

COORDINATES

NO.	NORTH (M)	EAST (M)	NORTH (F)	EAST (F)
1	185,745.370	393,378.894	609,399.602	1,290,610.592
6	185,561.548	393,309.437	608,796.513	1,290,382.713
83	185,627.183	393,135.479	609,011.849	1,289,811.985
84	185,811.089	393,204.968	609,615.214	1,290,039.968
87	185,563.230	393,310.099	608,802.260	1,290,384.884
88	185,629.119	393,136.210	609,018.203	1,289,814.386

CURVE DATA

CURVE	RADIUS	ARC	DELTA	TAN.	BEARING & DIST.
A	30.00'	47.12'	90°00'00"	30.00'	N65°43'57" E 42.43'
B	54.00'	84.82'	90°00'00"	54.00'	N65°43'57" E 76.37'
C	50.00'	78.54'	90°00'00"	50.00'	N65°43'57" E 70.71'
D	74.00'	54.24'	42°52'24"	26.81'	N85°27'45" E 59.09'

LOT	GROSS AREA	PIPESTEM AREA	REMAINING AREA	FLOODPLAIN 100 YEAR	25% SLOPES	MINIMUM LOT AREA
1	129,804	0	129,804	0	0	129,804
2	129,804	0	129,804	4824	0	124,980
3	129,804	0	129,804	23,955	0	105,849

NOTES:

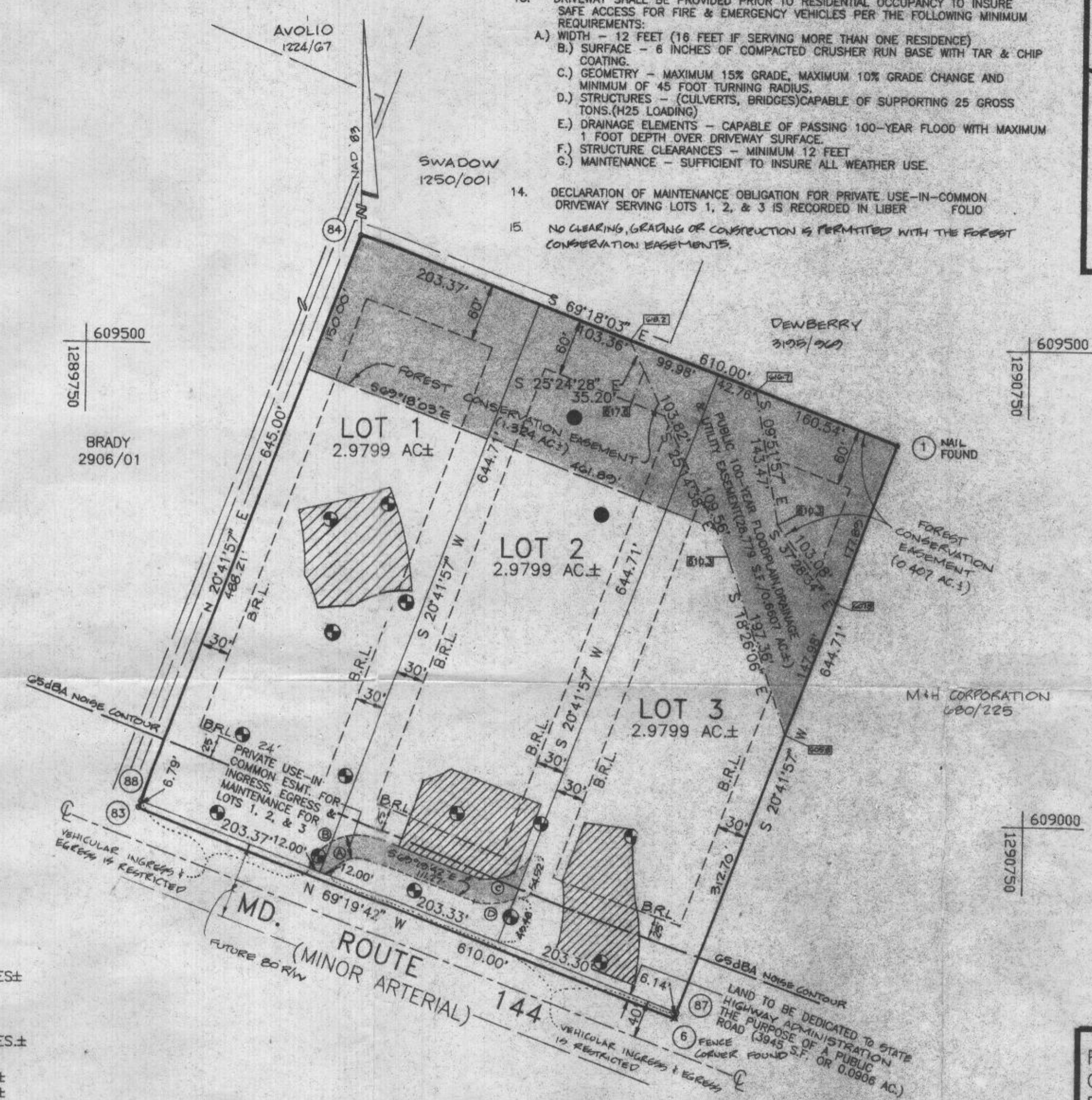
- COORDINATES BASED ON NAD 83 MARYLAND STATE PLANE GRID AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NOS. 0031 & 07CA.
- SUBJECT PROPERTY ZONED "RC-DEO" PER 10/18/93 COMPREHENSIVE ZONING PLAN.
- B.R.L. DESIGNATES BUILDING RESTRICTION LINE
- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF 10,000 S.F. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
- THE REQUIREMENTS OF 3-108, THE REAL PROPERTY ARTICLE, ANNOTATED CODE OF MARYLAND, 1988 REPLACEMENT VOLUME (AS SUPPLEMENTED) AS FAR AS THEY RELATE TO THE MAKING OF THIS PLAT AND THE SETTING OF THE MARKERS HAVE BEEN COMPLIED WITH.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- DESIGNATES FENCE POST FOUND
DESIGNATES REBAR & CAP TO BE SET AFTER RECORDATION OF FINAL PLAT
DESIGNATES NAIL FOUND
- THIS PLAT IS BASED ON A FIELD RUN BOUNDARY SURVEY PERFORMED BY SHANABERGER & LANE IN JULY OF 1995.
- THE AREAS SHOWN HEREON ARE NOT EXACT BUT ARE ROUNDED TO THE NEAREST 1 SQUARE FOOT AND THE NEAREST 0.0001 ACRE.
- THERE ARE NO WETLANDS OR STREAMS ON THE PROPERTY AS PER SITE INSPECTION BY DENNIS J. LABARE, MS. & ASSOCIATES.

Scott Shanaberger
G. SCOTT SHANABERGER DATE
Stephen S. Harris 10-15-95
STEPHEN S. HARRIS DATE
Christine M. Lambros 10-15-95
CHRISTINE M. LAMBROS DATE

TABULATION OF FINAL PLAT

TOTAL NUMBER OF LOTS AND/OR PARCELS TO BE RECORDED:	
BUILDABLE	2
OPEN SPACE	0
TOTAL AREA OF LOTS AND/OR PARCELS	
BUILDABLE	8.9397 ACRES±
TOTAL OPEN SPACE	0
AREA OF RECREATION OPEN SPACE	0
TOTAL AREA OF 100 YEAR FLOODPLAIN AND 25% OR GREATER STEEP SLOPES	0.6607 ACRES±
TOTAL AREA OF RIGHT-OF-WAY TO BE RECORDED INCLUDING WIDENING STRIPS	0.0906 ACRES±
TOTAL AREA OF SUBDIVISION TO BE RECORDED	9.0303 ACRES±

