



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DATE RECEIVED: \_\_\_\_\_

Permit No.: **B20000888**

*Health*

Building Address: 1022 HIGH STEPPER TRAIL  
 City: SYKESVILLE State: MD Zip Code: 21784  
 Suite/Apt. #: \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 11  
 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: 1.34

Existing Use: SFD  
 Proposed Use: SFD /PROPANE TANK  
 Estimated Construction Cost: \$ 4,000  
 Description of Work: INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Occupant/Tenant Name: OWNER  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

| Commercial Building Characteristics                                 | Residential Building Characteristics                                                  |              |
|---------------------------------------------------------------------|---------------------------------------------------------------------------------------|--------------|
| Height:                                                             | <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse |              |
| No. of stories:                                                     | <u>Depth</u>                                                                          | <u>Width</u> |
| Gross area, sq. ft./floor:                                          | 1 <sup>st</sup> floor:                                                                |              |
|                                                                     | 2 <sup>nd</sup> floor:                                                                |              |
| Area of construction (sq. ft.):                                     | Basement:                                                                             |              |
|                                                                     | <input type="checkbox"/> Finished Basement                                            |              |
| Use group:                                                          | <input type="checkbox"/> Unfinished Basement                                          |              |
|                                                                     | <input type="checkbox"/> Crawl Space                                                  |              |
| <b>Construction type:</b>                                           | <input type="checkbox"/> Slab on Grade                                                |              |
| <input type="checkbox"/> Reinforced Concrete                        | No. of Bedrooms:                                                                      |              |
| <input type="checkbox"/> Structural Steel                           | <b>Multi-family Dwelling</b>                                                          |              |
| <input type="checkbox"/> Masonry                                    | No. of efficiency units:                                                              |              |
| <input type="checkbox"/> Wood Frame                                 | No. of 1 BR units:                                                                    |              |
| <input type="checkbox"/> State Certified Modular                    | No. of 2 BR units:                                                                    |              |
|                                                                     | No. of 3 BR units:                                                                    |              |
|                                                                     | Other Structure:                                                                      |              |
|                                                                     | Dimensions:                                                                           |              |
| <input checked="" type="checkbox"/> Roadside Tree Project Permit    | Footings:                                                                             |              |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Roof:                                                                                 |              |
| <b>Roadside Tree Project Permit #</b>                               | <input type="checkbox"/> State Certified Modular                                      |              |
|                                                                     | <input type="checkbox"/> Manufactured Home                                            |              |

Property Owner's Name: ESC WALKER MEADOWS  
 Address: 1355 BEVERKY ROAD STE 220  
 City: MCLEAN State: VA Zip Code: 22101  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

**Applicant's Name & Mailing Address, (If other than stated herein)**  
 Applicant's Name: MICHELLE CLANCY  
 Address: PO BOX 310  
 City: PERR HALL State: MD Zip Code: 21128  
 Phone: 443-610-7514 Fax: \_\_\_\_\_  
 Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: AIR GAS  
 Contact Person: DENNIS FEAGA  
 Address: 6750 MACLEAN WAY STE B  
 City: GLEN BURNIE State: MD Zip Code: 21060  
 License No.: 81215  
 Phone: 410-984-5681 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Engineer/Architect Company: CONTRACTOR  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

| Utilities                                                                 |                                                                     |
|---------------------------------------------------------------------------|---------------------------------------------------------------------|
| Electric:                                                                 | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Gas:                                                                      | <input type="checkbox"/> Yes <input type="checkbox"/> No            |
| Water Supply                                                              |                                                                     |
| <input type="checkbox"/> Public                                           |                                                                     |
| <input checked="" type="checkbox"/> Private                               |                                                                     |
| Sewage Disposal                                                           |                                                                     |
| <input type="checkbox"/> Public                                           |                                                                     |
| <input checked="" type="checkbox"/> Private                               |                                                                     |
| Heating System                                                            |                                                                     |
| <input type="checkbox"/> Electric <input type="checkbox"/> Oil            |                                                                     |
| <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas |                                                                     |
| <input type="checkbox"/> Other:                                           |                                                                     |
| Sprinkler System:                                                         |                                                                     |
| <input type="checkbox"/> Yes <input type="checkbox"/> No                  |                                                                     |
| Grading Permit Number:                                                    |                                                                     |
| Building Shell Permit Number:                                             |                                                                     |

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: \_\_\_\_\_  
 MICHELLE@APPLIEDANDAPPRO ED.COM  
 Email Address  
 PERMITS  
 Title/Company

MICHELLE CLANCY  
 Print Name  
 3/12/2020  
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
**FOR OFFICE USE ONLY**

| AGENCY             | DATE    | SIGNATURE OF APPROVAL |
|--------------------|---------|-----------------------|
| State Highways     |         |                       |
| Building Officials |         |                       |
| PSZA (Zoning)      |         |                       |
| PSZA (Engineering) |         |                       |
| Health             | 3/30/20 | [Signature]           |

