



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 10/20/19
Permit No.: B19003577

Building Address: 5051 Gaithers Chance Dr
City: Clarksville State: MD Zip Code: 21029
Suite/Apt. # _____ SDP/WP/BA #: _____
Subdivision: Gaithers Chance
Lot: 13 Tax Map: _____ Parcel: _____

Existing Use: Vacant lot
Proposed Use: Single family home
Estimated Construction Cost: \$ 230,000
Description of Work: New 2 story "Clifton Park II" ex'v' A,
2 car side load garage, 2 car side attached garage,
morning RM, rear porch, 1st floor bedroom, Conservatory,
sitting RM, and finished lower level (Rec rm, office,
exercise RM, media rm, wet bar, pantry, Storage, Bathroom)
Occupant/Tenant Name: 11 Rooms, 6 Full Baths, 1 1/2 bath
5 Bedrooms
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: NVR Inc.
Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5956 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Decatur Building Services
Address: PO Box 552
City: Woodbine State: MD Zip Code: 21797
Phone: 443-309-7992 Fax: _____
Email: jim@decaturbuildingservices.com

Contractor Company: NV Homes
Contact Person: Clint Cagle
Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
License No.: 56
Phone: 410-379-5956 Fax: _____
Email: ccagle@nvrinc.com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: <u>2</u>	Depth _____ Width _____
Gross area, sq. ft./floor: <u>8629</u>	1st floor: <u>68</u> x <u>100</u>
<u>065F 8454</u>	2nd floor: <u>52</u> x <u>66</u>
Area of construction (sq. ft.): _____	Basement: <u>68</u> x <u>100</u>
Use group: _____	<input checked="" type="checkbox"/> Finished Basement
<u>Performance Method</u>	<input type="checkbox"/> Unfinished Basement
<u>Construction type:</u>	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Structural Steel	No. of Bedrooms: <u>5</u>
<input type="checkbox"/> Masonry	<u>Multi-family Dwelling</u>
<input type="checkbox"/> Wood Frame	No. of efficiency units: _____
<input type="checkbox"/> State Certified Modular	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other: _____	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THE APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jim Keraut
Email Address: jim@decaturbuildingservices.com
Agent/ NV Homes
Title/Company

Print Name: Jim Keraut
Date: 9/27/2019
RECEIVED
SEP 30 2019
LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

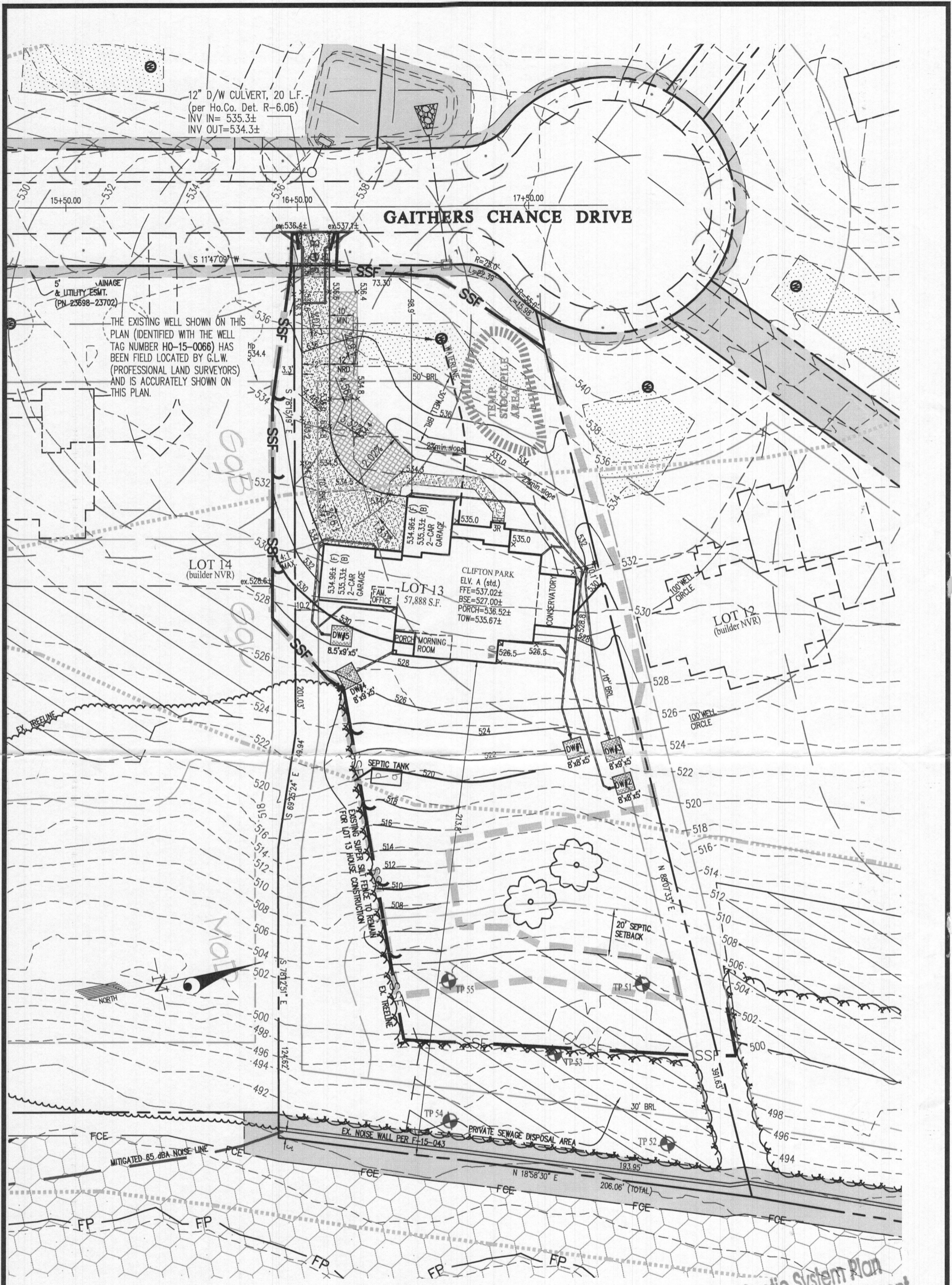
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>11/7/19</u>	<u>RBieker</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



12" D/W CULVERT, 20 L.F.
 (per Ho.Co. Det. R-6.06)
 INV IN= 535.3±
 INV OUT=534.3±

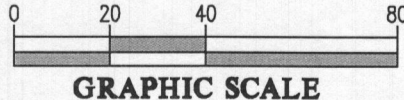
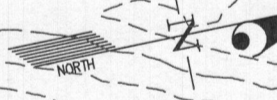
GAITHERS CHANCE DRIVE

THE EXISTING WELL SHOWN ON THIS PLAN (IDENTIFIED WITH THE WELL TAG NUMBER HO-15-0066) HAS BEEN FIELD LOCATED BY G.L.W. (PROFESSIONAL LAND SURVEYORS) AND IS ACCURATELY SHOWN ON THIS PLAN.