- THIS PROPERTY IS IN THE "NO PLANNED SERVICE AREA" ON THE MASTER PLAN FOR WATER & SEWER
- THIS RESUBDIVISION IS EXEMPT FROM STORMWATER MANAGEMENT REQUIREMENTS BECAUSE ALL LOTS ARE OVER 2 ACRES.
- DRIVEWAY SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE & EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE)
 - SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR & CHIP COATING.
 - GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45 FOOT TURNING RADIUS.
 - STRUCTURES - (CULVERTS, BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
 - DRAINAGE ELEMENTS - CAPABLE OF PASSING 100-YEAR FLOOD WITH MAXIMUM 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - STRUCTURE CLEARANCES - MINIMUM 12 FEET
 - MAINTENANCE - SUFFICIENT TO INSURE ALL-WEATHER USE.
- DECLARATION OF MAINTENANCE OBLIGATION FOR PRIVATE USE-IN-COMMON DRIVEWAY SERVING LOTS 1, 2, & 3 IS RECORDED IN LIBER FOLIO
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITH THE FOREST CONSERVATION EASEMENTS.



VICINITY MAP
SCALE: 1"=2000'

OWNERS:
STEPHEN S. HARRIS &
CHRISTINE M. LAMBROS
2402 NOBLE MANOR LANE
FREDERICK, MD. 21702

RECORDED AS PLAT # _____
ON _____ AMONG THE LAND
RECORDS OF HOWARD COUNTY, MD.

APPROVED: FOR PRIVATE WATER & PRIVATE SEWER SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT.

COUNTY HEALTH OFFICER _____ DATE _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION _____ DATE _____

DIRECTOR _____ DATE _____

OWNER'S CERTIFICATE

WE, STEPHEN S. HARRIS & CHRISTINE M. LAMBROS, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS SUBDIVISION PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHT-OF-WAYS AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACES WHERE APPLICABLE, AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED IN OR OVER THE SAID EASEMENTS AND RIGHT-OF-WAYS. WITNESS OUR HANDS THIS 15 DAY OF October, 1995.

Stephen S. Harris 10-15-95
STEPHEN S. HARRIS DATE
Christine M. Lambros 10-15-95
CHRISTINE M. LAMBROS DATE
WITNESS _____ DATE _____

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF ALL OF THE LAND CONVEYED BY JOSEPH & BONNIE RICHMOND TO STEPHEN S. HARRIS & CHRISTINE M. LAMBROS BY DEED DATED JANUARY 31, 1986, AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MD IN LIBER 1444, FOLIO 158 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY, AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.

