

Menu Save Reset Cancel Help

B18000624 approved  
3/27/18 - H.O.

Record Detail \* (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Alteration/SFD	B18000624	02/28/2018
Description of Work		
Finish off unfinished basement to include the following rooms: Den, Recreation room, T.V. viewing room (1) Full Bath, Game room, unfinished mechanical room.		

check spelling

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
3602	BROADLEAF	CT	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-77.03756	39.26895
City	State	Zip Code	Primary
GLENWOOD	MD	21738	Yes

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
895493	6	3	345000	1175200	830200	RURAL
Legal Description						
IMPSLOT 1 3.006A [3602 BROADLEAF CT] [CATTAIL CREEK COUNTRY						

check spelling

Block	Lot	Census Tract	Council Dist	Supervisor Dist	Map #	DAP Zone	Primary
	1	605601	5				Yes
Plan Area	State Tax Id		Subdivision Name				
	1404350898		CATTAIL CREEK COUNTRY				
Section	Area		Tax Map				
			21				
Grid	Zoning District		ADC Map				
21-9	RC-DEO		4812-D7				
SDP No.	Final Plan No.		WP File No.				
Record Plat No.	WS Contract No.		FDP No.				
9514							
Owner Occupied	Year Built		Historic District				
<input type="radio"/> Yes <input type="radio"/> No	1998		<input type="radio"/> Yes <input checked="" type="radio"/> No				
Historic District Registry No.	Stat Area		Flood Plain				
	4-09		<input type="radio"/> Yes <input checked="" type="radio"/> No				
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *		
HALLIDAY JAMES R		
Address Line 1		
3602 BROADLEAF CT		
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code
GLENWOOD	MD	21738

Est Construction Cost	*Housing Units *	Number of Buildings	*Public Owned
25000	0	0	No
Construction Type			
434 - Additions, Alterations, and Conversions - Residential			

RESIDENTIAL ALTERATION INFO

RESIDENTIAL ALTERATION INFORMATION

Total Square Footage *	Bedrooms	Full Baths	Half Baths	Water *	Sewage *	Existing Utilities *
1200 SQFT	0	1	0	Private	Private	Electric
Existing Heating System *	Existing Sprinkler System *	Type of New Fireplace	Expiration Date	Fee Exempt *		
Propane Gas	None	--Select--	9/1/2018	<input type="radio"/> Yes <input checked="" type="radio"/> No		

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered
0	ON LINE PAYMENT				

Submit Cancel

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 3/5/2018  
To: PLAN REVIEW  
(Person's Name and Division)  
From: ALLAN HOMES UNLIMITED (410) 977 5705  
(Your Name, Company Name and Telephone Number)  
Subject: Project name HALLIDAY RESIDENCE  
Project site address 3602 BROADLEAF COURT  
Permit # B18000624 SDP # N/A  
Other information pertinent to this project \_\_\_\_\_

**RECEIVED**  
**MAR 05 2018**  
PLAN REVIEW DIVISION

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- 3 Copies of FLOOR PLAN (be specific). DEN, REC. ROOM, TV ROOM,  
FULL BATH, UNFINISHED  
MECH ROOM
- Health Department Request  DPZ/ DED Request  Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- Other \_\_\_\_\_

**Contact Person Information: (Required)**

Jim BRUMSTED Telephone No: 410-977-5705  
Please Print Name E-Mail Address: Jim@ALLANHOMES.CO

***PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.***

CC: HEALTH \* ONLINE PERMIT \*

Received by AKH

FLOOR PLANS, TOO LARGE  
TO SCAN

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Friday, March 09, 2018 1:38 PM  
**To:** 'JIM@ALLANHOMES.COM'  
**Subject:** RE: B18000624\_3602 Broadleaf Court

Hi Jim:

I received the basement floor plan from DILP and it shows an extra bedroom labeled Den. Please forward a copy of the existing floor plans via email. If the existing floor plans show 4 bedrooms then the septic system must be upgraded for a 5 bedroom residence. Alternatively, you may opt to modify the basement floor plan to case the opening 4 feet wide leading into the Den without a door. This would make the Den a non-bedroom.