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

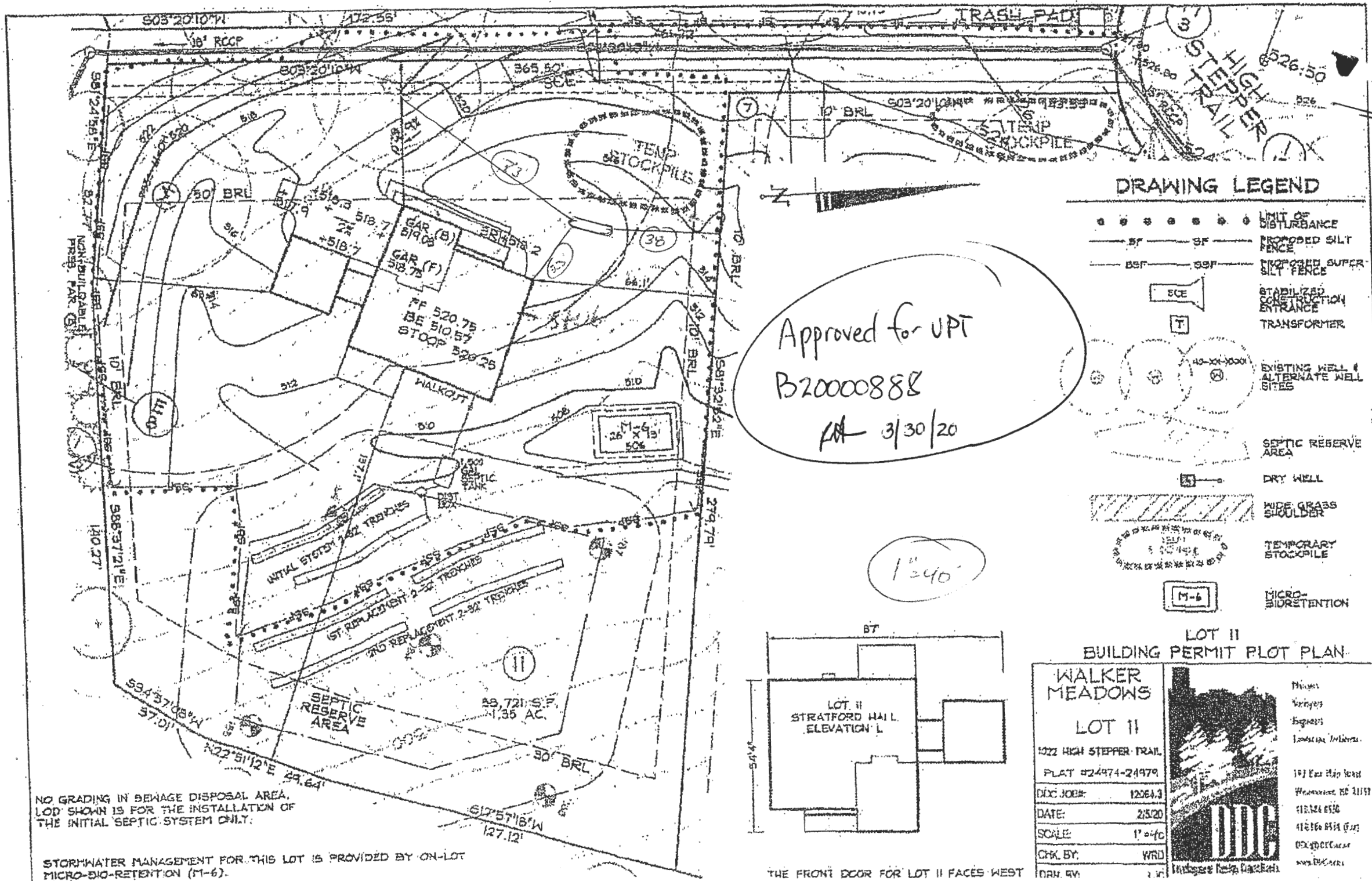
**DPZ SETBACK INFORMATION**

Front: \_\_\_\_\_  
 Rear: \_\_\_\_\_  
 Side: \_\_\_\_\_  
 Side St.: \_\_\_\_\_  
 All minimum setbacks met?  Yes  No  
 Is Entrance Permit Required?  Yes  No  
 Historic District?  Yes  No  
 Lot Coverage for New Town Zone: \_\_\_\_\_  
 SDP/Red-line approval date: \_\_\_\_\_

|                 |    |
|-----------------|----|
| Filing Fee      | \$ |
| Permit Fee      | \$ |
| Tech Fee        | \$ |
| Excise Tax      | \$ |
| PSFS            | \$ |
| Guaranty Fund   | \$ |
| Add'l per Fee   | \$ |
| Total Fees      | \$ |
| Sub- Total Paid | \$ |
| Balance Due     | \$ |
| Check           | #  |

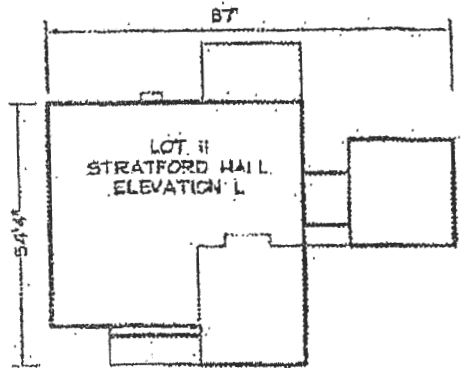
Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

*Handwritten initials*



Approved for UPT  
 B20000888  
 PA 3/30/20

1"=40'



THE FRONT DOOR FOR LOT II FACES WEST

**DRAWING LEGEND**

- LIMIT OF DISTURBANCE
- SF — SF — PROPOSED SILT FENCE
- BSF — SSF — PROPOSED SUPER SILT FENCE
- ECE STABILIZED CONSTRUCTION ENTRANCE
- T TRANSFORMER
- EXISTING WELL & ALTERNATE WELL SITES
- SEPTIC RESERVE AREA
- DW DRY WELL
- WGS WIDE GRASS SHOULDER
- TEMPORARY STOCKPILE
- M-6 MICRO-BIORETENTION

**LOT II BUILDING PERMIT PLOT PLAN**

|                         |         |  |                                                                                                                                                                        |
|-------------------------|---------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>WALKER MEADOWS</b>   |         |  | Plans<br>Surveys<br>Engineers<br>Landscape Architects<br>187 East 21st Street<br>Westmont, ND 58117<br>701.824.8556<br>412.866.8154 (fax)<br>DW@DWC.com<br>www.DWC.com |
| <b>LOT II</b>           |         |  |                                                                                                                                                                        |
| 1222 HIGH STEPPER TRAIL |         |  |                                                                                                                                                                        |
| PLAT #24974-24979       |         |  |                                                                                                                                                                        |
| DEC JOB#                | 12064.3 |  |                                                                                                                                                                        |
| DATE                    | 2/3/20  |  |                                                                                                                                                                        |
| SCALE                   | 1"=40'  |  |                                                                                                                                                                        |
| CHK. BY                 | WRD     |  |                                                                                                                                                                        |
| DRN. BY                 | J.V.    |  |                                                                                                                                                                        |

NO GRADING IN SEWAGE DISPOSAL AREA.  
 LOD SHOWN IS FOR THE INSTALLATION OF  
 THE INITIAL SEPTIC SYSTEM ONLY.

STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY ON-LOT  
 MICRO-BIO-RETENTION (M-6).



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: 1/21/2020

Permit No.: B2000022E

Building Address: 1022 High Stepper Tr.  
 City: Sykesville State: MD Zip Code: 21784  
 Suite/Apt. #: SDP/WP/BA #: F-17-04S  
 Subdivision: Walker Meadows  
 Lot: 11 Tax Map: Parcel:

Existing Use: vacant lot  
 Proposed Use: Single family house  
 Estimated Construction Cost: \$210,000  
 Description of Work: New 2 story "Stratford Hall"  
 NW L, with 2 car side load garage, 2 car side  
 attached garage, 1st floor bedroom, covered porch,  
 finished lower level (rec rm, bath, wet bar)  
 11 Rooms, 6 full baths, 1 1/2 bath, and 5 bedrooms

Occupant/Tenant Name:  
 Was tenant space previously occupied?  Yes  No  
 Contact Name:  
 Address:  
 City: State: Zip Code:  
 Phone: Fax:  
 Email:

Property Owner's Name: NVR INC  
 Address: 9720 Patuxent Woods Drive  
 City: Columbia State: MD Zip Code: 21046  
 Phone: 410-379-5956 Fax:  
 Email: Janastas@NVRINC.com

Applicant's Name & Mailing Address, (If other than stated herein)  
 Applicant's Name: Jim Kerwin  
 Address: PO Box 552  
 City: Woodbine State: MD Zip Code: 21797  
 Phone: 443-309-7292 Fax:  
 Email: Jim@DecaturBuildingServices.com

Contractor Company: NV Homes  
 Contact Person: James Anastasia  
 Address: 9720 Patuxent Woods Drive  
 City: Columbia State: MD Zip Code: 21046  
 License No.: 56  
 Phone: 410-379-5956 Fax:  
 Email: Janastas@NVRINC.com

Engineer/Architect Company:  
 Responsible Design Prof.:  
 Address:  
 City: State: Zip Code:  
 Phone: Fax:  
 Email:

| Commercial Building Characteristics                                 | Residential Building Characteristics                                       |
|---------------------------------------------------------------------|----------------------------------------------------------------------------|
| Height:                                                             | <input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse |
| No. of stories: 2                                                   | Depth: Width:                                                              |
| Gross area, sq. ft./floor: 7445                                     | 1st floor: 54 x 87                                                         |
| 065F 7193                                                           | 2nd floor: 50 x 54                                                         |
| Area of construction (sq. ft.):                                     | Basement: 54 x 64                                                          |
| Use group:<br>Performance Method                                    | <input type="checkbox"/> Finished Basement                                 |
| Construction type:                                                  | <input type="checkbox"/> Unfinished Basement                               |
| <input type="checkbox"/> Reinforced Concrete                        | <input type="checkbox"/> Crawl Space                                       |
| <input type="checkbox"/> Structural Steel                           | <input type="checkbox"/> Slab on Grade                                     |
| <input type="checkbox"/> Masonry                                    | No. of Bedrooms: 5                                                         |
| <input type="checkbox"/> Wood Frame                                 | Multi-family Dwelling                                                      |
| <input type="checkbox"/> State Certified Modular                    | No. of efficiency units:                                                   |
|                                                                     | No. of 1 BR units:                                                         |
|                                                                     | No. of 2 BR units:                                                         |
|                                                                     | No. of 3 BR units:                                                         |
|                                                                     | Other Structure:                                                           |
|                                                                     | Dimensions:                                                                |
| > Roadside Tree Project Permit                                      | Footings:                                                                  |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Roof:                                                                      |
| Roadside Tree Project Permit #                                      | <input type="checkbox"/> State Certified Modular                           |
|                                                                     | <input type="checkbox"/> Manufactured Home                                 |

Utilities

Electric:  Yes  No  
 Gas:  Yes  No

Water Supply

Public  
 Private

Sewage Disposal

Public  
 Private

Heating System

Electric  Oil  
 Natural Gas  Propane Gas  
 Other:

Sprinkler System:

Yes  No

Grading Permit Number: [REDACTED]

Building Shell Permit Number: [REDACTED]

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THE APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

*Jim Kerwin*  
 Applicant's Signature  
 Jim @ DecaturbuildingServices.com  
 Email Address  
 AGENT NVR / Ryan Homes  
 Title/Company

Jim Kerwin  
 Print Name  
 1/21/2020  
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

| AGENCY             | DATE      | SIGNATURE OF APPROVAL |
|--------------------|-----------|-----------------------|
| State Highways     |           |                       |
| Building Officials |           |                       |
| PSZA (Zoning)      |           |                       |
| PSZA (Engineering) |           |                       |
| Health             | 2/13/2020 | R. Bickel             |

Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

| DPZ SETBACK INFORMATION                                                               |
|---------------------------------------------------------------------------------------|
| Front:                                                                                |
| Rear:                                                                                 |
| Side:                                                                                 |
| Side St.:                                                                             |
| All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No    |
| Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No           |
| Lot Coverage for New Town Zone:                                                       |
| SDP/Red-line approval date:                                                           |

|                 |          |
|-----------------|----------|
| Filing Fee      | \$ 100   |
| Permit Fee      | \$       |
| Tech Fee        | \$       |
| Excise Tax      | \$       |
| PSFS            | \$       |
| Guaranty Fund   | \$ 50    |
| Add'l per Fee   | \$       |
| Total Fees      | \$       |
| Sub- Total Paid | \$       |
| Balance Due     | \$       |
| Check           | # 308999 |

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

mylars still being circulated for U.I. construction

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 2/11/2020

To: Robert Bricker  
(Person's Name and Division)

From: Jim Kerwin agent NV Homes (443) 309-7792  
(Your Name, Company Name and Telephone Number)

Subject: Project name Walker meadows  
Project site address 1022 High Stepper Trail  
Permit # B20000228 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of revised Plot Plans (be specific). moved grading contour "510"
- Health Department Request  DPZ/ DED Request  Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- Other \_\_\_\_\_