LOT 14
 (builder NVR)

CLIFTON PARK
 ELV. A (std.)
 FFE=537.02±
 BSE=527.00±
 PORCH=536.52±
 TOW=535.67±

LOT 12
 (builder NVR)



NOTE:
 1. THE FRONT DOOR FOR LOT 13 FACES WEST.

BUILDING PERMIT PLOT PLAN

*Approved Septic System Plan
 Howard County Health Department
 6-Bed room Floor Plan
 approved incl. Home Office
 in finished basement
 R. Bialik
 11/7/19
 Date*



DES.
 DRN.
 CHK.

PREPARED FOR :
 NVR INC.
 9720 PATUXENTS WOODS DRIVE
 COLUMBIA, MD 21045
 PH: 410-379-5956

GAITHER'S CHANCE
 LOT 13 (5051 GAITHERS CHANCE DR.)
 Plat No. 23698-23702

G. L. W. No.	13070
ZONING	RR-DEO
TAX MAP/GRID	28-8,9,14&15
DATE	SEPT. 2019
SCALE	1"=40'
SHEET	1 OF 1

B19003577

5051 Gaithers Chance Drive

LOT 13

CLIFTON PARK II

Health Dept



NVR, Inc.
Architectural Services
Architects
21 Byte Court, Suite A
Frederick, MD 21702

	FULL BASEMENT							CRAWL SPACE							ATTACHED GARAGES		OPTIONAL ROOMS				DETAILS STANDARD
	STD. DWGS.	ELEV. "A"	ELEV. "B"	ELEV. "C"	ELEV. "D"	ELEV. "K"	ELEV. "L"	STD. DWGS.	ELEV. "A"	ELEV. "B"	ELEV. "C"	ELEV. "D"	ELEV. "K"	ELEV. "L"	THREE CAR SIDE ENTRY	TWO CAR SIDE ATTACHED	CONSERVATORY	SUITE FIRST FLOOR	MORNING ROOM	BONUS ROOM	
NOTE SHEET	2							2													
FRONT ELEVATIONS - SIDING		3						3													D-1
FRONT ELEVATIONS - BRICK		4						4													D-2
FRONT ELEVATIONS - SIDING/STONE		5	6	7	8	10.1	10.2	5	6	7	8	10.1	10.2							D-3	
RIGHT SIDE ELEVATIONS - SIDING OR SIDING/STONE		11	13	14	16	18.1	18.2	11	13	14	16	18.1	18.2							D-4	
RIGHT SIDE ELEVATIONS - BRICK		12		15	17			12		15	17									D-5	
LEFT SIDE ELEVATIONS - SIDING OR SIDING/STONE		19	21	22	24	26.1	26.2	19	21	22	24	26.1	26.2							D-5a	
LEFT SIDE ELEVATIONS - BRICK		20		23	25			20		23	25									D-6	
REAR ELEVATIONS - SIDING		27	29	30	32	34.1	34.2	27	29	30	32	34.1	34.2							D-7	
REAR ELEVATIONS - BRICK		28		31	33			28		31	33									D-8c	
FOUNDATION		35	36	37.1	37.2	37.1	41.2	35	36	37.1	37.2	37.1	41.2							D-11	
HOLD DOWN DETAILS		43						43						38	38	38	38	38	38		D-12
PLUMBING GROUND WORKS		44						44												D-12b	
BASEMENT PLAN		46.1	46.1	46.1	46.2	46.3	46.3	46.1	46.1	46.1	46.1	46.1	46.1							D-12c	
FIRST FLOOR PLAN		47						47												D-13	
FIRST FLOOR PLAN PARTIALS		50						50												D-14	
SECOND FLOOR PLAN		54	56	56	56	56	56	54	56	56	56	56	56	50	53		51	51	52		D-15
SECOND FLOOR PLAN PARTIALS		57						57											55		D-15a
BUILDING SECTION AT FOYER		58						58													D-16
BUILDING SECTION AT GARAGE		60						60									61	61	59		D-16a
STAIR SECTION (FRONT STAIR) - STANDARD		62						62											60		D-17
STAIR SECTION (FRONT STAIR) - UPGRADE		64						64													D-17a
STAIR SECTION (FRONT STAIR) - UPGRADE W/ METAL		66, 67.1						66, 67.1													D-18c
STAIR SECTION (FRONT STAIR) - UPGRADE W/CRAFTSMAN		67.2, 67.3						67.2, 67.3													D-20
STAIR SECTION (REAR STAIR) - STANDARD		68						68													D-21
STAIR SECTION (REAR STAIR) - UPGRADE		69.1						69.1													D-22
STAIR SECTION (REAR STAIR) - UPGRADE W/ CRAFTSMAN		69.2						69.2													D-22a
KITCHEN PLANS - CABINET HOOD "B"		70						70													D-27
KITCHEN PLANS - CABINET HOOD "C"		72						72											71		D-28
KITCHEN PLANS - GOURMET		74						74											73		D-28a
KITCHEN PLANS - ISLANDS		76						76											75		D-29
NET BAR, LAUNDRY, CHARGING CENTER		77.1						77.1													D-30
INTERIOR DETAILS - BATH ELEVATIONS		78						78													D-34
INTERIOR DETAILS - COLUMNS / BULKHEAD		79						79													D-35
INTERIOR DETAILS - FOYER AND FAMILY ROOM WINDOWS		80	80	80	80	80	81	80	80	80	80	80	81								D-36
INTERIOR DETAILS - FIREPLACE DETAILS		82						82													D-37
INTERIOR DETAILS - FIREPLACE DETAILS W/ BONUS RM.		83						83													D-40
INTERIOR MISC. DETAILS		84						84													D-40b
EXTERIOR ELEVATION DETAILS			85	85	86.1	86.2			85	85	86.1	86.2									D-44
EXTERIOR MISC. DETAILS		87						87													D-45
BASEMENT ELECTRICAL		88.1	88.1	88.2	88.2	88.3	88.3														
FIRST FLOOR ELECTRICAL		90	90	91.1	91.1	91.2		90	90	91.1	91.1	91.2									
FIRST FLOOR ELECTRICAL PARTIALS		92						92						92	95						
SECOND FLOOR ELECTRICAL		96	98	98	98	98		96	98	98	98	98					93	93	94		
SECOND FLOOR ELECTRICAL PARTIALS		99						99												97	
FIRST FLOOR JOIST LAYOUT		100	101	101	102	102	102	103	104	104	105	105	105								
SECOND FLOOR JOIST LAYOUT		106	108	108	109	109	109	106	108	108	109	109	109	100	103		100	100	100	103	
ROOF FRAMING		110	111	112	113	114.1	114.2	110	111	112	113	114.1	114.2	115	116	117.2				107	
TRUSS BRACING		119						119													
BRACED WALL		121						121													
ROOF VENTILATION		123	124	125	126	127.1	127.2	123	124	125	126	127.1	127.2								
BASEMENT HVAC PLAN		128.1						128.1													
CRAWL SPACE HVAC PLAN		129						129													
FIRST FLOOR HVAC PLAN		130						130													
SECOND FLOOR HVAC PLAN		131						131													
		132						132													

BASE SQUARE FOOTAGE

FIRST FLOOR	GROSS SQ. FT.	2480
SECOND FLOOR	GROSS SQ. FT.	1987
HOUSE TOTAL	GROSS SQ. FT.	4467

ELEVATIONS SQ. FT.