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Respectfully,

Hank

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Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)

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COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

Date: 3/26/2018  
To: ~~Dir~~ HANK OSWALD, HEALTH DEPT  
(Person's Name and Division)  
From: JIM BRUMSTED (410) 977-5705  
(Your Name, Company Name and Telephone Number)  
Subject: Project name 3602 BROADLAK COURT  
Project site address 3602 BROADLAK COURT GLENWOOD MS.  
Permit # B18000624 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_

COPY

✓ Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes ADD 4' OPENING TO DEN FOR HEALTH DEPT
- Energy conservation calculations
- Copies of REVISED FLOOR PLAN (be specific).
- Health Department Request  DPZ/ DED Request  Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- Other \_\_\_\_\_

Contact Person Information: (Required)

JIM BRUMSTED Telephone No: 410 977 5705  
Please Print Name  
E-Mail Address: JIM@ALLANHOWARD.COM  
CC: HEALTH DEPT

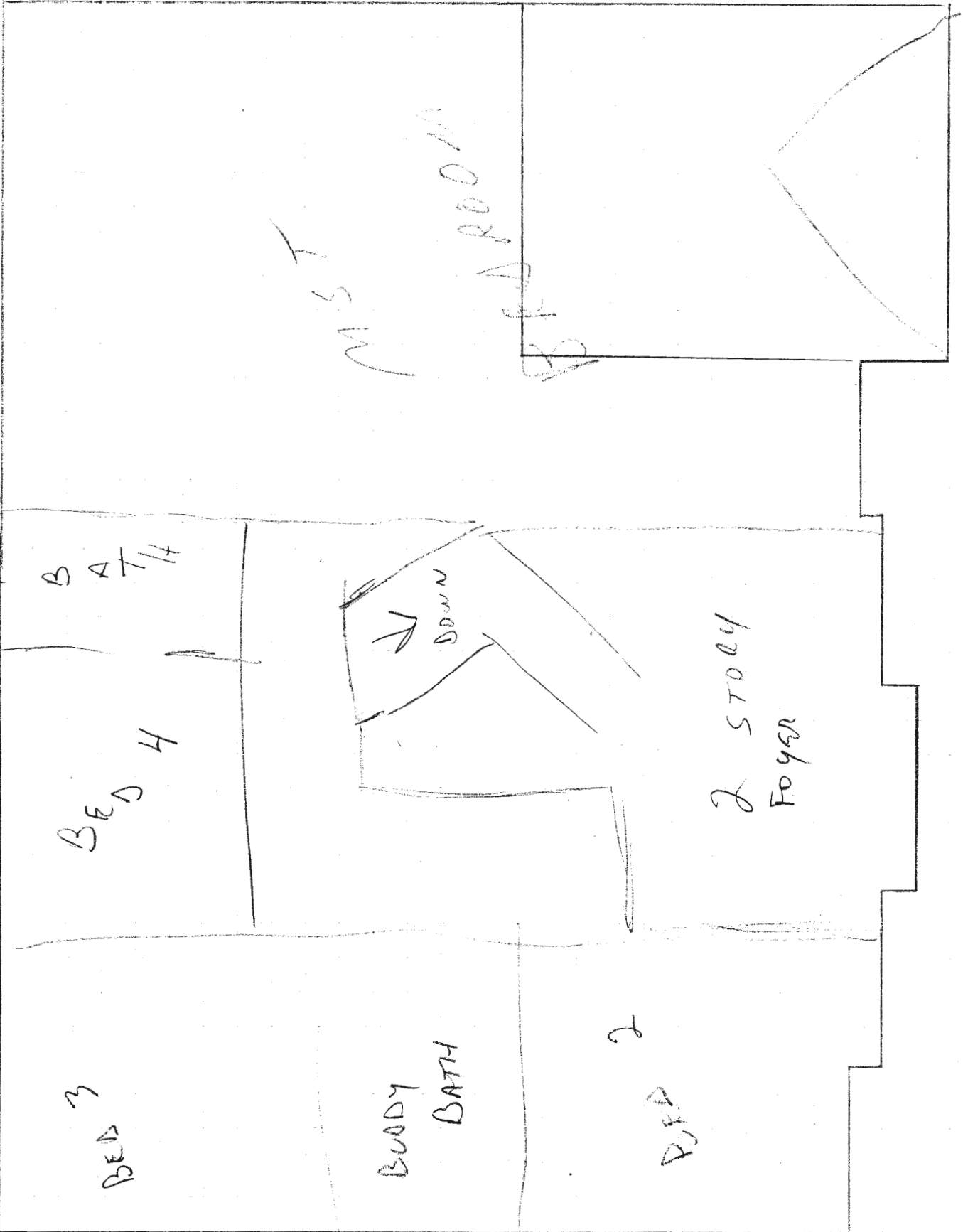
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Received by AKH