**Contact Person Information: (Required)**

Jim Kerwin  
Please Print Name

Telephone No: 443-309-7792

E-Mail Address: Jim@Decaturbuilding  
Services.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by 

**RECEIVED**  
**FEB 11 2020**

*No fee  
1st revision*

Maura J. Rossman, M.D., Health Officer

**MEMORANDUM**

TO: *Jimmy Anastasia, NVR, Inc.*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*  
Well & Septic Program

RE: *1022 High Stepper Trail*, Potential Basement Bedroom

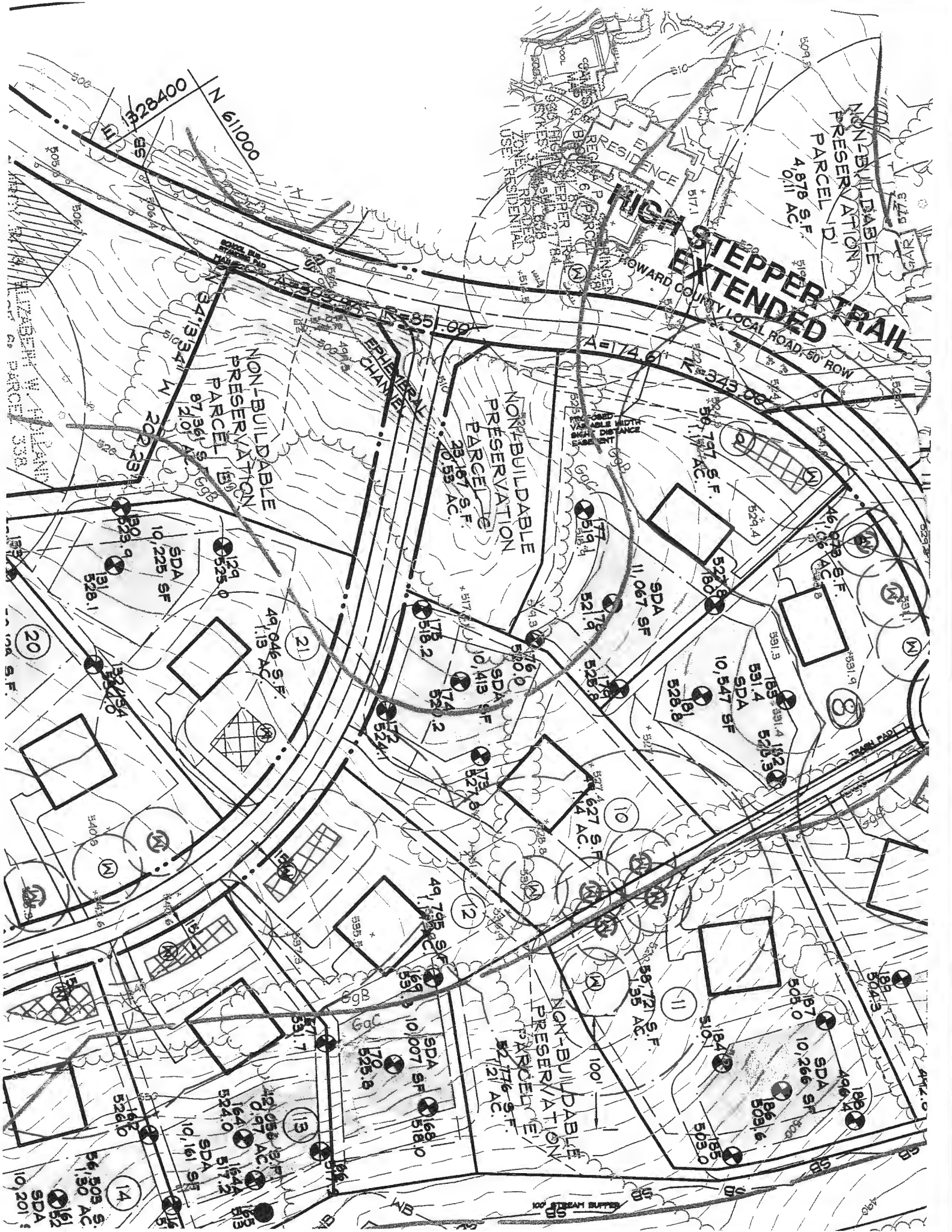
DATE: January 31, 2020

I have reviewed the floor plans in support of Building Permit **B20000228** for a new home at **1022 High Stepper Trail** and noted that there is a full bathroom planned in the finished basement. Please note that this makes it very likely for at least one more room to be considered a bedroom should the basement layout be modified and/or an egress window installed.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
  - (i) Is 90 square feet or greater in size;
  - (ii) May be used as a private sleeping area; and
  - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
  - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
  - (ii) A minimum 4 foot-wide opening, without doors, into another room;
  - (iii) A half wall (4 foot maximum height) between the room and another room; or
  - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **five (5)**- bedroom design to accommodate a future modification of the finished basement. If you choose to only size for the existing design, any future building permit for modification of the finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.



328400  
N 61100  
34°13'34" W  
202.231  
10,225 SF  
49,046 S.F.  
10,161 SF  
10,201 S.F.  
10,130 S.F.  
10,201 S.F.

NON-BUILDABLE PRESERVATION PARCEL ID: 4,978 S.F. 0.11 AC.  
NON-BUILDABLE PRESERVATION PARCEL ID: 28,167 S.F. 0.53 AC.  
NON-BUILDABLE PRESERVATION PARCEL ID: 10,547 S.F. 0.24 AC.  
NON-BUILDABLE PRESERVATION PARCEL ID: 10,161 S.F. 0.23 AC.  
NON-BUILDABLE PRESERVATION PARCEL ID: 10,007 S.F. 0.23 AC.  
NON-BUILDABLE PRESERVATION PARCEL ID: 10,266 S.F. 0.24 AC.  
NON-BUILDABLE PRESERVATION PARCEL ID: 10,161 S.F. 0.23 AC.

