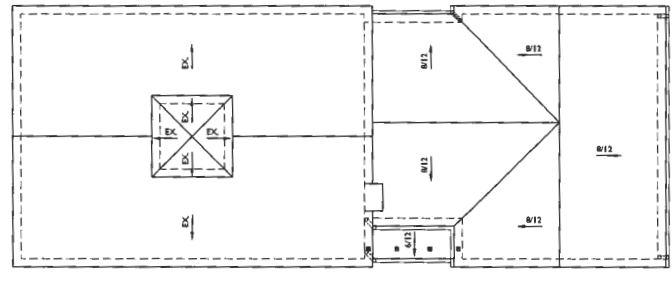
WINDOW SCHEDULE

| TYPE | MAT. | SIZE | OPERATION | REMARKS |
|------|-------|-------------|-------------|-------------------------------|
| A | VINYL | 3/0x6/0 | DOUBLE HUNG | EGRESS |
| B | VINYL | 2/0x2/0 | FIXED | |
| C | VINYL | (2) 3/0x4/0 | DOUBLE HUNG | EGRESS - MULLED TOGETHER |
| D | VINYL | 3/0x5/0 | DOUBLE HUNG | EGRESS - MULLED TOGETHER |
| E | VINYL | (2) 3/0x5/0 | DOUBLE HUNG | H.H @ 6" W/ TRANSOM @ 8" H.H. |
| F | VINYL | (3) 3/0x4/0 | DOUBLE HUNG | |

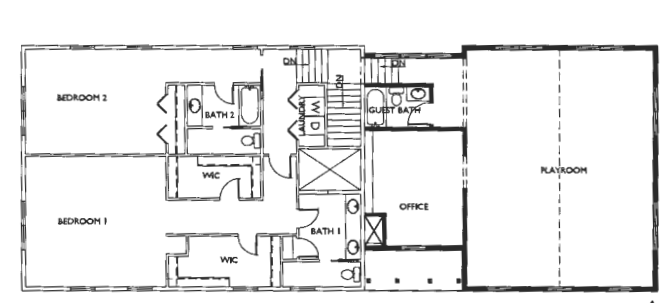
MIN. DUAL PANE LOW-E & ARGON GAS FILLED. MAX. U = .31 TRIM TO BE WHITE

DOOR SCHEDULE

| NO. | SIZE | INT/EXT | SUDDEN | LABEL | REMARKS |
|-----|---------|---------|--------|-------|-------------------|
| 101 | 3/0x6/8 | EXT | YES | | SINGLE GLASS DOOR |
| 102 | 3/0x6/8 | INT | NO | | SINGLE DOOR |
| 103 | 2/0x6/8 | INT | NO | | SINGLE DOOR |
| 104 | 2/6x6/8 | INT | NO | | SINGLE DOOR |
| 105 | 2/6x6/8 | INT | NO | | SINGLE DOOR |
| 106 | 2/6x6/8 | INT | NO | | SINGLE DOOR |
| 107 | 2/6x6/8 | INT | NO | | SINGLE DOOR |
| 201 | 2/8x6/8 | INT | NO | | SINGLE DOOR |

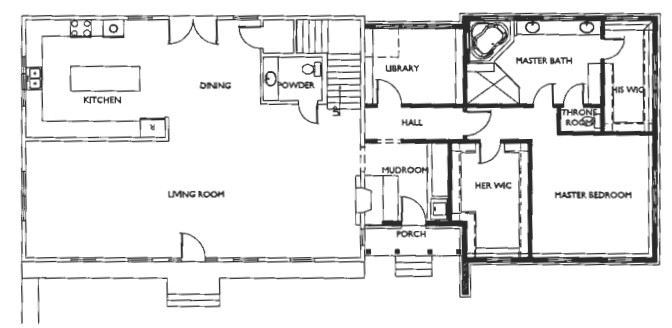


1 ROOF PLAN
SCALE 1/8"=1'-0"



2 SECOND FLOOR KEY PLAN
SCALE 1/8"=1'-0"

Office has 4' wide opening, no closet!
Bookshelf R/E



3 FIRST FLOOR KEY PLAN
SCALE 1/8"=1'-0"

- LINE TYPE KEY:
- NEW WALL [Solid line]
 - EXIST WALL [Dashed line]
 - ABOVE LINE [Dotted line]
 - FDNL WALL [Dashed line with dots]
 - DEM. WALL [Dashed line with cross-hatch]
 - LOAD BEARING WALL [Dotted line with cross-hatch]