ELEVATION "A"	GROSS SQ. FT.	+0
ELEVATION "B"	GROSS SQ. FT.	+20
ELEVATION "C"	GROSS SQ. FT.	+120
ELEVATION "D"	GROSS SQ. FT.	+219
ELEVATION "K"	GROSS SQ. FT.	+32
ELEVATION "L"	GROSS SQ. FT.	-146

ADDITIONAL SQ. FT.

MORNING ROOM	GROSS SQ. FT.	+160
CONSERVATORY OR SUITE FIRST FLOOR	GROSS SQ. FT.	+352
SIDE ATTACHED GARAGE	GROSS SQ. FT.	+137
SIDE ATTACHED GARAGE W/ FAMILY OFFICE	GROSS SQ. FT.	+233
5TH BEDROOM LAYOUT	GROSS SQ. FT.	+352
SITTING AREA	GROSS SQ. FT.	+165
BONUS ROOM / BEDROOM	GROSS SQ. FT.	+348
2ND FLOOR LAUNDRY		
- ELEVATION "A"	GROSS SQ. FT.	+105
- ELEVATION "B"	GROSS SQ. FT.	+125
- ELEVATION "C"	GROSS SQ. FT.	+123
- ELEVATION "D"	GROSS SQ. FT.	+141
- ELEVATION "K"	GROSS SQ. FT.	+82
- ELEVATION "L"	GROSS SQ. FT.	+82

MAXIMUM FINISHED SQ. FT.

HOUSE TOTAL	GROSS SQ. FT.	6349
**MAXIMUM SQ. FT. DOES NOT INCLUDE BASEMENT		

FINISHED BASEMENT SQ. FT.

RECREATION ROOM	GROSS SQ. FT.	+244
MEDIA ROOM	GROSS SQ. FT.	+317
HOME OFFICE	GROSS SQ. FT.	+233
BASEMENT BATH	GROSS SQ. FT.	+68
BASEMENT CLOSET	GROSS SQ. FT.	+44
EXERCISE ROOM	GROSS SQ. FT.	+214

FOOTPRINT

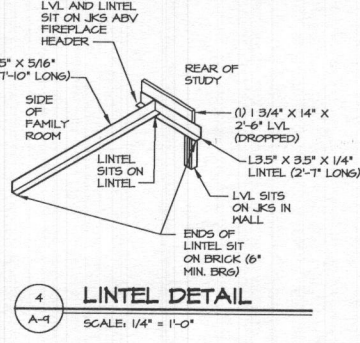
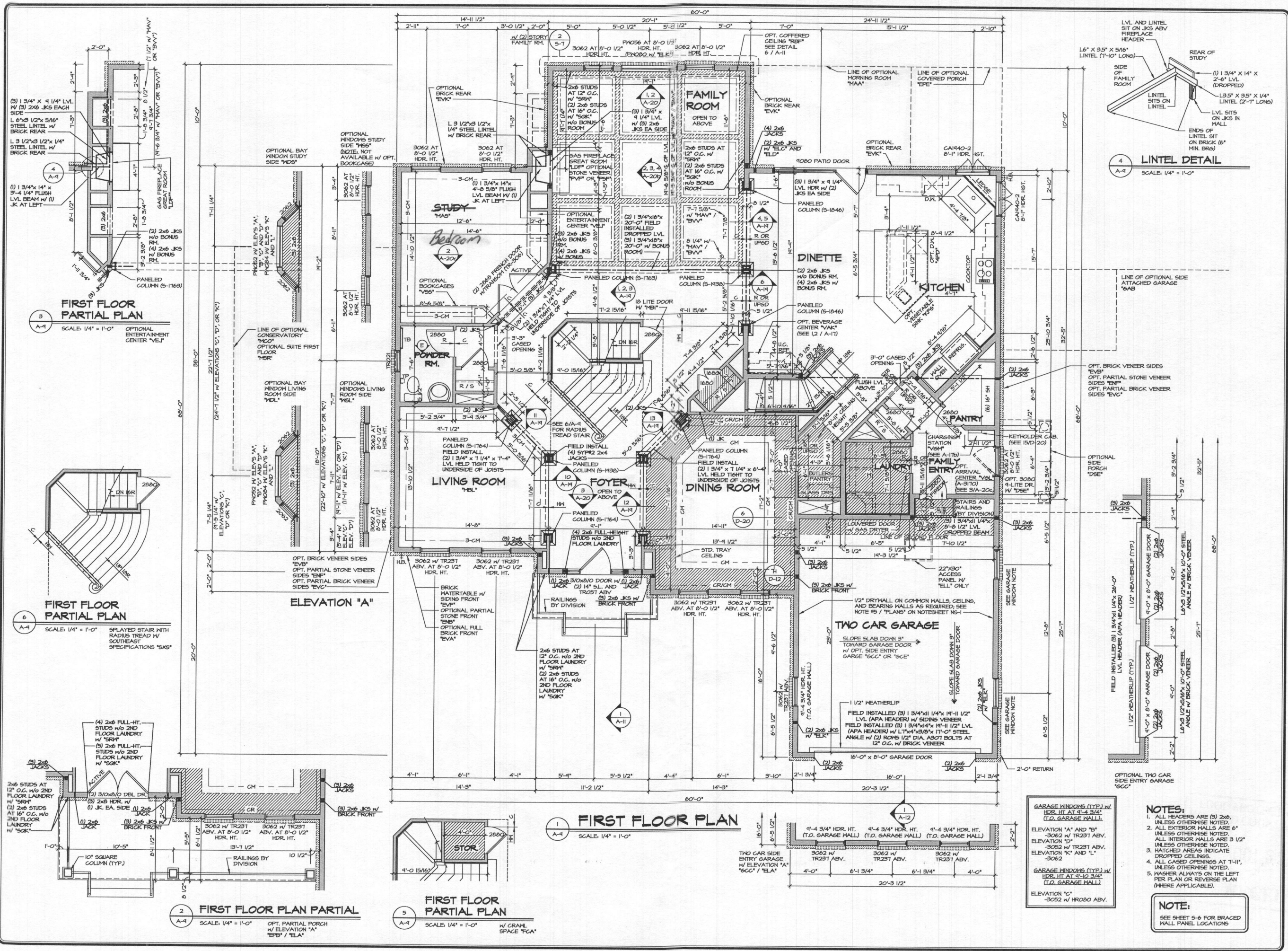
BASE HOUSE:	
WIDTH:	60'-4"
DEPTH:	68'-4"
MAXIMUM:	
WIDTH:	110'-8"
DEPTH:	78'-8"