STEPPER EXTENDED TRAIL  
EPIHEMERAL CHANNEL  
100' STREAM BUFFER

RESIDENCE  
6 PERCENT ANGLE  
TOWARD COUNTY LOCAL ROAD, 50' ROW  
34°13'34" W  
202.231  
10,225 SF  
49,046 S.F.  
10,161 SF  
10,201 S.F.  
10,130 S.F.  
10,201 S.F.

NON-BUILDABLE PRESERVATION PARCEL ID: 11,067 SF  
NON-BUILDABLE PRESERVATION PARCEL ID: 10,547 SF  
NON-BUILDABLE PRESERVATION PARCEL ID: 10,161 SF  
NON-BUILDABLE PRESERVATION PARCEL ID: 10,007 SF  
NON-BUILDABLE PRESERVATION PARCEL ID: 10,266 SF  
NON-BUILDABLE PRESERVATION PARCEL ID: 10,161 SF

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NON-BUILDABLE PRESERVATION PARCEL ID: 10,007 SF  
NON-BUILDABLE PRESERVATION PARCEL ID: 10,266 SF  
NON-BUILDABLE PRESERVATION PARCEL ID: 10,161 SF



1022 High Stepper Trail

Lot 11

# STRATFORD HALL

Health Dept

|                         |       |          |
|-------------------------|-------|----------|
| DIV-COMM-LOT-UNIT       |       |          |
| MDE-W-0011              |       |          |
| COMM-LOT                |       |          |
| WALKER MEADOWS - 0011   |       |          |
| STREET ADDRESS          |       | APT. NO. |
| 1022 HIGH STEPPER TRAIL |       | ---      |
| CITY                    | STATE | ZIP      |
| SYKESVILLE              | MD    | 21784    |

# B20000228



NVR, Inc.  
5285 Westview Drive, Suite 100  
Frederick, MD 21703

| DESCRIPTION             | STD. DNGS.     | FULL BASEMENT |   |   |   |   |   |   |   |   |    |    |    | STANDARD DETAILS |  |  |       |
|-------------------------|----------------|---------------|---|---|---|---|---|---|---|---|----|----|----|------------------|--|--|-------|
|                         |                | 1             | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 |                  |  |  |       |
| SPEC SHEET              | 96-1           |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | AD-1  |
| ELEVATIONS              | 4              |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | AD-1b |
| FOUNDATIONS             | 14             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | DR-1  |
| FOUNDATION HOLD DOWNS   | 22, 23, 24, 25 |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | DR-2  |
| PLUMBING                | 26             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | DR-3  |
| BASEMENT FLOOR PLAN     | 27             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | DW-2  |
| FIRST FLOOR PLAN        | 29             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | ET-1  |
| SECOND FLOOR PLAN       | 32, 1          |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | ET-1b |
| BUILDING SECTIONS       | 34, 36         |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | ET-1c |
| STAIR SECTIONS          | 38             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | ET-1e |
| KITCHEN - BATHS         | 41, 42, 43, 44 |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | ET-1f |
| BASEMENT ELECTRICAL     | 45             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | ET-2  |
| FIRST FLOOR ELECTRICAL  | 47             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | ET-2b |
| SECOND FLOOR ELECTRICAL | 50             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | F-1   |
| FIRST FLOOR FRAMING     | 52             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | F-1b  |
| SECOND FLOOR FRAMING    | 54             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | F-2   |
| ROOF FRAMING            | 55, 56         |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | F-3   |
| TRUSS BRACING           | 61             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | F-3b  |
| WALL BRACING LAYOUT     | 63             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | FA-1  |
| HVAC LAYOUT             | 67             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | FA-1  |
| HVAC LAYOUT             | 68             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | FC-1  |
| HVAC LAYOUT             | 69             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | FC-2  |
| HVAC LAYOUT             | 70             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | FC-4  |
| HVAC LAYOUT             | 71             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | FD-1  |
| HVAC LAYOUT             | 72             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | FD-2  |
| HVAC LAYOUT             | 73             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | FD-2b |
| HVAC LAYOUT             | 74             |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | FD-3  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | FR-1  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | GB-1  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | IT-1  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | IT-1b |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | IT-1c |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | IT-2  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | JT-1  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | JT-3  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | JT-3b |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | KT-1  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | RF-1  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | RF-1b |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | RF-1c |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | SEP-1 |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | SEP-2 |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | SEP-3 |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | SEP-4 |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | SP-1  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | SP-2  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | SP-3  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | ST-1  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | ST-2  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | WB-1  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | WB-2  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | WD-1  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | WD-2  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | WD-3  |
|                         |                |               |   |   |   |   |   |   |   |   |    |    |    |                  |  |  | WB-1  |

| FIRST FLOOR SQUARE FOOTAGE                       |               |
|--------------------------------------------------|---------------|
| DESCRIPTION                                      | TOTAL SQ. FT. |
| 1ST FLOOR (BASE SF)                              | 2157 SF       |
| 1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF) | 111 SF        |
| 1ST FLOOR ELEV. "B" OR "L" (ADD. SF)             | 34 SF         |
|                                                  | 2307 SF       |

| SECOND FLOOR SQUARE FOOTAGE          |               |
|--------------------------------------|---------------|
| DESCRIPTION                          | TOTAL SQ. FT. |
| 2ND FLOOR (BASE SF)                  | 2133 SF       |
| 2ND FLOOR ELEV. "B" OR "L" (ADD. SF) | 63 SF         |
|                                      | 2196 SF       |

| GARAGE SQUARE FOOTAGE                  |               |
|----------------------------------------|---------------|
| DESCRIPTION                            | TOTAL SQ. FT. |
| TWO CAR GARAGE ELEV. "B" OR "L"        | 506 SF        |
| TWO CAR SIDE ATTACHED GARAGE (ADD. SF) | 498 SF        |
|                                        | 1004 SF       |

| BASEMENT SQUARE FOOTAGE                              |               |
|------------------------------------------------------|---------------|
| DESCRIPTION                                          | TOTAL SQ. FT. |
| FINISHED BASEMENT                                    | 1520 SF       |
| FINISHED BASEMENT AREA #2 (ADD. SF)                  | 361 SF        |
| FINISHED BASEMENT AREA #2 ELEV. "B" OR "L" (ADD. SF) | 40 SF         |
|                                                      | 1921 SF       |

| UNFINISHED SQUARE FOOTAGE                                 |               |
|-----------------------------------------------------------|---------------|
| DESCRIPTION                                               | TOTAL SQ. FT. |
| MECHANICAL ROOM                                           | 245 SF        |
| UNFINISHED STORAGE TWO CAR SIDE ATTACHED GARAGE (ADD. SF) | 118 SF        |
|                                                           | 413 SF        |