PER HEALTH DEPT  
(ADDED 4' OPENING TO DEN)

\*TOO LARGE TO SCAN\*

HAND DELIVERED TO HEALTH DEPT



BATH

BED 4

BED 3

BUDDY BATH

DOWN

MSTR

BED ROOM

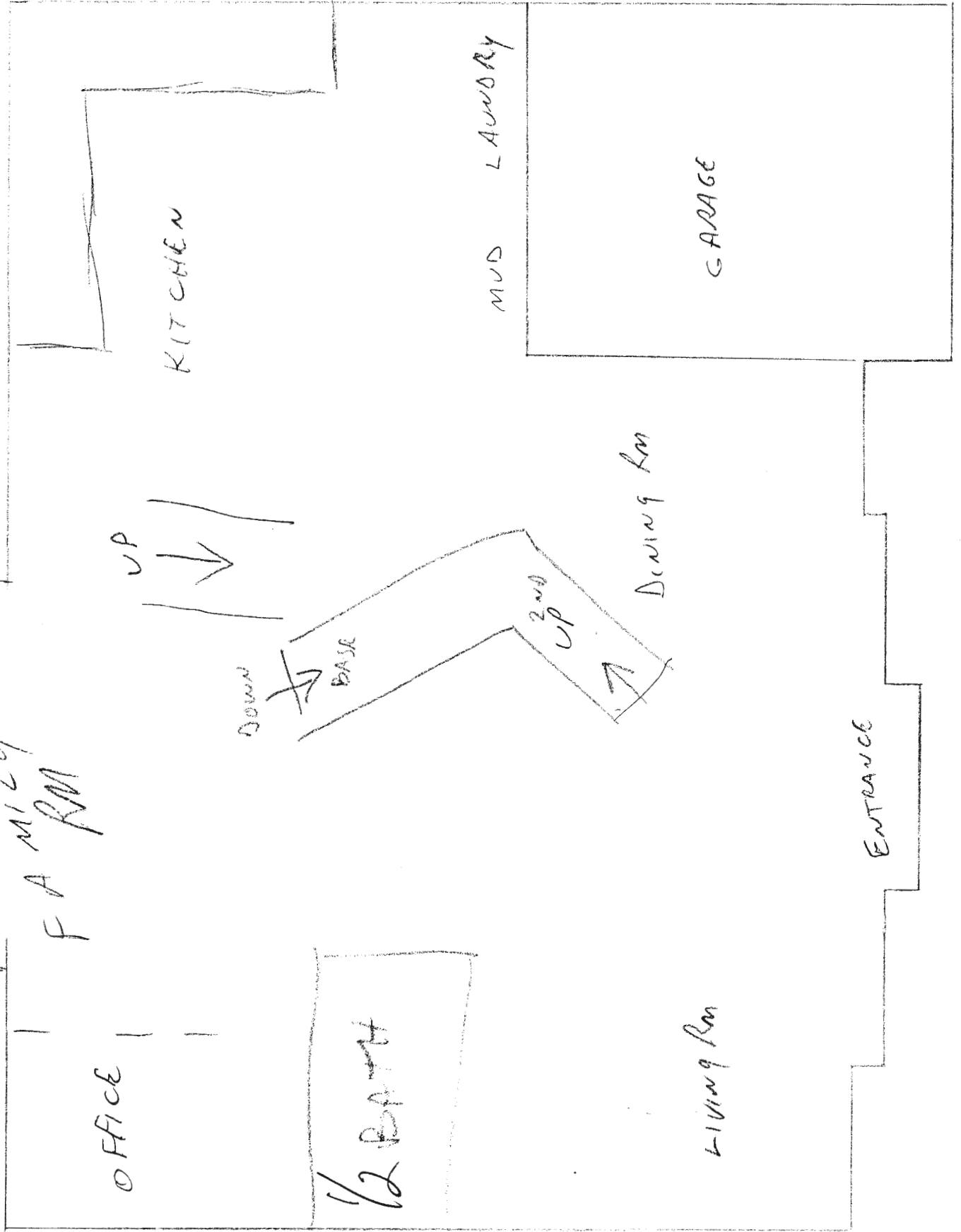
2

PFR

2 STOR  
FOYER

72'

SCALE "8" 1'



50'

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Friday, March 23, 2018 8:11 AM  
**To:** 'Jim Brumsted'  
**Subject:** RE: B18000624\_3602 Broadleaf Court

Hi Jim:

Good morning. I don't see where you forwarded a copy of the existing floor plans for this project. Are you going to modify the basement floor plan to eliminate the extra bedroom (assuming 4 BRs up top)? If so, did you submit the revise plan to DILP?