SET - VERSION

10300-01

CS-1

J:\Dwg\10300\10300-01\CS-1.DWG 10/23/17 1:21:17 PM



NOTES:

1. ALL HEADERS ARE (3) 2x6 UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILING.
5. ALL CASED OPENINGS AT 7'-11" UNLESS OTHERWISE NOTED.
6. HEADER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

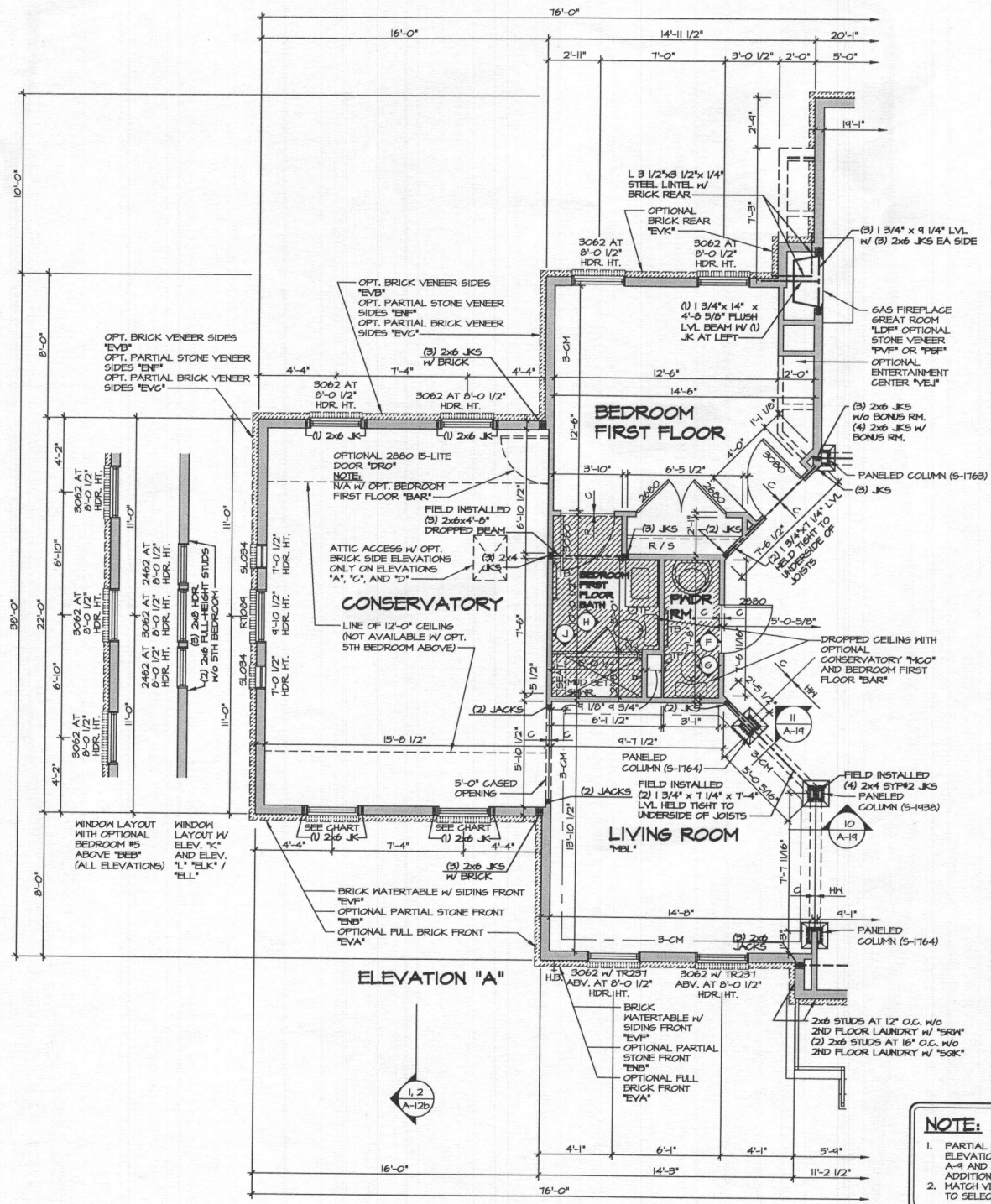
NOTE:
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REMARKS
20	7/16/15	ASB - MOVED RIGHT REAR HOSE BIB TO SIDE (B404)
21	8/15/15	GLS - REVISED FIREDOOR INTO GARAGE TO A 2800 (PAR ID 24829)
30	8/6/15	ASB - REVISED CHASE BEHIND BUILT-IN PANTRY TO BE 3" DEEPER (R4393)
31	8/6/15	ASB - REVISED E.L.E. "A" IN "EP" PORCH COLUMNS TO SQUARE PER DFR #102
32	12/17/15	ASB - PAR 10000 - REVISED GARAGE SLAB HEIGHT
33	4/29/16	ASB - ADDED JACKS FOR BLK GARAGE SIDING (PAR #41603)
34	12/16/16	ASB - PAR #4294 - REVISED FIREPLACES TO BE CENTERED ON COFFERED CEILING
35	2/10/17	KAD - ADJUST MALL LOCATION AT KITCHEN SINK LEDGE
36	2/29/19	ASU - MOVED REAR WALL OF LAUNDRY ROOM TO EXTEND BY 1/2" (PAR #0059)

