

tax ID 03-331881

2/9/01 layout
ASAP
2/21/01 - All day
2/26/01 - All day

INDEXED

PERMIT

P 514915

SEWAGE DISPOSAL SYSTEM

A 512694-T

HOWARD COUNTY HEALTH DEPARTMENT

BUREAU OF ENVIRONMENTAL HEALTH

ISSUE DATE 2/2/2001

410-313-2640

INDEXED

APPROVAL DATE 2/26/01

RPS# 331881

Van Sant Plumbing & Heating IS PERMITTED TO INSTALL ALTER

ADDRESS 3 N. Main Street, Mt. Airy, MD 21771 PHONE 800-682-6726

SUBDIVISION Brantwood 2/1 LOT NUMBER 19 ADDRESS 3001 Seneca Chief Trail

PROPERTY OWNER NY Homes Crocetti PROPERTY OWNER'S ADDRESS 2200 Defense Hwy, Ste 301

SEPTIC TANK CAPACITY 1250 GALLONS (2 chambered preferred) Crofton, MD 21114

PUMP CHAMBER CAPACITY ~~N/A~~ 1250 GALLONS (will need pumped system due to elevation of house outlet under footer)

NUMBER OF BEDROOMS 4 **** TOP SEAMED SEPTIC TANK REQUIRED ****

SQUARE FEET PER BEDROOM 210 *Top Seamed Pump Chamber Required*

LINEAR FEET OF TRENCH REQUIRED 280

TRENCHES: Trenches to be 3 feet wide. Inlet 3 feet below original grade. Bottom maximum depth 4.5 feet below original grade. 1.5 feet of stone below distribution box.

LOCATION: Begin trenches 140 feet off Butterfruit Way and 135 feet off Seneca Chief Trail.

Run trenches on contour toward the 74.34' lot line.

Needs stab of newly re-confirmed, expanded SAA. AP 2/9/01

Trench layout to be worked out in field to minimize loss of corner of septic easement. Well line should maintain 10' to all parts of septic system and 10' to proposed future pool location

PLANS APPROVED Amy McMillen OKSRK 10/5/00 DATE 9/1/2000

PERMIT VOID AFTER 2 YEARS * Replacement septic systems need 180#/bdm Au *

NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS

NOTE: TOP OF SEPTIC TANKS ARE TO BE NO DEEPER THAN 3.0 FEET BELOW FINISH GRADE

NOTE: WATERTIGHT SEPTIC TANKS REQUIRED

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS, 90° ELBOWS ARE NOT ACCEPTABLE

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX, DRAINFIELDS) TO BE 100 FEET FROM ANY WATER WELL UNLESS OTHERWISE SPECIFICALLY AUTHORIZED

NOTE: NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH UNLESS SPECIFICALLY AUTHORIZED **BUILDING PERMIT SIGNED**

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 35/40 PVC OR ABS **AND RETURNED 5/19/02**

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

800136061 - INGROUND POOL
7-2804 B20149614 - DECK PORCH

NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

NOTE: IF PUMPED SEPTIC SYSTEM REQUIRED, (1) SEPTIC PUMP DETAIL TO BE PROVIDED BY INSTALLER PRIOR TO ISSUANCE OF SEPTIC PERMIT (2) PUMP PERFORMANCE TEST IS NECESSARY PRIOR TO HEALTH DEPARTMENT APPROVAL OF SEPTIC PERMIT

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM

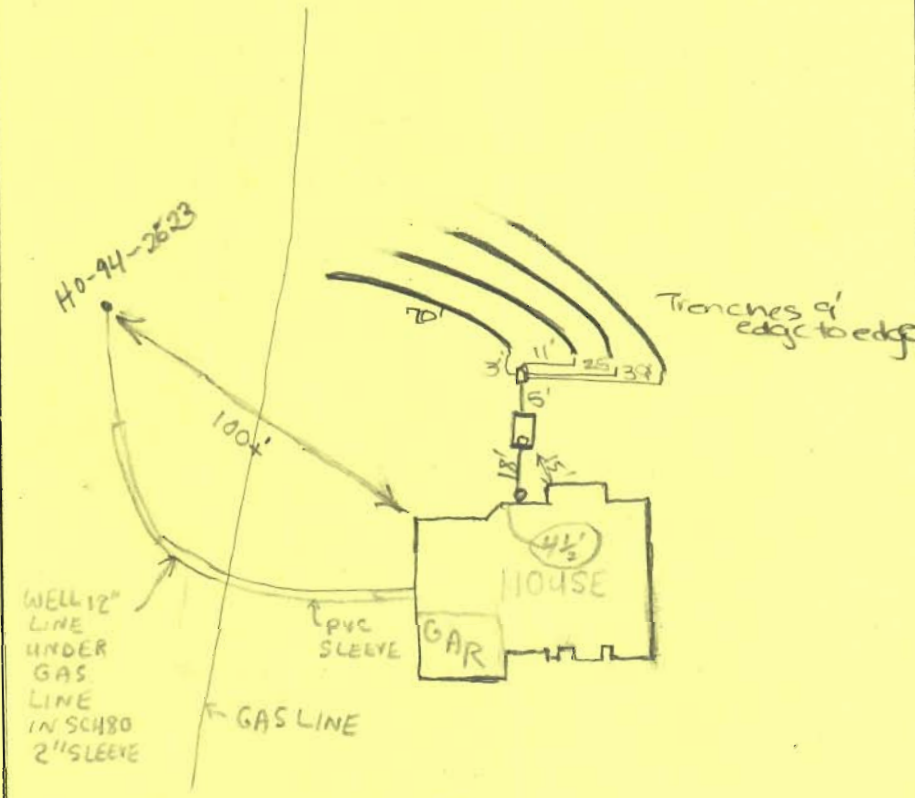
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT

CALL 410-313-2640 FOR INSPECTION OF SEPTIC SYSTEM

514915

NOT TO SCALE

0349241



Seneca Chief Trail

Will need a pump system, plumbing coming out under patio.

PRE-CONSTRUCTION INSPECTION: Site Needs a new Survey. Stake out 100' to well reading, proposed pool,

and newly raised SDA to demonstrate rough initial and 2 replacement septic systems (shallow Standard Trenches only) and SWH pond, and on fall stream - SDA markers, fill fence in partly down. - Open appears to S well for 810 LF of Trenches. 2/12/01

INSPECTION COMMENTS: 2/12/01 Above issues resolved, replacement septic systems only need 180 @ per bdrm. 2/14/01 To install system as shown on BP plan. (BB)

Septic Tank Home Construction OK, Baffled "T" manholes/S.T. (line is gravel bedded) R/P 2/21/01

2/26/01 Final Inspection - OK to cover all septic work. DIC

TRENCH DATA

TRENCH WIDTH 3
 TRENCH INLET DEPTH 3
 TRENCH BOTTOM DEPTH 4.5
 DEPTH OF STONE 1.5
 NUMBER OF TRENCHES 4
 TOTAL TRENCH LENGTH 280
 ABSORBENT AREA 940
 DISTRIBUTION BOX LEVEL
 BAFFLE IN DISTRIBUTION BOX