Menu Save Reset Cancel Help

Approved R/E
4/17/2020

Record Detail * (This section is required.)

| | | |
|---|---------------|-------------|
| Permit Type | Permit Number | Opened Date |
| Building/Residential/Addition/SFD | B20000796 | 03/09/2020 |
| Description of Work | | |
| SFD/CONSTRUCT ADDITION FOR MASTER BEDROOM, 1 MASTER BATH, AND HOME OFFICE SPACE 2023 SQ. FT., 2 STORY, Slab on Grade, 3R, 1FB, 0HB, 0FP, OTHER STRUCTURE = None, 0BR, PORCH/DECK = N/A, ENERGY METHOD = N/A, undefined. | | |

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

| | | | |
|------------|-------------|--------------|--------------|
| Street # | Street Name | Street Type | |
| 18321 | PENN SHOP | RD | |
| Unit Type | Unit # | X Coordinate | Y Coordinate |
| --Select-- | | -77.15939 | 39.34225 |
| City | State | Zip Code | Primary |
| MOUNT AIRY | MD | 21771 | Yes |

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

| | | | | | | |
|---|--------|-------------|------------|----------------|-----------------|-----------|
| GIS ID * | Parcel | Parcel Area | Land Value | Improved Value | Exemption Value | Plan Area |
| 911251 | 19 | 51.98 | 225400 | 429200 | 203800 | RURAL |
| Legal Description | | | | | | |
| IMPSPAR A 51.9863 A[]18321 PENN SHOP RD[]JEFF HARRISON PROPERTY | | | | | | |

[check spelling](#)

| | | | | | | | |
|--|-----------------|---|--------------|-----------------|-----------------|-------|----------|
| Block | Lot | Census Tract | Council Dist | Inspection Dist | Supervisor Dist | Map # | DAP Zone |
| | PAR A | 604001 | 5 | | | | |
| Plan Area | State Tax Id | Subdivision Name | | | | | |
| | 1404312082 | Jeff Harrison Property | | | | | |
| Section | Area | Tax Map | | | | | |
| | | 6 | | | | | |
| Grid | Zoning District | ADC Map | | | | | |
| 6-3 | RC-DEO | 4690-E6 | | | | | |
| SDP No. | Final Plan No. | WP File No. | | | | | |
| | F-00-105 | | | | | | |
| Record Plat No. | WS Contract No. | FDP No. | Primary | | | | |
| 17361 | | | No | | | | |
| Owner Occupied | Year Built | Historic District | | | | | |
| <input type="radio"/> Yes <input type="radio"/> No | 2012 | <input type="radio"/> Yes <input checked="" type="radio"/> No | | | | | |
| Historic District Registry No. | Stat Area | Flood Plain | | | | | |
| | 4-04 | <input type="radio"/> Yes <input checked="" type="radio"/> No | | | | | |
| Building No | | | | | | | |
| | | | | | | | |

Owner (This section is not required.)

Search Reset Clear

| | | |
|--------------------|------------|---------------|
| Name * | | |
| REUWER DONAL R III | | |
| Address Line 1 | | |
| 18321 PENN SHOP RD | | |
| Address Line 2 | | |
| | | |
| Address Line 3 | | |
| | | |
| Mail City | Mail State | Mail Zip Code |

| | | |
|--------------------|------------|-------|
| MT AIRY | MD | 21771 |
| Phone | Primary | |
| 443-250-9896 | Yes | |
| E-mail | | |
| TREUWER@LDANDD.COM | | |
| Cell Number | Fax Number | |
| | | |

Professionals (This section is not required.)