SET NO.	10500
VERSION 01	
DRAWN BY	AJH
DATE:	12/7/12
OPTION	

MODEL	CLIFTON PARK II
DRAWING TITLE	FIRST FLOOR PLAN
OPTION DESCRIPTION	

SHEET NO.	A-9
47	

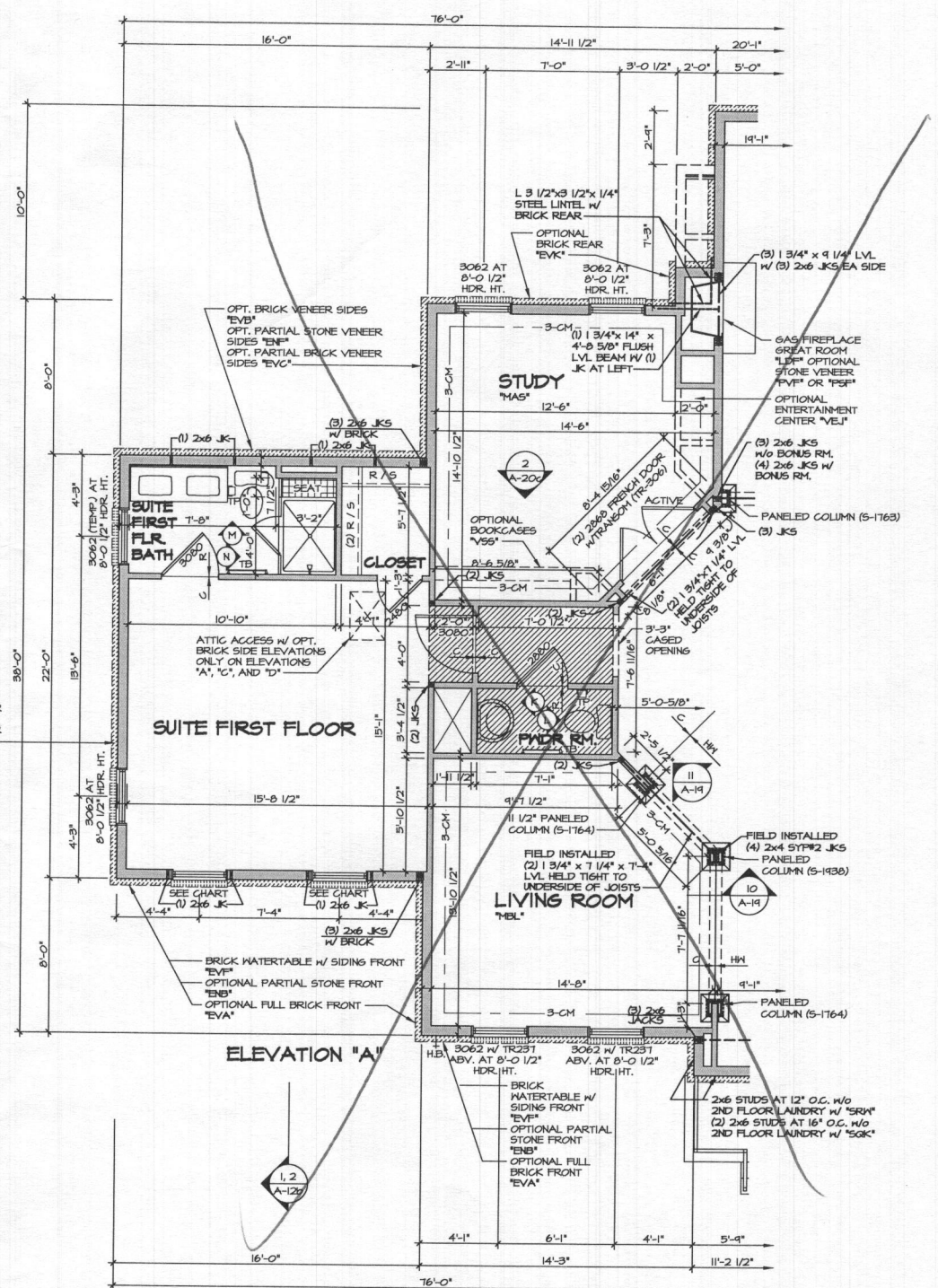


1 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONSERVATORY "MCO"
SHOWN WITH FIRST FLOOR BEDROOM "BAR"
NOTE:
CONSERVATORY N/A W/ OPT. LIBRARY "MAT"

FRONT WINDOWS OF CONSERVATORY OR SUITE FIRST FLOOR (TYP.) W/ STANDARD FOUR BEDROOM PLAN AT T-0 1/2" HDR. HT.	FRONT WINDOWS OF CONSERVATORY OR SUITE FIRST FLOOR (TYP.) W/ OPTIONAL FIVE BEDROOM PLAN AT 0'-0 1/2" HDR. HT.
ELEVATION "A" AND "B" -3062	ELEVATION "A" AND "B" -3062 W/ TR231 ABY.
ELEVATION "C", "D", "K", AND "L" -3052	ELEVATION "C", "K" AND "L" -3062
	ELEVATION "D" -3052 W/ TR231 ABY.

NOTE:
1. PARTIAL PLANS SHOWN W/ ELEVATION "A". SEE SHEET A-9 AND A-8 FOR ADDITIONAL INFORMATION.
2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.



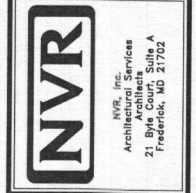
2 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

SUITE FIRST FLOOR "MSR"
NOTE: N/A W/ BEDROOM FIRST FLOOR "BAR"

NOTES:
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
3. HATCHED AREAS INDICATE DROPPED CEILINGS.
4. ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.
5. MASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

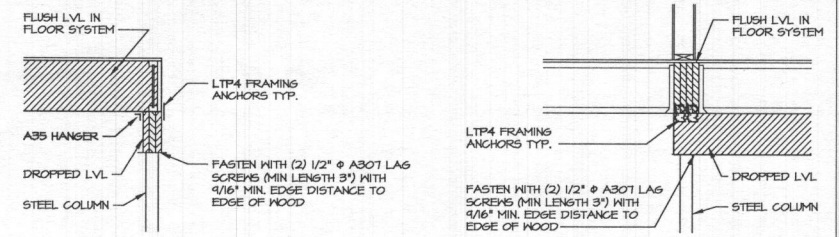
NOTE:
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REMARKS
10	1/14/15	9'x9' - SHIFTED WINDOWS FOR SUITE FIRST FLOOR, "MSR". 5'x8' PAR. 30121
11	4/28/15	1999 - PAR. #2426 - ROTATED JACKS IN POTTER COLUMNS & REVISED TO FIELD INSTALLED
12	10/29/15	EEP - 2012 V.A. CODE UPDATE
13	12/28/15	1999 - PAR. #2426 - CREATED PARTIAL FOR BAR / REVISED LAYOUT 451 FOR BAR
14	2/27/17	KAD - PROJECT #189 - ADDED COUNTERTOP LAYOUTS FOR OWNERS BATH
6	4/24/14	9'x9' - ADJUSTED WALLS AT STUDY BOOKCASE AREA
7	5/1/14	A/J - PAR. 1, 29948 (ADDED ATTIC ACCESS)
8	5/1/14	A/J - ADDED ELEVATION "L" TO SET
9	6/23/14	L/R - REVISED FULL COLUMN FROM 5'-10" TO 5'-10 1/2" (PAR. #26679)