SEPTIC TANK DATA

SEPTIC TANK 1250 T.S. GALLONS
 MANHOLE RISER N/A
 6 INCH INSPECTION PORT

PUMP CHAMBER DATA

PUMP CHAMBER GALLONS _____
 MANHOLE RISER _____
 ALARM _____
 PUMP PERFORMANCE TEST _____

INSPECTOR

DIC

DATE SYSTEM APPROVED

2/26/01

MATCHLINE
SEE SHEET 3

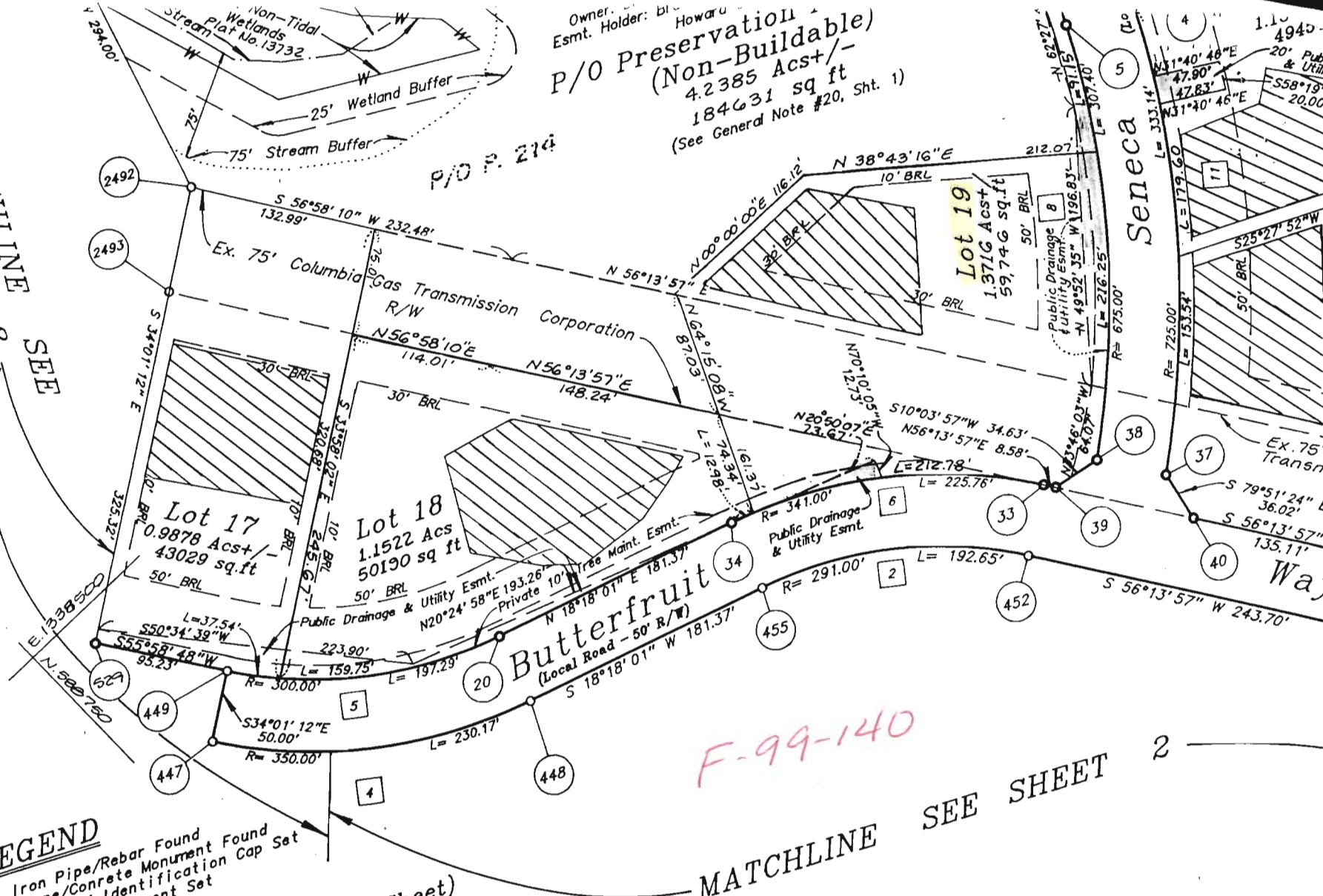
LEGEND

- Iron Pipe/Rebar Found
- ⊠ Stone/Concrete Monument Found
- Rebar w/ Identification Cap Set
- ⊠ Concrete Monument Set

AREA TABULATION (This Sheet)

- 1). Total number of lots to be recorded: 15, P/O 1
 - a). Buildable Cluster Lots: 14
 - b). Buildable Non-Cluster Lots: 0
 - c). Buildable Preservation Parcels: 0
 - d). Non-Buildable Bulk Parcels: 0
 - e). Non-Buildable Cluster Lots: 1
- 2). Total area of lots to be recorded: 19.9738 Acst+/-
 - a). Buildable Cluster Lots: 0
 - b). Buildable Non-Cluster Lots: 0
 - c). Buildable Preservation Parcels: 4.2385 Acst+/-
 - d). Non-Buildable Bulk Parcels: 0
 - e). Non-Buildable Cluster Lots: 0
- 3). Total area of lots to be recorded: 2.1720 Acst+/-
 - a). Buildable Cluster Lots: 0
 - b). Buildable Non-Cluster Lots: 0
 - c). Buildable Preservation Parcels: 2.1720 Acst+/-
 - d). Non-Buildable Bulk Parcels: 0
 - e). Non-Buildable Cluster Lots: 0
- 4). Total area of lots to be recorded: 22.1458 Acst+/-
 - a). Buildable Cluster Lots: 0
 - b). Buildable Non-Cluster Lots: 0
 - c). Buildable Preservation Parcels: 0
 - d). Non-Buildable Bulk Parcels: 0
 - e). Non-Buildable Cluster Lots: 22.1458 Acst+/-

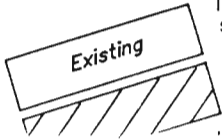
Owner: Bl Howard
Esmt. Holder: Bl Howard
P/O Preservation (Non-Buildable)
4.2385 Acst+/-
184631 sq ft
(See General Note #20, Sht. 1)