Thanks,

Hank

---

**From:** Jim Brumsted [<mailto:jim@allanhomes.com>]  
**Sent:** Wednesday, March 21, 2018 12:03 PM  
**To:** Oswald, Hank  
**Subject:** RE: B18000624\_3602 Broadleaf Court

Hank;

When do you think you will be able to review?  
I am hoping to get started Monday the 26<sup>th</sup>.

Thanks,

**Jim Brumsted**

**Director of Operations**

**Cellular: 410 977 5705**

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Allan Homes Unlimited  
10260 Old Columbia Road  
Columbia, Maryland 21046  
M.H.I.C. 77138  
Office: 410 381 1414

---

**From:** Oswald, Hank [<mailto:hoswald@howardcountymd.gov>]  
**Sent:** Friday, March 9, 2018 3:07 PM  
**To:** Jim Brumsted  
**Subject:** RE: B18000624\_3602 Broadleaf Court

Hi Jim:

You will need to submit the revise the plan to DILP.

Hank

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**From:** Jim Brumsted [<mailto:jim@allanhomes.com>]  
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How do I modify the plan? Can I stop by the Health Dept.?

Best Regards,

Jim Brumsted

410-977-5705

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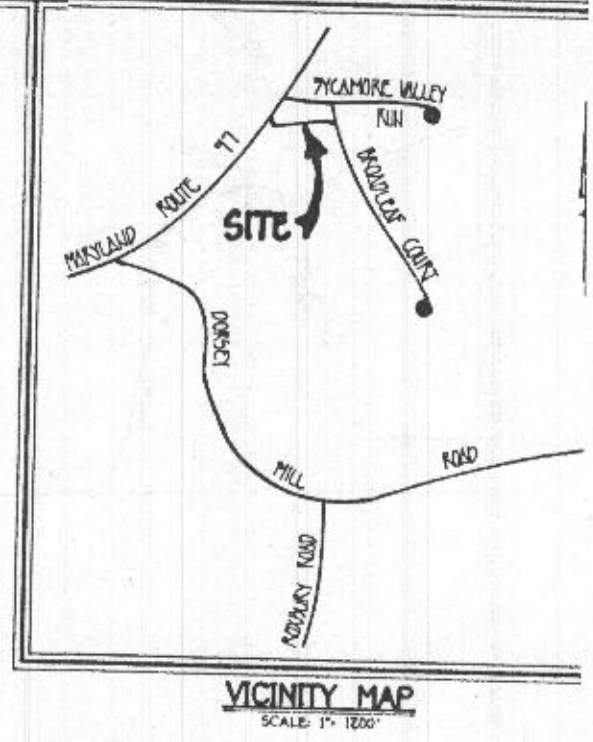
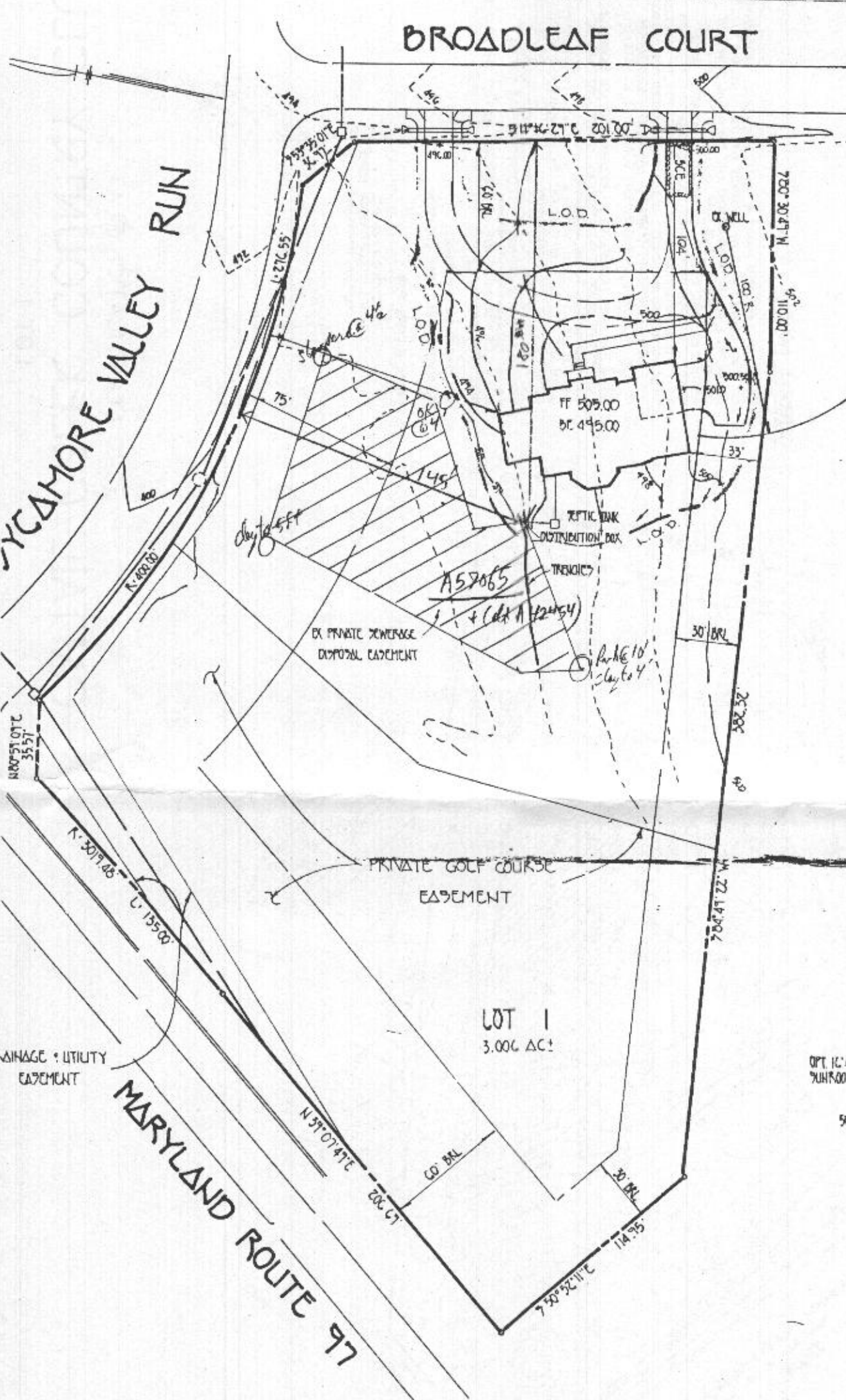
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Hank Oswald  
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Bureau of Environmental Health  
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**GENERAL NOTES**

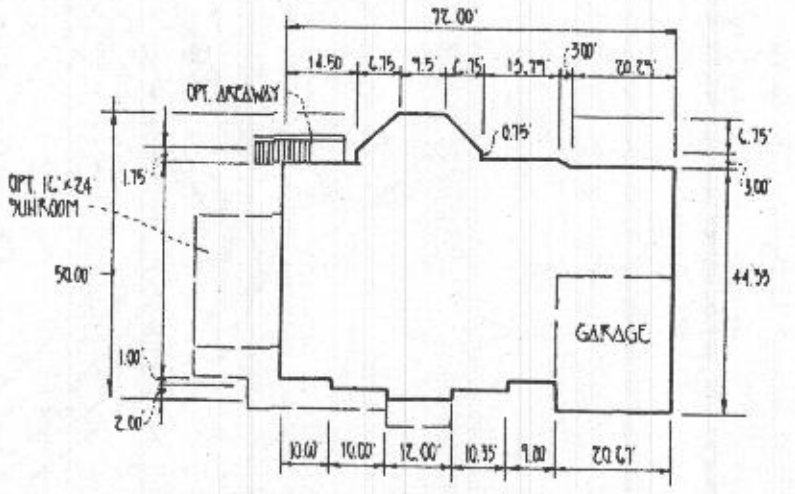
1. SEPTIC EASEMENT SUBJECT TO HOWARD COUNTY HEALTH DEPARTMENT No.
2. PROPOSED 1500 GALLON SEPTIC TANK
3. A. FIRST FLOOR ELEVATION: 504.00  
 B. BASEMENT ELEVATION: 495.00  
 C. INVERT OF SEPTIC SYSTEM AT HOUSE: 491.50  
 D. INVERT IN AT SEPTIC TANK: 490.7  
 E. INVERT OUT AT SEPTIC TANK: 490.6  
 F. PROPOSED GRADE OVER SEPTIC TANK: 494.5  
 G. INVERT AT DISTRIBUTION BOX: 490.0  
 H. EXISTING GROUND OVER DISTRIBUTION BOX: 494.0
4. LENGTH OF TRENCH TO BE DETERMINED AT TIME OF SEPTIC PERMIT ISSUANCE.
5. CONTRACTOR / BUILDER TO VERIFY ELEVATIONS IN FIELD BEFORE BEGIN ANY CONSTRUCTION.