Scott Shanaberger 10/26/95
G. SCOTT SHANABERGER DATE
PROFESSIONAL L.S. #10849

SHANABERGER & LANE
8726 TOWN & COUNTRY BLVD.
SUITE 104
ELLCOTT CITY, MD. 21043
(410) 461-9563

FINAL PLAT
HARRIS PROPERTY
LOTS 1, 2, & 3

FOURTH ELECTION DISTRICT, HOWARD COUNTY, MD
TAX MAP 7, PARCEL 425

ZONED: RC-DEO
SCALE: 1"=100'
DATE: JULY 13, 1995

PREVIOUS P.L. FILE NUMBERS: NONE

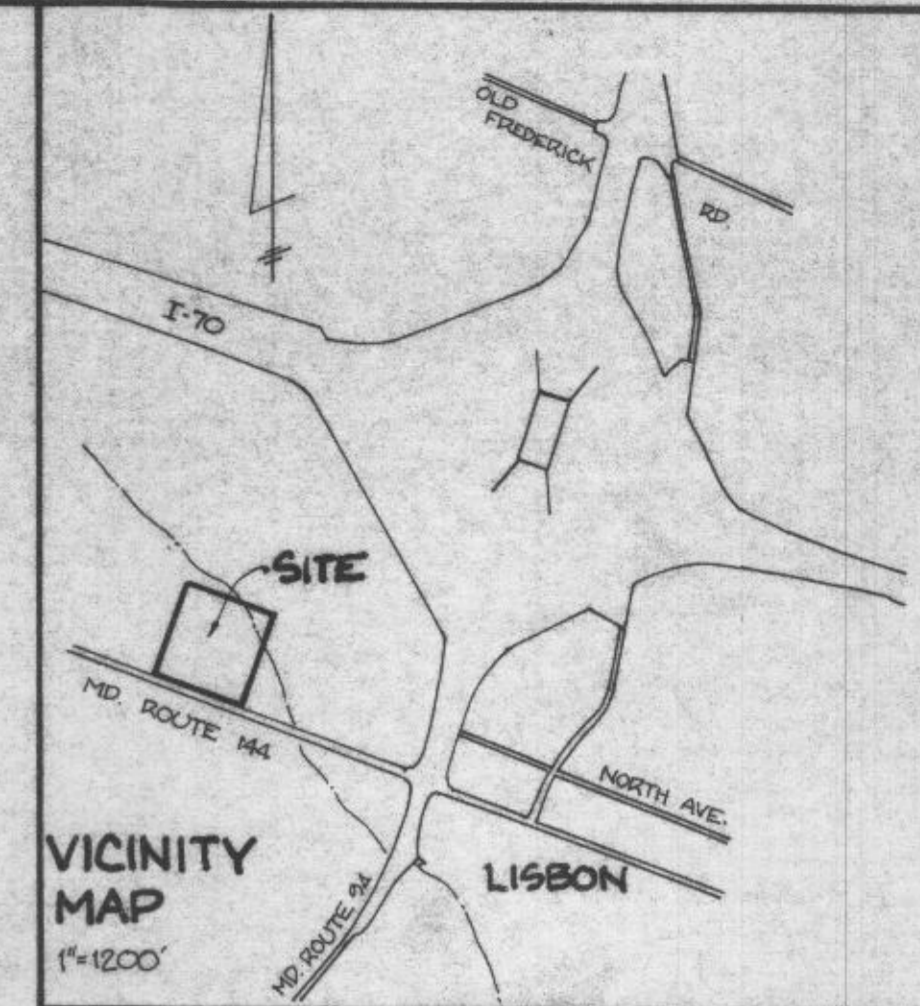
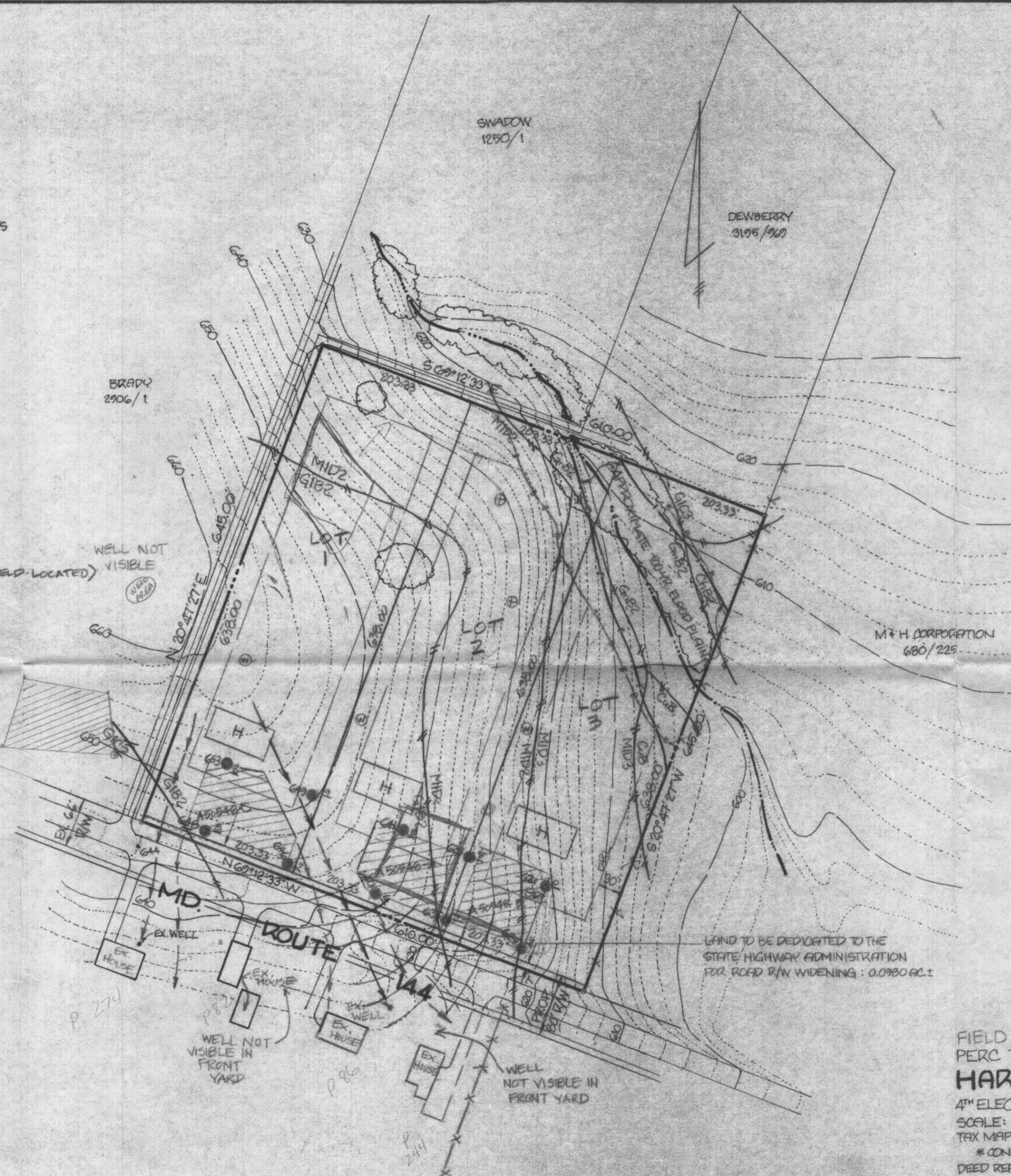
NOTES