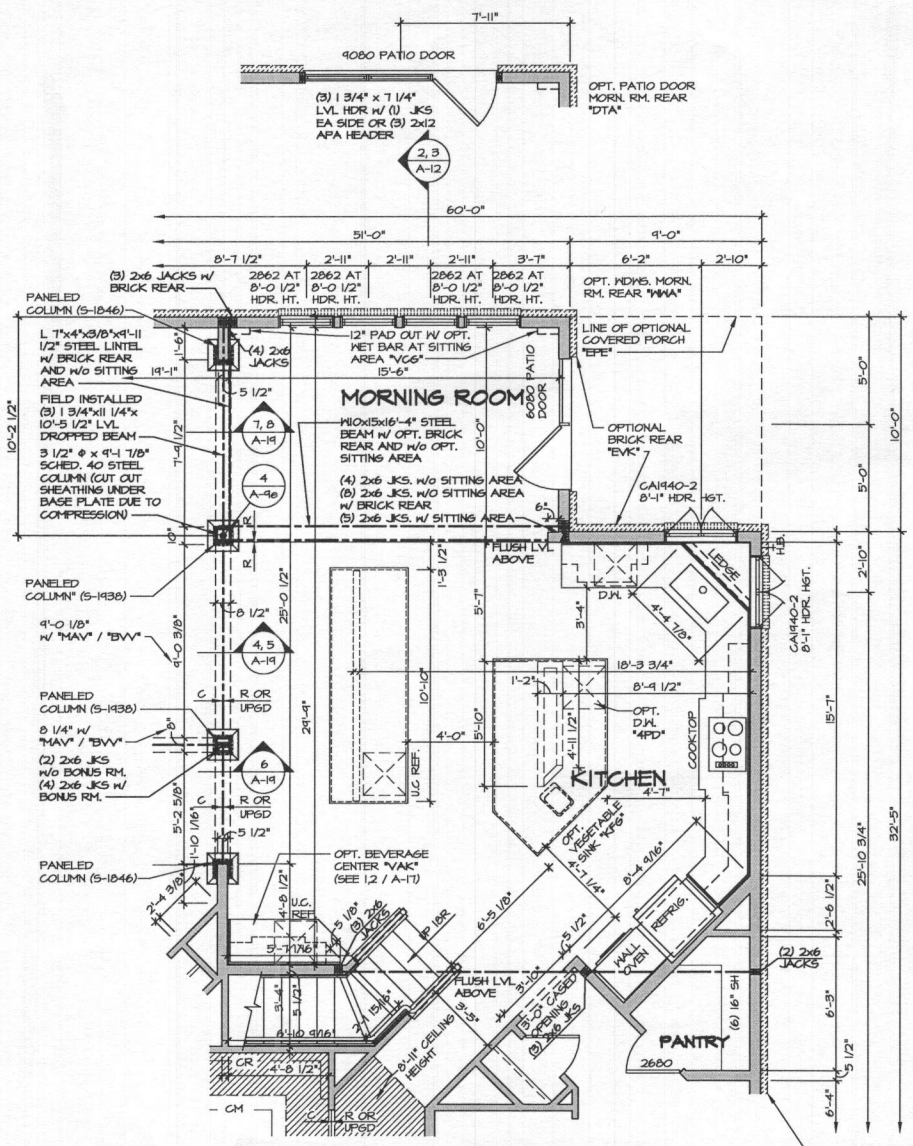


SET NO. 10500
VERSION 01
DRAWN BY: AJH
DATE: 1/2/13
OPTION: MCO
MSR

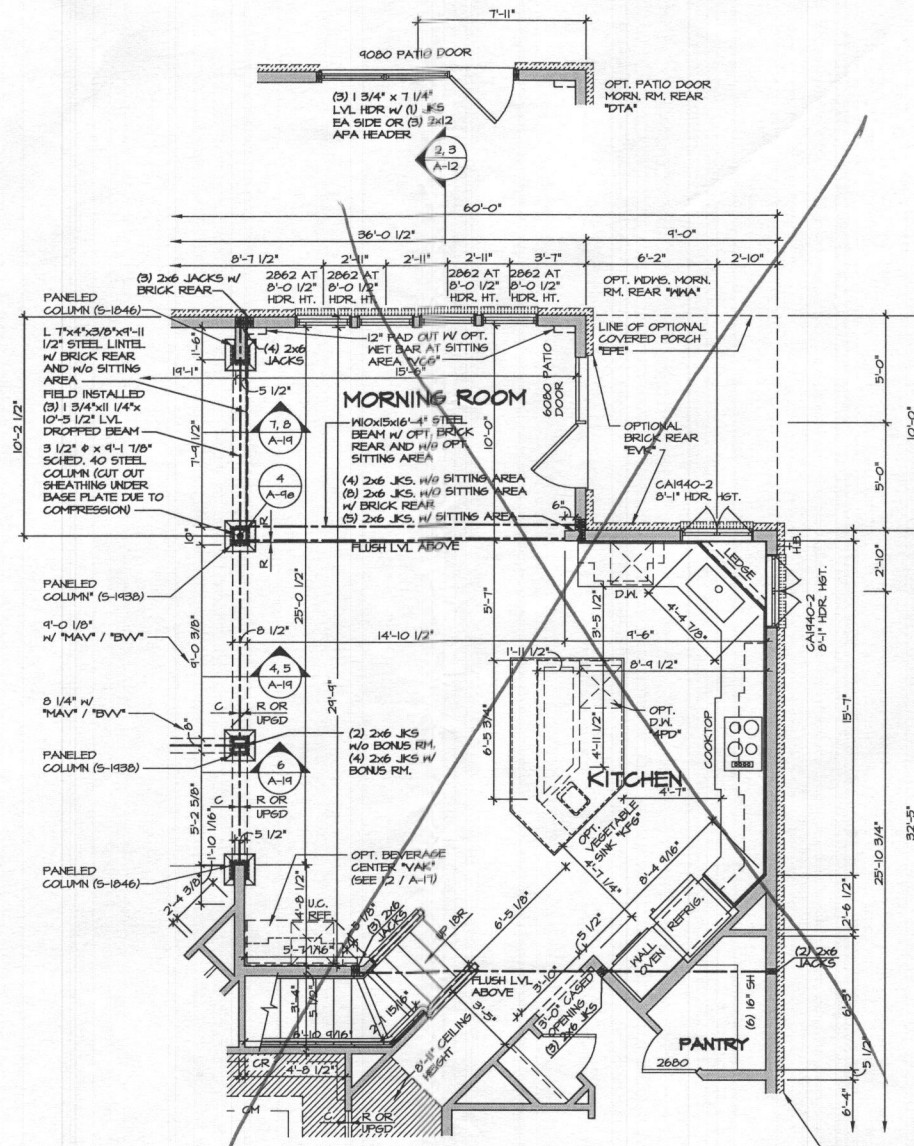
SHEET NO. A-9d
MODEL: CLIFTON PARK II
DRAWING TITLE: FIRST FLOOR PARTIAL PLANS
OPTION DESCRIPTION: CONSERVATORY SUITE FIRST FLOOR
51