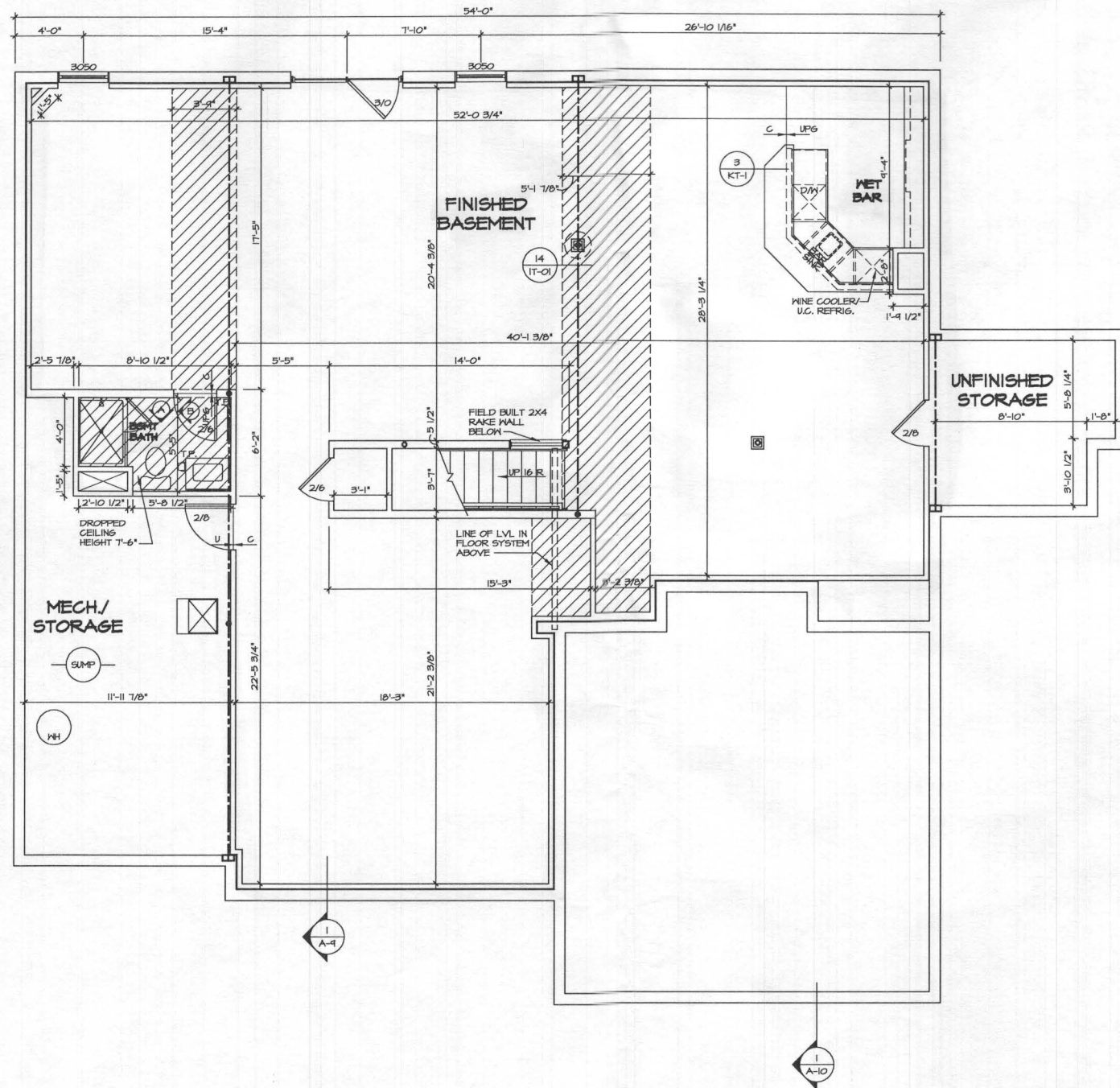
  

| TOTAL FINISHED SQUARE FOOTAGE                        |               |
|------------------------------------------------------|---------------|
| DESCRIPTION                                          | TOTAL SQ. FT. |
| 1ST FLOOR (BASE SF)                                  | 2157 SF       |
| 1ST FLOOR ELEV. "B" OR "L" (ADD. SF)                 | 34 SF         |
| 1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF)     | 111 SF        |
| 2ND FLOOR (BASE SF)                                  | 2133 SF       |
| 2ND FLOOR ELEV. "B" OR "L" (ADD. SF)                 | 63 SF         |
| FINISHED BASEMENT                                    | 1520 SF       |
| FINISHED BASEMENT AREA #2 (ADD. SF)                  | 361 SF        |
| FINISHED BASEMENT AREA #2 ELEV. "B" OR "L" (ADD. SF) | 40 SF         |
|                                                      | 6424 SF       |

SET - VERSION  
11900 - 01 CS-1

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**BASEMENT FLOOR PLAN**  
 A-6 SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE TRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 1'-0" 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

**GYPHUM NOTES**

- AT GARAGE:**  
 5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:**  
 1/2" GYPHUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET.
- WITH OPTION \*SGI\* - DRYWALL UNFINISHED BASEMENT CEILING AREA**

**NOTES:**

- 1/2" GYPHUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

**LEGEND**

- BEARING WALL
  - - - NON BEARING WALL
  - ⊙ INDICATES BEARING FROM POINT-LOAD ABOVE
  - ⊥ JACKS
  - ⊕ BEAMHEADER
  - ⊔ PAD FOOTING
  - ⊕ STEEL COLUMN
  - ⊕ PORTAL FRAME
  - ⊕ JOIST/TRUSS
  - LVL
  - ⊕ ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