1. PROPERTY ZONED "RC-DEO"
2. THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF 10,000^{sq} FT AS REQUIRED BY THE MD. STATE DEPT. OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS EASEMENT SHALL BECOME NULL & VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE EASMT. RECORDATION OF A MODIFIED SEWAGE EASEMENT PLAT SHALL NOT BE NECESSARY.
3. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH & LOT AREA AS REQUIRED BY THE MD. STATE DEPT. OF THE ENVIRONMENT.
4. TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY 1" = 200' AERIAL PHOTOGRAMMETRY.

5. LEGEND

- 360 EXISTING CONTOUR
- ⊙ PROPOSED WELL
- //--- SOIL TYPE BOUNDARY
- - - FLOOD PLAIN LIMIT (APPROX.)
- — — STREAM
- [H] POSSIBLE HOUSE LOCATION
- ⊙ 1 SUCCESSFUL PERC TEST & ELEVATION (FIELD-LOCATED)
- 5' 75' STREAM BUFFER
- ⊕ FAILED PERC TEST

6. THERE ARE NO VISIBLE WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPOSED WELLS & SEWAGE EASEMENTS, UNLESS SHOWN HEREON.
 7. A PUMPED SEPTIC SYSTEM WILL BE REQUIRED FOR LOT 3.
- ⊙ → → → → → DIRECTION OF SURFACE DRAINAGE



Scott Shanaberger 4/22/1995

APPROVED: FOR PRIVATE WATER & PRIVATE SEWER SYSTEMS. HOWARD COUNTY HEALTH DEPT.

DATE _____ COUNTY HEALTH OFFICER _____

FIELD LOCATED PERC TEST PLAT
HARRIS PROPERTY, LOTS 1-3
 4TH ELECTION DISTRICT HOWARD COUNTY, MD.
 SCALE: 1" = 100' DATE: 2/14/95, REV. 11/20/95 REV 7/6/95
 TAX MAP 7, GRID 11, PARCEL 425 *
 * CONFIGURATION OF P. 245 SHOWN INCORRECTLY ON TAX MAP
 DEED REFERENCE: 1444/158

SHANABERGER & LANE
 8726 TOWN & COUNTRY BLVD.
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 ELLICOTT CITY, MD. 21043
 PHONE: 461-9563
 FAX: 461-9693