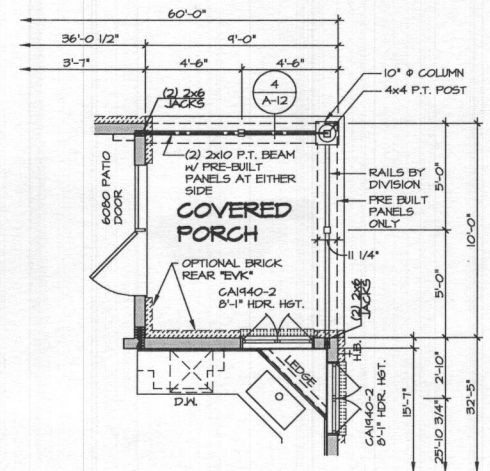
ATTACHMENT DETAIL
SCALE: 1/2" = 1'-0"



PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
MORNING ROOM W/ GOURMET ISLAND 'MAA' / 'KFF'



PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
MORNING ROOM 'MAA'



PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
COVERED PORCH 'EPF'
NOTE: ONLY AVAILABLE W/ 'MAA'

NOTE:
1. PARTIAL PLANS SHOWN W/ ELEVATION 'A'. SEE SHEET A-3 AND A-6 FOR ADDITIONAL INFORMATION.
2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.

NOTES:
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6. HANGER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

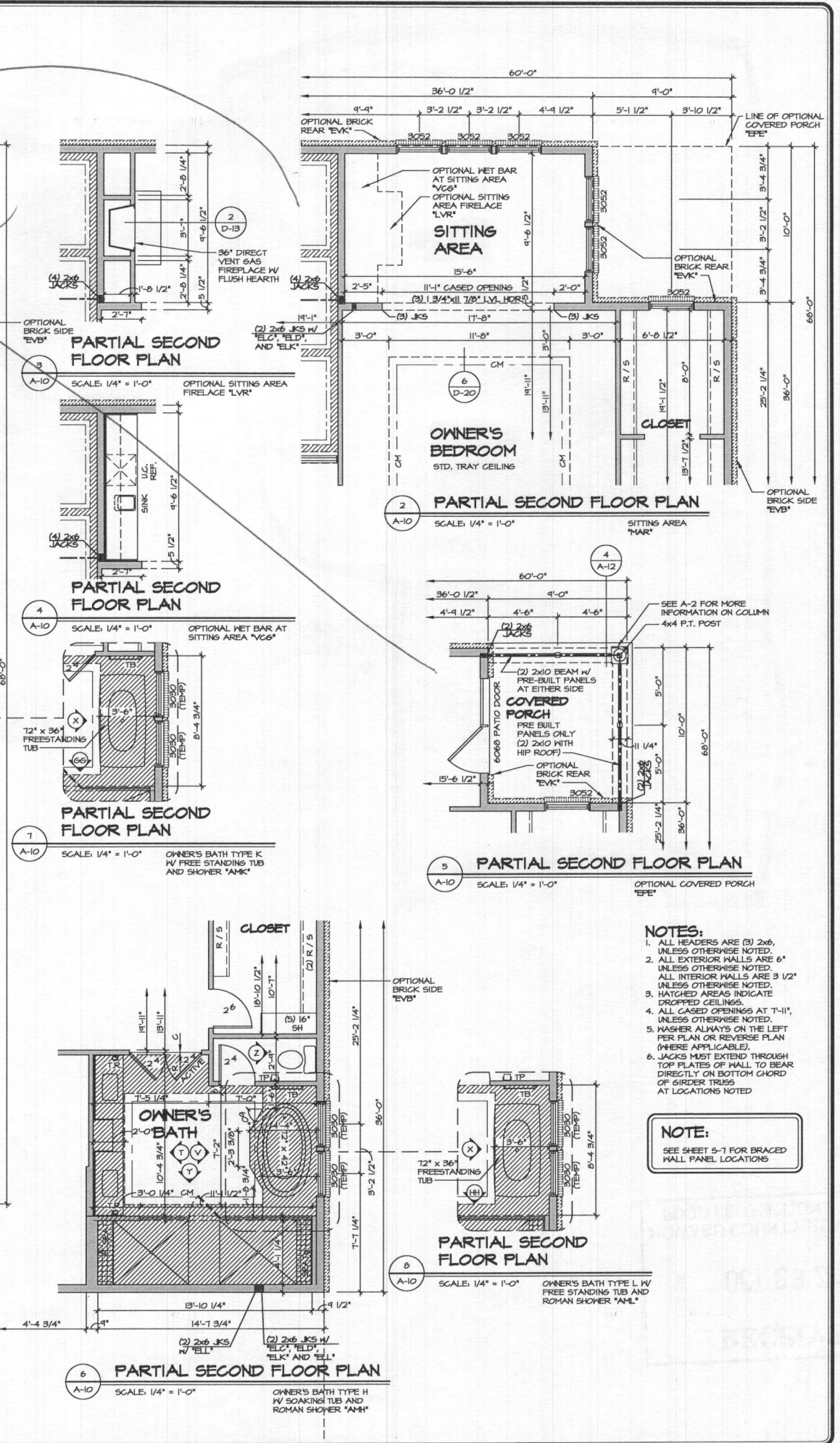
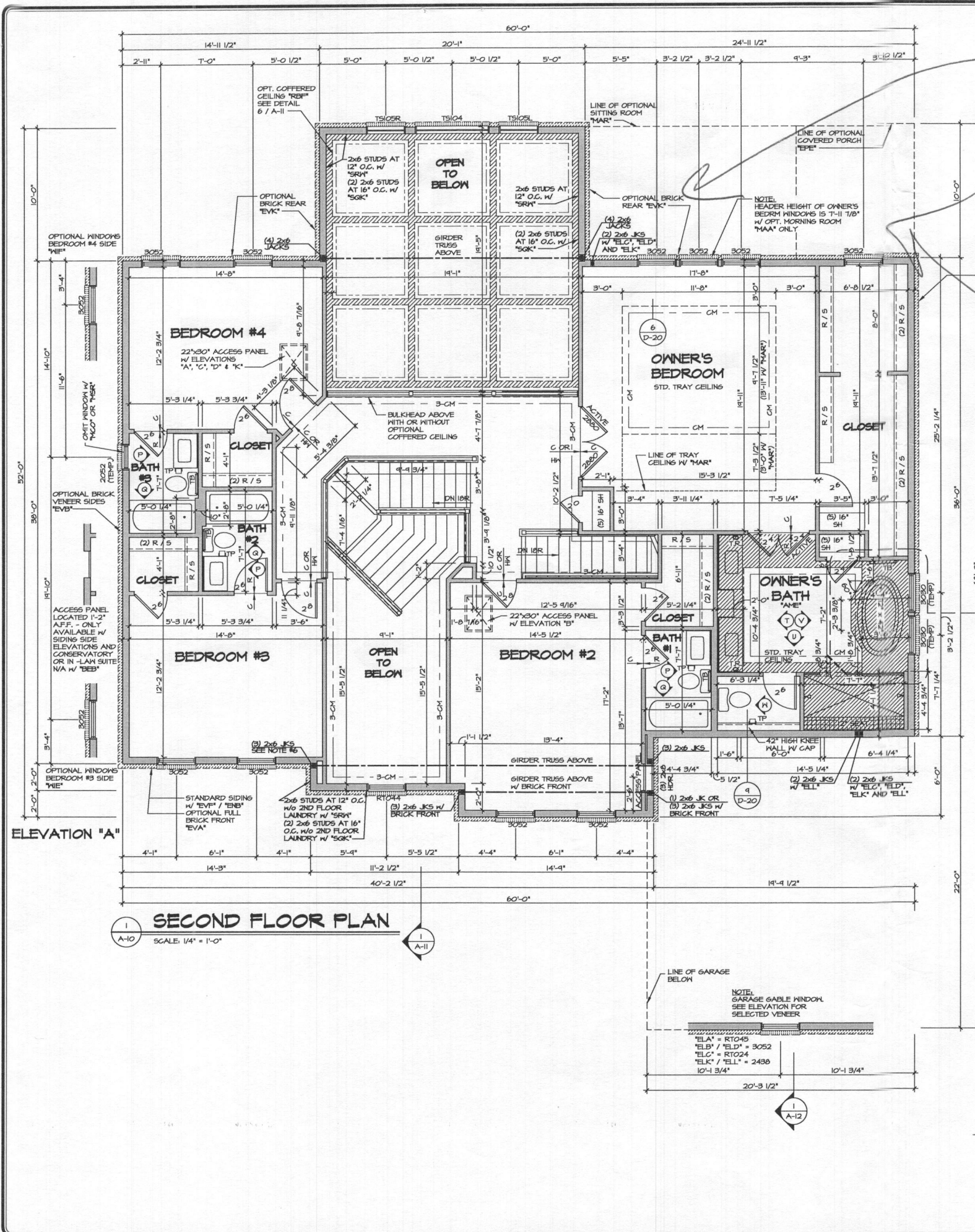
NOTE:
SEE SHEET 5-6 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	DESCRIPTION
1	10/21/14	CEL - ADDED DIMENSION FOR 9080 PATIO DOOR
2	11/24/14	CLS - ADDED ATTACHMENT DETAIL 4/1 A-4e (PAR ID 28896)
3	11/25/14	SEA - ADIT REVISIONS
4	1/6/15	SEA - REVISED HANDRAIL IN REAR STAIR (PAR 24859)
5	3/6/15	DKK - REVISED HALL CABINET LAYOUT AND ADDED 6" TO HALL FOR CABINETS
6	7/6/15	ANS - REVISED RIGHT REAR NOSE DIB TO SIDE (B4044)
7	9/16/15	CSB - FIELD ADIT REVISIONS
8	2/20/17	KAD - ADJUST HALL LOCATION AT KITCHEN SINK LEDGE
9	10/25/14	CLS - REVISED HANGER HEIGHT OF CAN440-2 KITCHEN WINDOWS (PAR ID 28212)