DIV-COMM-LOT-UNIT  
**MDE-W-001**  
 COMM-LOT  
 WALKER MEADOWS - 001  
 STREET ADDRESS  
 1022 HIGH STEPPER TRAIL  
 CITY STATE MD ZIP  
 SYKESVILLE 21154

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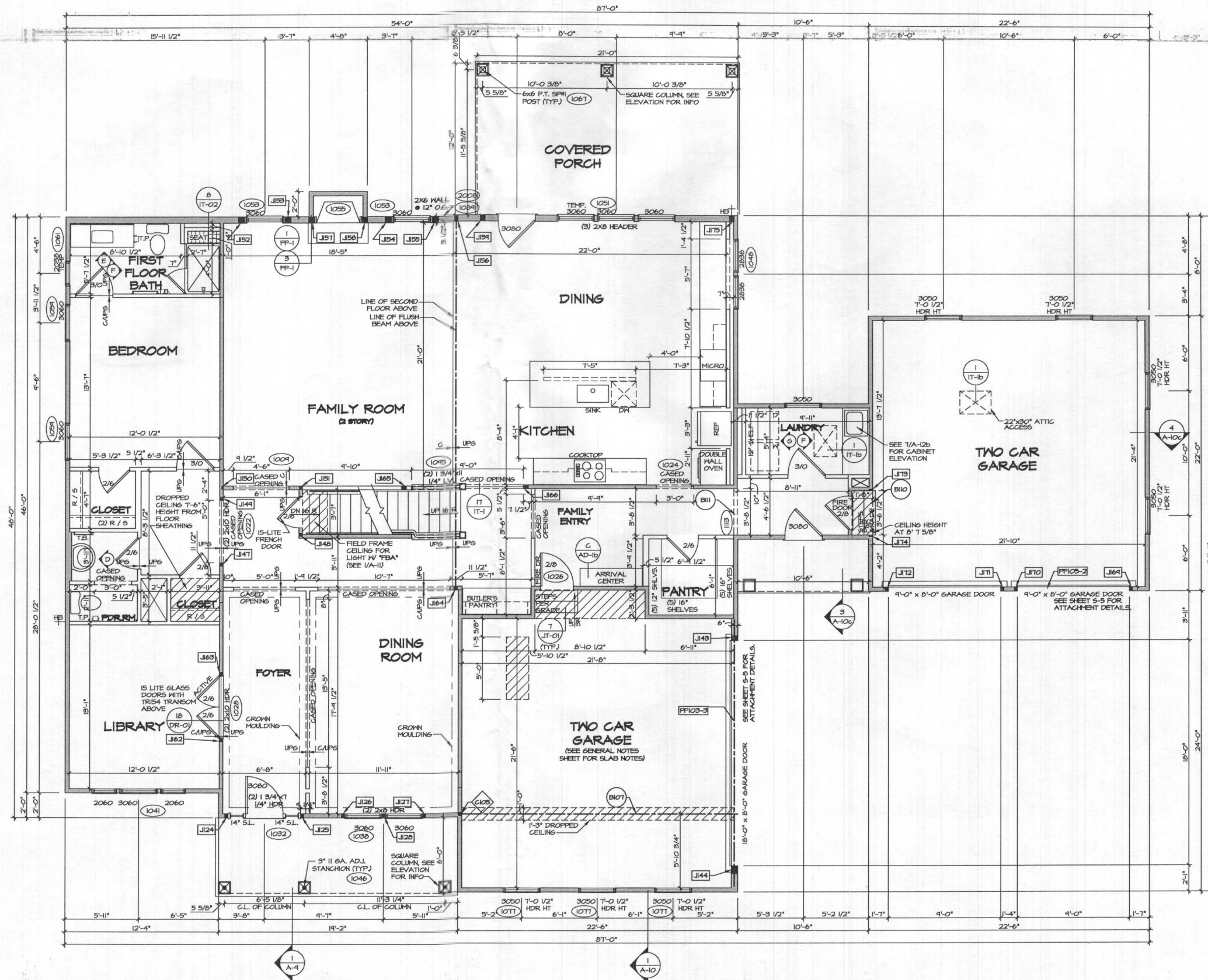
**NVR**  
 NVR, Inc.  
 528 Westview Drive, Suite 100  
 Frederick, MD 21753

SET NO. 11600  
 VERSION 01  
 DRAWN BY BIM  
 DATE:  
 OPTION

**STRATFORD HALL**  
 DRAWING TITLE  
**BASEMENT FLOOR PLAN**  
 OPTION DESCRIPTION

SHEET NO.  
**A-6**  
 27

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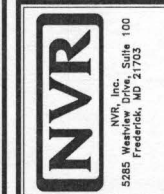