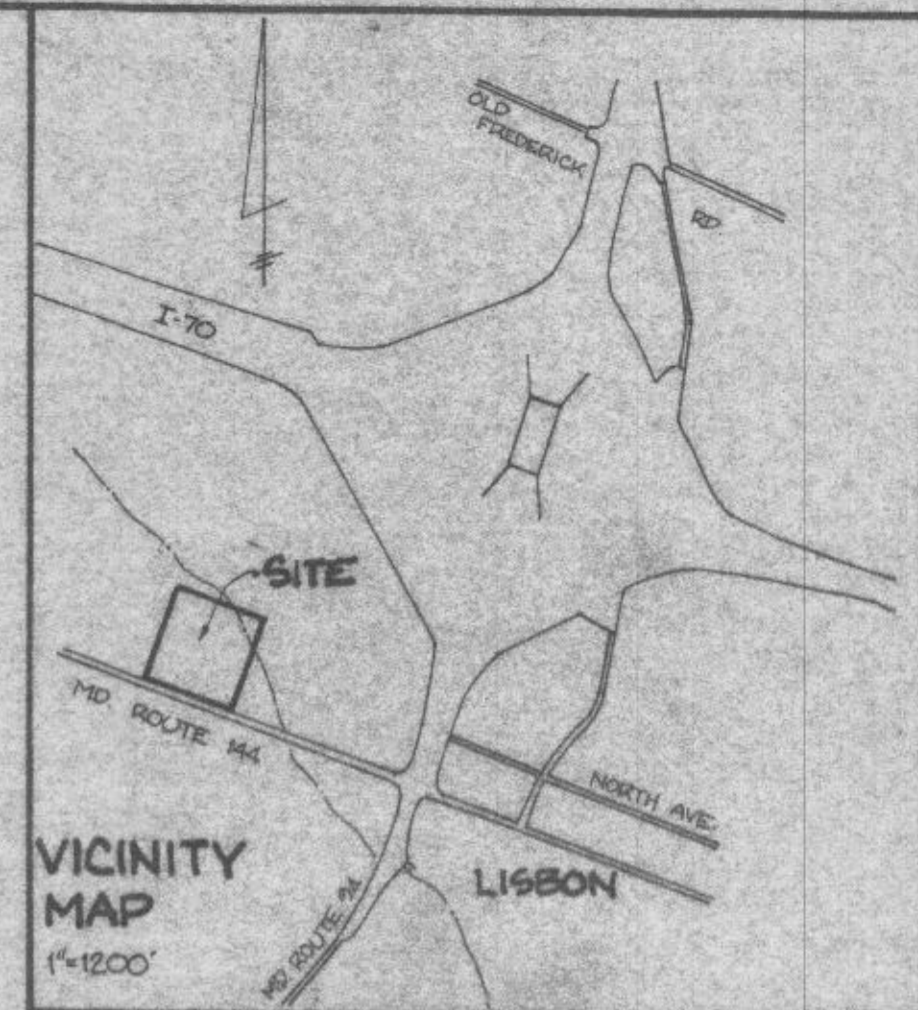
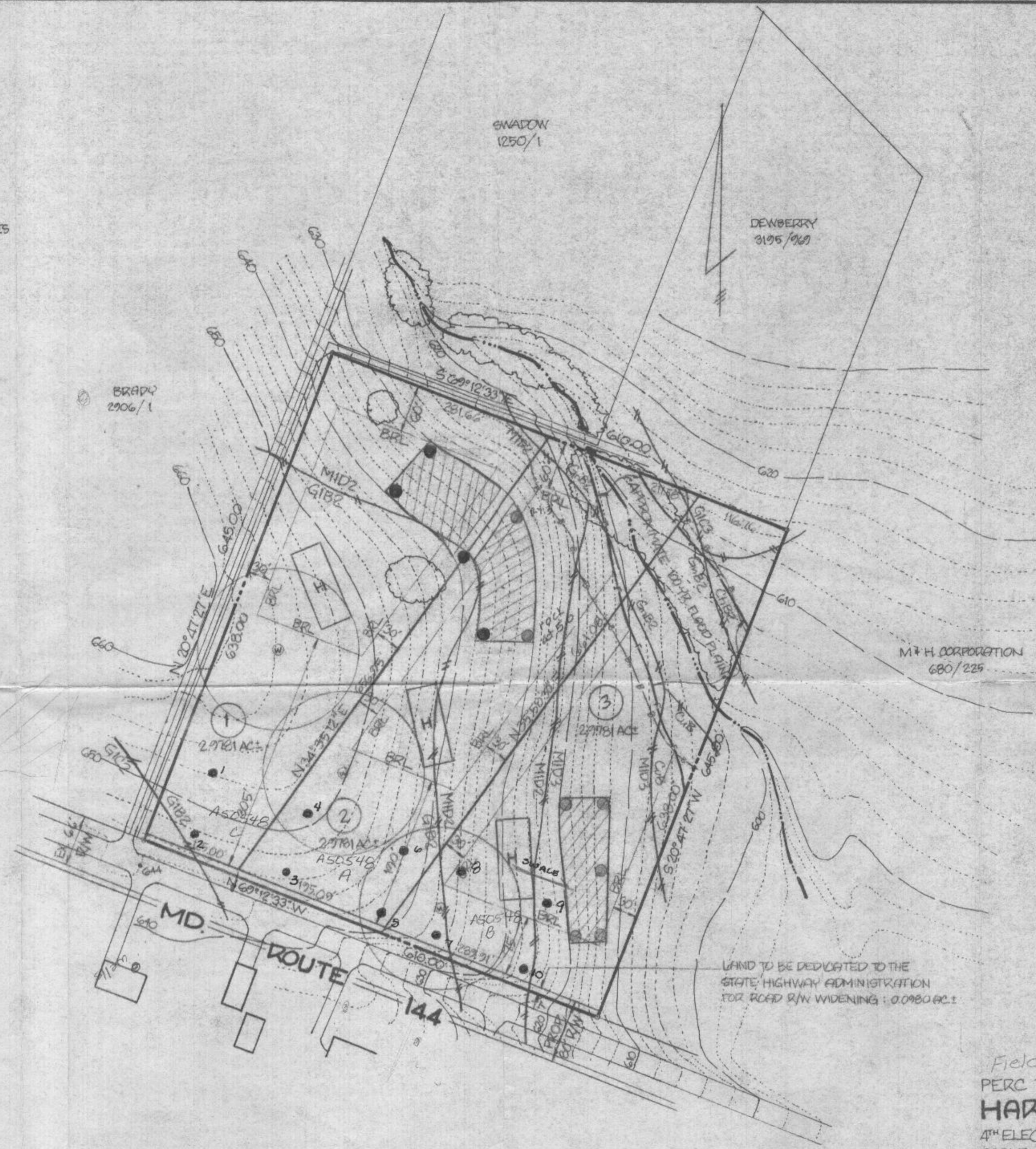
NOTES

1. PROPERTY ZONED "RC-DEO".
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5. LEGEND

- - - 360 EXISTING CONTOUR
- ⊙ PROPOSED WELL
- SOIL TYPE BOUNDARY
- - - FLOOD PLAIN LIMIT (APPROX.)
- STREAM
- H POSSIBLE HOUSE LOCATION
- PROPOSED PERC TEST
- 75' STREAM BUFFER

6. THERE ARE NO VISIBLE WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPOSED WELLS & SEWAGE EASEMENTS, UNLESS SHOWN HEREON.



- passed perc holes
- failed perc holes
- not tested

LAND TO BE DEDICATED TO THE STATE HIGHWAY ADMINISTRATION FOR ROAD R/W WIDENING: 0.0980 AC.

Field Notes 4-17-95
 PERC TEST PLAT
HARRIS PROPERTY, LOTS 1-3
 4TH ELECTION DISTRICT HOWARD COUNTY, MD.
 SCALE: 1" = 100' DATE: 2/14/95
 TAX MAP 7, GRID 11, PARCEL 425*
 * CONFIGURATION OF P245 SHOWN INCORRECTLY ON TAX MAP
 DEED REFERENCE: 1444/158

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