Search Reset Clear

| | | | |
|--------------------|-------------------------------------|-------------|-----------|
| License # * | Business Name | | |
| 08050134169 | WAVERLY BUILDERS AND DEVELOPERS LLC | | |
| License Type * | First Name | Middle Name | Last Name |
| MHIC Co | TRAE | | REUWER |
| Primary | Address Line 1 | | |
| Yes | 8318 FORREST STREET STE 200 | | |
| | Address Line 2 | | |
| | | | |
| City | State | ZIP Code | |
| ELLCOTT CITY | MD | 21043-0000 | |
| Phone 1 | Phone 2 | Fax | |
| 443-250-9896 | | 4433670420 | |
| E-mail | | | |
| TREUWER@LDANDD.COM | | | |

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

| | | | |
|----------------------|-------------------------------------|------------|-----------|
| Type * | First Name | MI | Last Name |
| Applicant | TRAE | | REUWER |
| Relationship | Full Name | | |
| Licensed Professiona | TRAE REUWER | | |
| Primary | Organization Name | | |
| No | WAVERLY BUILDERS AND DEVELOPERS LLC | | |
| | Street Address | | |
| | 8318 FORREST STREET STE 200 | | |
| | Address Line 2 | | |
| | | | |
| City | State | Zip Code | |
| ELLCOTT CITY | MD | 21043-0000 | |
| Phone | Cell | Fax | |
| 443-250-9896 | | 4433670420 | |
| E-mail * | | | |
| TREUWER@LDANDD.COM | | | |

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

| | | | |
|----------------------|-------------------------------------|------------|-----------|
| Type | First Name | MI | Last Name |
| Contact | TRAE | | REUWER |
| Relationship | Full Name | | |
| Licensed Professiona | TRAE REUWER | | |
| Primary | Organization Name | | |
| Yes | WAVERLY BUILDERS AND DEVELOPERS LLC | | |
| | Street Address | | |
| | 8318 FORREST STREET STE 200 | | |
| | Address Line 2 | | |
| | | | |
| City | State | Zip Code | |
| ELLCOTT CITY | MD | 21043-0000 | |
| Phone | Cell | Fax | |
| 443-250-9896 | | 4433670420 | |
| E-mail | | | |
| TREUWER@LDANDD.COM | | | |

Addtl Info

| | | | |
|--|-----------------|-----------------------|--------------|
| Est Construction Cost * | Housing Units * | Number of Buildings * | Public Owned |
| 125000 | 0 | 0 | No |
| Construction Type | | | |
| 434 - Additions, Alterations and Conversions - Residential | | | |

RESIDENTIAL ADDITION INFORMATION

| | | | | |
|--|------------------------|---|---|--------------------------------|
| Capital Project-No Fee * | Capital Project Number | Fee Exempt * | Roadside Tree Project Permit | Roadside Tree Project Permit # |
| <input type="radio"/> Yes <input checked="" type="radio"/> No | | <input type="radio"/> Yes <input checked="" type="radio"/> No | <input type="radio"/> Yes <input checked="" type="radio"/> No | |
| No of Stories * | Foundation * | Basement * | No of Rooms * | Full Baths * |
| 2 | Slab on Grade | N/A | 3 | 1 |
| Half Baths * | | Existing Use | | |
| 0 | | Other - See Description of Wor | | |
| Model * | | | | |
| SFD/CONSTRUCT ADDITION FOR MASTER BEDROOM, 1 MASTER BATH, AND HOME OFFICE SPACE 2023 SQ. FT. | | | | |

check spelling

| | | | | | |
|---|-----------------------------|---|------------------------|-------------------|--------------------|
| Other Structure * | Bedrooms * | Porch Deck * | No of Fireplaces * | Type of Fireplace | Energy Code * |
| None | 0 | N/A | 0 | --Select-- | N/A |
| W & S Fees Paid | Water * | Sewage * | Utilities * | Heating System * | Sprinkler System * |
| <input type="radio"/> Yes <input checked="" type="radio"/> No | Private | Private | Electric | Electric | None |
| 1st Floor Width | 1st Floor Depth | 2nd Floor Width | 2nd Floor Depth | Basement Width | Basement Depth |
| FT | FT | FT | FT | FT | FT |
| Total Square Footage * | Occupiable Square Footage * | Affordable Housing Funding | Foundation Measurement | Footings | |
| 1000 SQFT | 2023 SQFT | N/A | | | |
| Walls | Roof | Change In Use | Grading Permit No | | |
| | | <input type="radio"/> Yes <input checked="" type="radio"/> No | | | |

Additional Description Info

Expiration Date

9/14/2020

check spelling

PAYMENT INFORMATION

| | | | | | |
|---------|---------|---------|---------|------------|-------------|
| Check 1 | Payee 1 | Check 2 | Payee 2 | SAP Doc No | SAP Entered |
| | | | | | |

Submit Cancel