Total linear feet of trench required 240 feet / 4 Pdr  
 R001082

Width of trench(es) 3 feet

Depth of trench(es) 6 feet

Depth of stone required below distribution pipe 2 feet



ZIMMERMAN RESIDENCE  
 Approved Septic System Plan  
 Howard County Health Department

*Paul J. Hall*  
 Signature  
 9/26/97  
 Date

PLAN TO ACCOMPANY APPLICATION  
 FOR BUILDING PERMIT  
**CATTAIL CREEK COUNTRY CLUB**  
 LOT 1

TAX MAP Z1  
 4<sup>th</sup> ELECTION DIST.  
 SCALE 1" = 50'

PARCEL C  
 HOWARD COUNTY, MARYLAND  
 DATE AUGUST 27, 1997

## Oswald, Hank

---

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**REVISIONS**

NO.	DATE	DESCRIPTION
1	12/10/10	ISSUE FOR PERMITS
2	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
3	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
4	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
5	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
6	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
7	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
8	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
9	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
10	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
11	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
12	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
13	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
14	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
15	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
16	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
17	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
18	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
19	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE
20	12/10/10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE

**NOTES**

1. See typical 7-1 and 7-4 for details for 12" deep w/ft base.

2. See typical 7-2 and 7-3 for details for 12" deep w/ft base.

3. See typical 7-4 and 7-5 for details for 12" deep w/ft base.

4. See typical 7-6 and 7-7 for details for 12" deep w/ft base.

5. See typical 7-8 and 7-9 for details for 12" deep w/ft base.

6. See typical 7-10 and 7-11 for details for 12" deep w/ft base.

7. See typical 7-12 and 7-13 for details for 12" deep w/ft base.

8. See typical 7-14 and 7-15 for details for 12" deep w/ft base.

9. See typical 7-16 and 7-17 for details for 12" deep w/ft base.

10. See typical 7-18 and 7-19 for details for 12" deep w/ft base.

11. See typical 7-20 and 7-21 for details for 12" deep w/ft base.

12. See typical 7-22 and 7-23 for details for 12" deep w/ft base.

13. See typical 7-24 and 7-25 for details for 12" deep w/ft base.

14. See typical 7-26 and 7-27 for details for 12" deep w/ft base.

15. See typical 7-28 and 7-29 for details for 12" deep w/ft base.

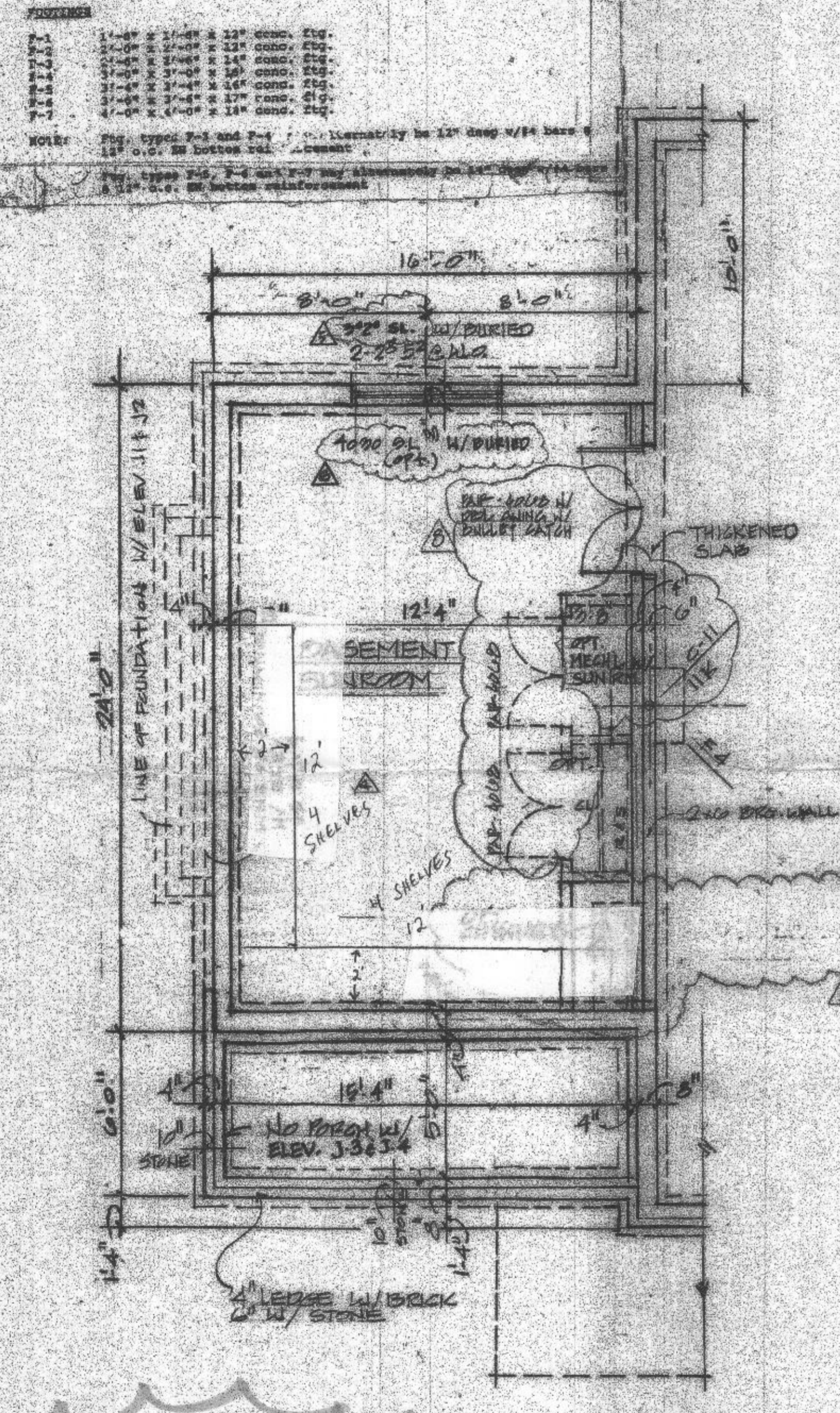
16. See typical 7-30 and 7-31 for details for 12" deep w/ft base.