F-99-140

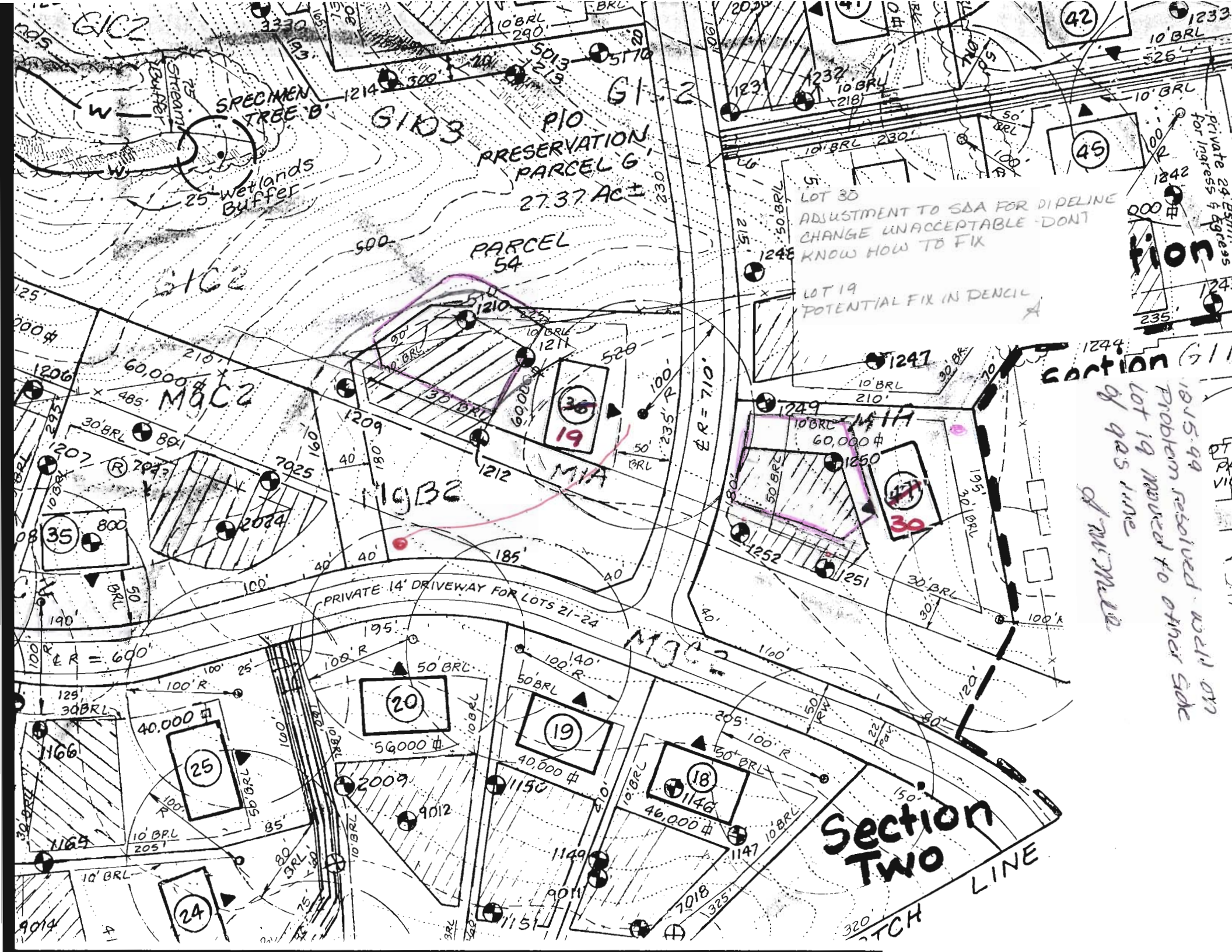
MATCHLINE

SEE SHEET 2



These areas designate a private sewage easement square feet as required by the Maryland State Department of the Environment for individual sewage disposal. If any nature in this area are restricted until such time as a public sewage system is available. These improvements shall become upon connection to a public sewage system. The authority to grant variances for encroachments have the authority to grant variances for encroachments. Recordation of a modified sewage easement.

CERTIFIED



P10
PRESERVATION
PARCEL G
27.37 AC

PARCEL
54

MAC2

MIA

PRIVATE 14' DRIVEWAY FOR LOTS 21-24

MAC2

Section
Two

320 FTCH LINE

LOT 30
ADJUSTMENT TO SDA FOR PIPELINE
CHANGE UNACCEPTABLE - DONT
KNOW HOW TO FIX

LOT 19
POTENTIAL FIX IN DENCIL

Section G11

1815-99
Problem resolved 10/21/07
lot 19 moved to other side
of gas line

tion

G1C2

G1C2

MAC2

MAC2

MAC2

MAC2

SPECIMEN TREE 'B'
25 wetlands Buffer

25 wetlands Buffer

25 wetlands Buffer

25 wetlands Buffer

25 wetlands Buffer

25 wetlands Buffer

25 wetlands Buffer

25 wetlands Buffer

25 wetlands Buffer

25 wetlands Buffer

25 wetlands Buffer