1 FIRST FLOOR PLAN  
 A-7 SCALE 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

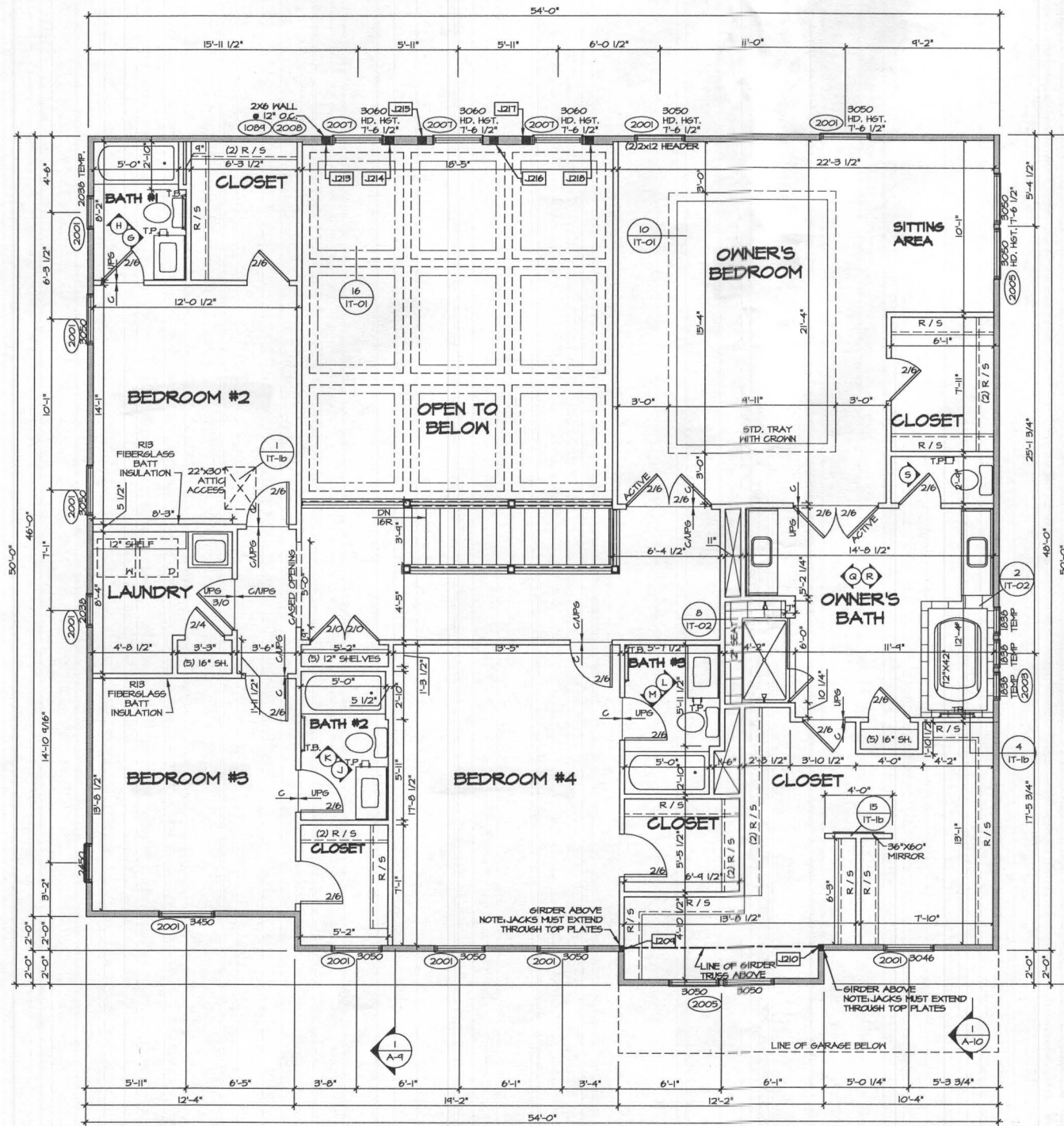
|                         |                                          |               |                                                  |
|-------------------------|------------------------------------------|---------------|--------------------------------------------------|
| SHEET NO.<br><b>A-7</b> | MODEL<br><b>STRATFORD HALL</b>           | SET NO. 11900 | DIV.-COMM.-LOT-UNIT<br><b>MDE-IW-0011</b>        |
|                         | DRAWING TITLE<br><b>FIRST FLOOR PLAN</b> | VERSION 01    | COMM.-LOT<br><b>MALKER MEADOWS - 0011</b>        |
| OPTION DESCRIPTION      | DRAWN BY ZDM                             | DATE: 9/16/16 | STREET ADDRESS<br><b>1022 HIGH STEPPER TRAIL</b> |
|                         |                                          | OPTION        | CITY<br><b>SYKESVILLE</b>                        |
|                         |                                          |               | STATE<br><b>MD</b>                               |
|                         |                                          |               | ZIP<br><b>21154</b>                              |

The owner, NVR, Inc., expressly reserves the right to make changes to these plans without notice. These plans are not to be used for construction without the written consent of NVR, Inc.



NVR, Inc. Suite 100  
 5285 Westfield Rd  
 Frederick, MD 21703

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**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
  - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
  - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
  - HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
  - SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
  - SEE STANDARD DETAIL CATEGORY "IT" SHEETS(S) FOR INTERIOR TRIM DETAILS.
  - SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
  - ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
  - ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

**LEGEND**

- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAMHEADER
- PAD FOOTINGS
- STEEL COLUMN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER

SEE FG DETAILS FOR FRAMING CONNECTORS

**SECOND FLOOR JACK SCHEDULE**

| IDENTIFIER | DESCRIPTION                      | OPTIONS | ENG. NUM. | REMARKS           |
|------------|----------------------------------|---------|-----------|-------------------|
| J201       | JACK - (3) 2x4 SPM               |         | 2008      |                   |
| J210       | JACK - (3) 2x4 SPM               |         | 2008      |                   |
| J213       | JACK - (4) 2x6 SFF #2 STUD GRADE |         | 2007      | FULL HEIGHT STUDS |
| J214       | JACK - (4) 2x6 SFF #2 STUD GRADE |         | 2007      | FULL HEIGHT STUDS |
| J215       | JACK - (4) 2x6 SFF #2 STUD GRADE |         | 2007      | FULL HEIGHT STUDS |
| J216       | JACK - (4) 2x6 SFF #2 STUD GRADE |         | 2007      | FULL HEIGHT STUDS |
| J217       | JACK - (4) 2x6 SFF #2 STUD GRADE |         | 2007      | FULL HEIGHT STUDS |
| J218       | JACK - (4) 2x6 SFF #2 STUD GRADE |         | 2007      | FULL HEIGHT STUDS |

DIV-COMM-Lot-UNIT  
**MDE-1W-001**

COMM-Lot  
MALKER MEADOWS - 001

STREET ADDRESS  
1022 HIGH STEPPER TRAIL

CITY STATE MD ZIP  
SPYKESVILLE



NVR, Inc. Suite 100  
Frederick, MD 21703

SET NO. 11900  
VERSION 01  
DRAWN BY BIM

DATE:  
OPTION

MODEL  
**STRATFORD HALL**  
DRAWING TITLE  
SECOND FLOOR PLAN

SHEET NO.  
**A-8**

OPTION DESCRIPTION  
**32.1**