17. See typical 7-32 and 7-33 for details for 12" deep w/ft base.

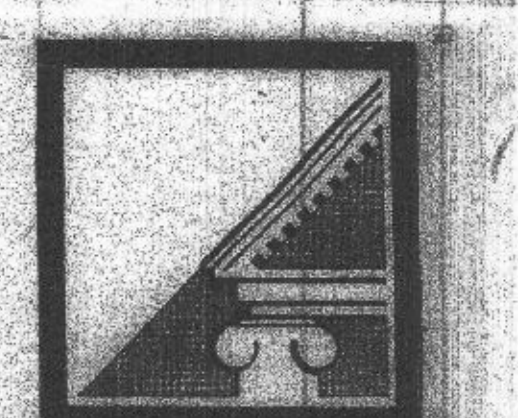
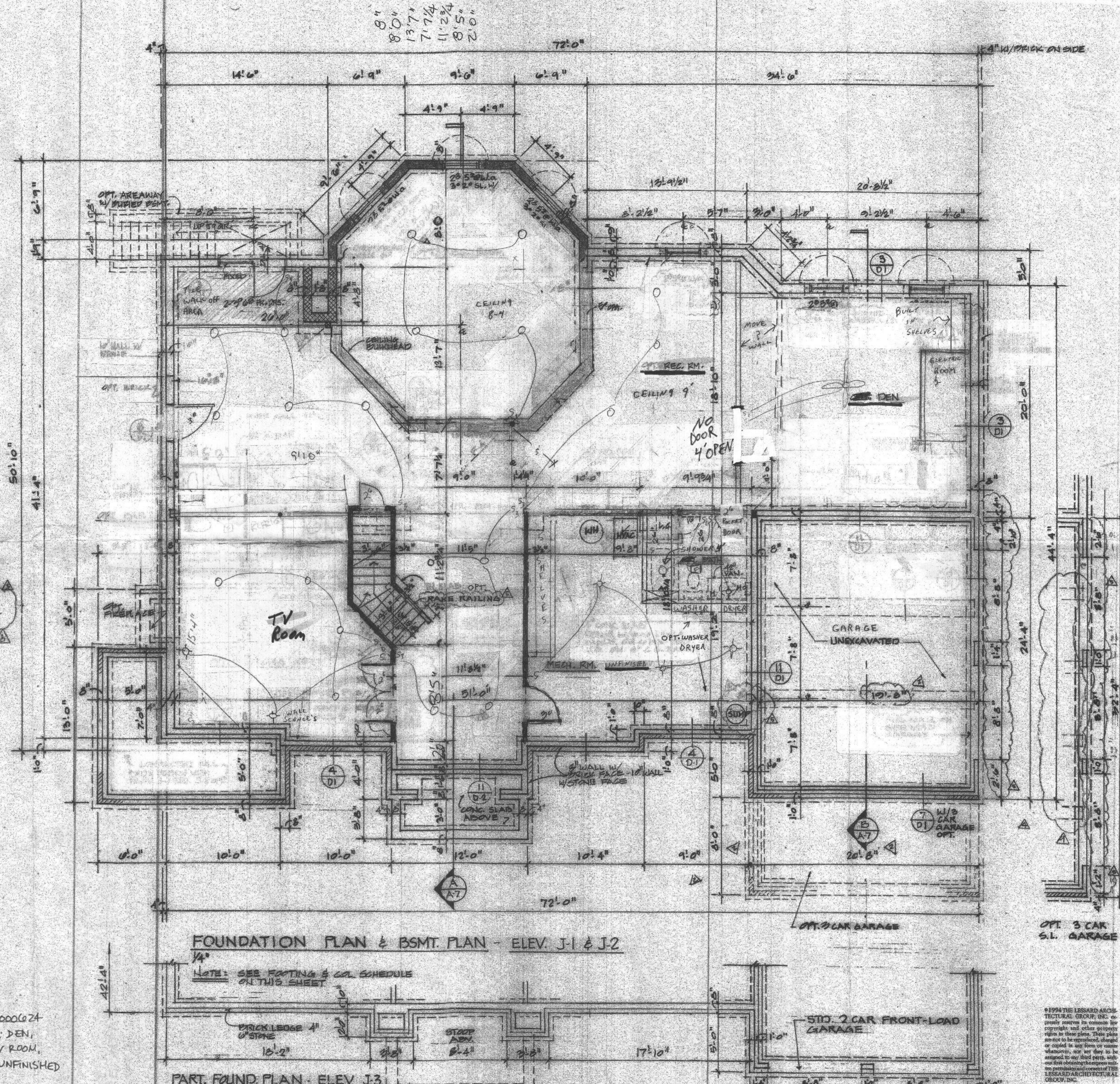
18. See typical 7-34 and 7-35 for details for 12" deep w/ft base.

19. See typical 7-36 and 7-37 for details for 12" deep w/ft base.

20. See typical 7-38 and 7-39 for details for 12" deep w/ft base.



**REVISIONS**  
Date: 3/5/18  
Comments: B18000624  
FINISH BSMT: DEN, REC ROOM, TV ROOM, FULL BATH, UNFINISHED MECH. ROOM



**THE LESSARD ARCHITECTURAL GROUP**  
Inc.  
8229 BOONE BLVD. • SUITE 600 • VIENNA, VA 22181 • FAX 703/760-9326

Allen Homes  
UNLIMITED  
Revised 2/26/2018

NO.	REVISION	DATE
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2	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
3	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
4	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
5	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
6	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
7	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
8	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
9	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
10	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
11	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
12	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
13	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
14	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
15	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
16	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
17	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
18	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
19	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10
20	ADD 1/2" DIA. ST. PIPE TO 1/2" DIA. ST. PIPE	12/10/10

**FOUNDATION PLAN** KEN-19  
**UNIT J MONET**  
**RENAISSANCE HOUSING**

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