NVR
Architectural Services
21 Bay Avenue
Frederick, MD 21702

SET NO. 10300	VERSION C1	DRAWN BY AJH	DATE: 1/4/15	OPTION MAA
CLIFTON PARK II				
A-9e				
FIRST FLOOR PARTIAL PLANS				
MORNING ROOM				
52				

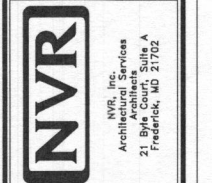
10:000-01.PIN1-MAA.dwg 10/23/18 - 841.rvt



- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 4. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
 5. HANGER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 6. JACKS MUST EXTEND THROUGH TOP PLATES OF HALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET S-1 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REMARKS
1	10/24/11	KAD - PROJECT BIDDING - ADDED CONCEPT LAYOUTS FOR OWNER'S BATH
2	11/21/11	1/2/11 - REVISED TRAY CEILING W/ "MAR" TO MATCH ROOF DRAWING (PAR 10201)
3	11/29/11	1/2/11 - REVISED REVISIONS
4	1/6/12	1/6 - REVISED HANDRAIL IN REAR STAIR (PAR 24895)
5	1/22/12	1/6 - REVISED BULKHEAD NOTE AT OVERLOOK INTO FAMILY ROOM (PAR 10204/10)
6	1/22/12	1/6 - REVISED REAR PORCH PLATFORM TO ACCOMMODATE (PAR 10204/10)
7	1/22/12	1/6 - REVISED REAR PORCH PLATFORM TO ACCOMMODATE (PAR 10204/10)
8	1/22/12	1/6 - REVISED REAR PORCH PLATFORM TO ACCOMMODATE (PAR 10204/10)
9	1/22/12	1/6 - REVISED REAR PORCH PLATFORM TO ACCOMMODATE (PAR 10204/10)
10	1/22/12	1/6 - REVISED REAR PORCH PLATFORM TO ACCOMMODATE (PAR 10204/10)
11	1/22/12	1/6 - REVISED REAR PORCH PLATFORM TO ACCOMMODATE (PAR 10204/10)
12	1/22/12	1/6 - REVISED REAR PORCH PLATFORM TO ACCOMMODATE (PAR 10204/10)
13	1/22/12	1/6 - REVISED REAR PORCH PLATFORM TO ACCOMMODATE (PAR 10204/10)
14	1/22/12	1/6 - REVISED REAR PORCH PLATFORM TO ACCOMMODATE (PAR 10204/10)
15	1/22/12	1/6 - REVISED REAR PORCH PLATFORM TO ACCOMMODATE (PAR 10204/10)
16	1/22/12	1/6 - REVISED REAR PORCH PLATFORM TO ACCOMMODATE (PAR 10204/10)



MODEL	CLIFTON PARK II
DRAWING TITLE	SECOND FLOOR PLAN
OPTION DESCRIPTION	
SHEET NO.	A-10
SET NO.	10300
VERSION	01
DRAWN BY	AJH
DATE	12/2/12
OPTION	OPTION
SHEET NO.	54