



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 11/7/19

Permit No.: B19003850

Building Address: 13840 Mill Creek Ct.
 City: Clarksville State: MD Zip Code: 21029
 Suite/Apt. # _____ SDP/NP/BA #: GP 20-30
 Subdivision: Mitt Creek Crawford
 Lot: 7 Tax Map: _____ Parcel: _____

Existing Use: vacant lot
 Proposed Use: Single family home
 Estimated Construction Cost: \$ 210,000

Description of Work: New 2 story "Stratford" elev A' with 2 car side load garage, covered porch, Suite 1st floor, and finished lower level (Rec room area #2, Bathroom + wet bar) (5 Beds, 6 Baths, 1 1/2 Bath) #R's

Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: NVR Inc.
 Address: 9720 Patuxent Woods Dr
 City: Columbia State: MD Zip Code: 21046
 Phone: 410-379-5956 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: Decatur Building Services
 Address: PO Box 552
 City: Woodbine State: MD Zip Code: 21797
 Phone: 443-309-7922
 Email: jim@decaturbuildingservices.com

Contractor Company: NV Homes
 Contact Person: Clint Cagle
 Address: 9720 Patuxent Woods Dr
 City: Columbia State: MD Zip Code: 21046
 License No.: 56
 Phone: 410-379-5956 Fax: _____
 Email: ccagle@nvrinc.com

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories: <u>2</u>	Depth	Width
Gross area, sq. ft./floor: <u>7446</u>	1st floor: <u>54' x 70'</u>	
<u>005F - 7194</u>	2nd floor: <u>48' x 54'</u>	
Area of construction (sq. ft.): _____	Basement: <u>54' x 70'</u>	
Use group: _____	<input checked="" type="checkbox"/> Finished Basement	
<u>Performance Method</u>	<input type="checkbox"/> Unfinished Basement	
<u>Construction type:</u>	<input type="checkbox"/> Crawl Space	
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Structural Steel	No. of Bedrooms: <u>5</u>	
<input type="checkbox"/> Masonry	Multi-family Dwelling	
<input type="checkbox"/> Wood Frame	No. of efficiency units: _____	
<input type="checkbox"/> State Certified Modular	No. of 1 BR units: _____	
	No. of 2 BR units: _____	
	No. of 3 BR units: _____	
	Other Structure: _____	
	Dimensions: _____	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____	
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other: _____	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin
 Applicant's Signature
jim@decaturbuildingservices.com
 Email Address
Agent/NV Homes
 Title/Company

Jim Kerwin
 Print Name
11/4/2019
 Date
NOV 07 2019
 RECEIVED
 LICENSES & PERMITS

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

Filing Fee	\$ <u>100.00</u>
Permit Fee	\$ <u>3170.25</u>
Tech Fee	\$ <u>134.03</u>
Excise Tax	\$ <u>1079.1</u>
PSFS	\$ <u>9497.00</u>
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$ _____
Total Fees	\$ _____
Sub- Total Paid	\$ _____
Balance Due	\$ <u>3087.40</u>
Check	# <u>308740</u>

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials	<u>11/23/19</u>	<u>[Signature]</u>
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>12-4-19</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	



THE EXISTING WELL SHOWN ON THIS PLAN (IDENTIFIED WITH THE WELL TAG NUMBER HO-17-0104) HAS BEEN FIELD LOCATED BY G.L.W. (PROFESSIONAL LAND SURVEYORS) AND IS ACCURATELY SHOWN ON THIS PLAN.

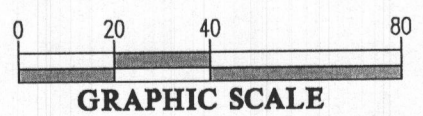
DRYWELL (M-5) SIZE CHART

DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
1	8'x8'	5'
2	7'x8'	5'
3	7'x8'	5'
4	7'x8'	5'

FOR CONSTRUCTION DETAILS OF DRYWELL(S) SEE F-17-016, SHEET 33.

Approved Septic System Plan
 Howard County Health Department
Signature
 Date 12-4-19
 1319003850

15" D/W CULVERT, 24 L.F.
 (per Ho.Co. Det. R-6.06)
 INV IN= 449.3±
 INV OUT=448.6±



NOTE: THE FRONT DOOR FOR LOT 7 FACES SOUTHEAST.

BUILDING PERMIT PLOT PLAN

	DES.	PREPARED FOR :	CRAWFORD SUBDIVISION LOT 7 (13840 MILL CREEK CT.) Plat No. 24600-24607	G. L. W. No.	17071
	DRN.	NVR INC. 9720 PATUXENTS WOODS DRIVE COLUMBIA, MD 21045 PH: 410-379-5956		TAX MAP/GRID	34&39-19&6
	CHK.			DATE	OCT. 2019
L:\CADD\DRAWINGS\17071\PLANS BY GLW\LOT PLANS\LOT 07\17071 MC_PLOT PLAN LOT 07.dwg				SCALE	1"=40'
				SHEET	1 OF 1

13840 Mill Creek Ct.
LOT 7

STRATFORD HALL

B19003850

Health Dept



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

FULL BASEMENT		STANDARD DETAILS
STD. DWGS.		
		AD-1
		AD-1b
SPEC SHEET	55-1	DR-1
ELEVATIONS	4	DR-2
FOUNDATIONS	14	DR-3
FOUNDATION HOLD DOWNS	22, 23, 24, 25	DN-2
PLUMBING	26	ET-1
BASEMENT FLOOR PLAN	27	ET-1b
FIRST FLOOR PLAN	29	ET-1c
SECOND FLOOR PLAN	32,1	ET-1e
BUILDING SECTIONS	34, 36	ET-1f
STAIR SECTIONS	38	ET-2
KITCHEN - BATHS	41, 42, 43, 44	ET-3a
BASEMENT ELECTRICAL	45	F-1
FIRST FLOOR ELECTRICAL	47	F-1b
SECOND FLOOR ELECTRICAL	50	F-2
FIRST FLOOR FRAMING	52	F-3
SECOND FLOOR FRAMING	54	F-3a
ROOF FRAMING	55, 56	FA-1
TRUSS BRACING	61	FC-1
WALL BRACING LAYOUT	63	FC-2
HVAC LAYOUT	67	FC-4
HVAC LAYOUT	68	FD-1
HVAC LAYOUT	69	FD-2
HVAC LAYOUT	70	FD-2a
HVAC LAYOUT	71	FD-3
HVAC LAYOUT	72	FP-1
HVAC LAYOUT	73	GB-1
HVAC LAYOUT	74	IT-1
		IT-1b
		IT-1c
		IT-2
		JT-1
		JT-3
		JT-3a
		KT-1
		RF-1
		RF-1b
		SEP-1
		SEP-3
		SEP-3a
		SEP-4
		SP-1
		SP-2
		SP-3
		ST-1
		ST-2
		MB-1
		MB-2
		MD-1
		MD-2
		MD-3
		MS-1

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
1ST FLOOR SUITE (ADD. SF)	352 SF
	2504 SF

SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
	2133 SF

GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. 'A' OR 'K' OR 'R'	507 SF
	507 SF

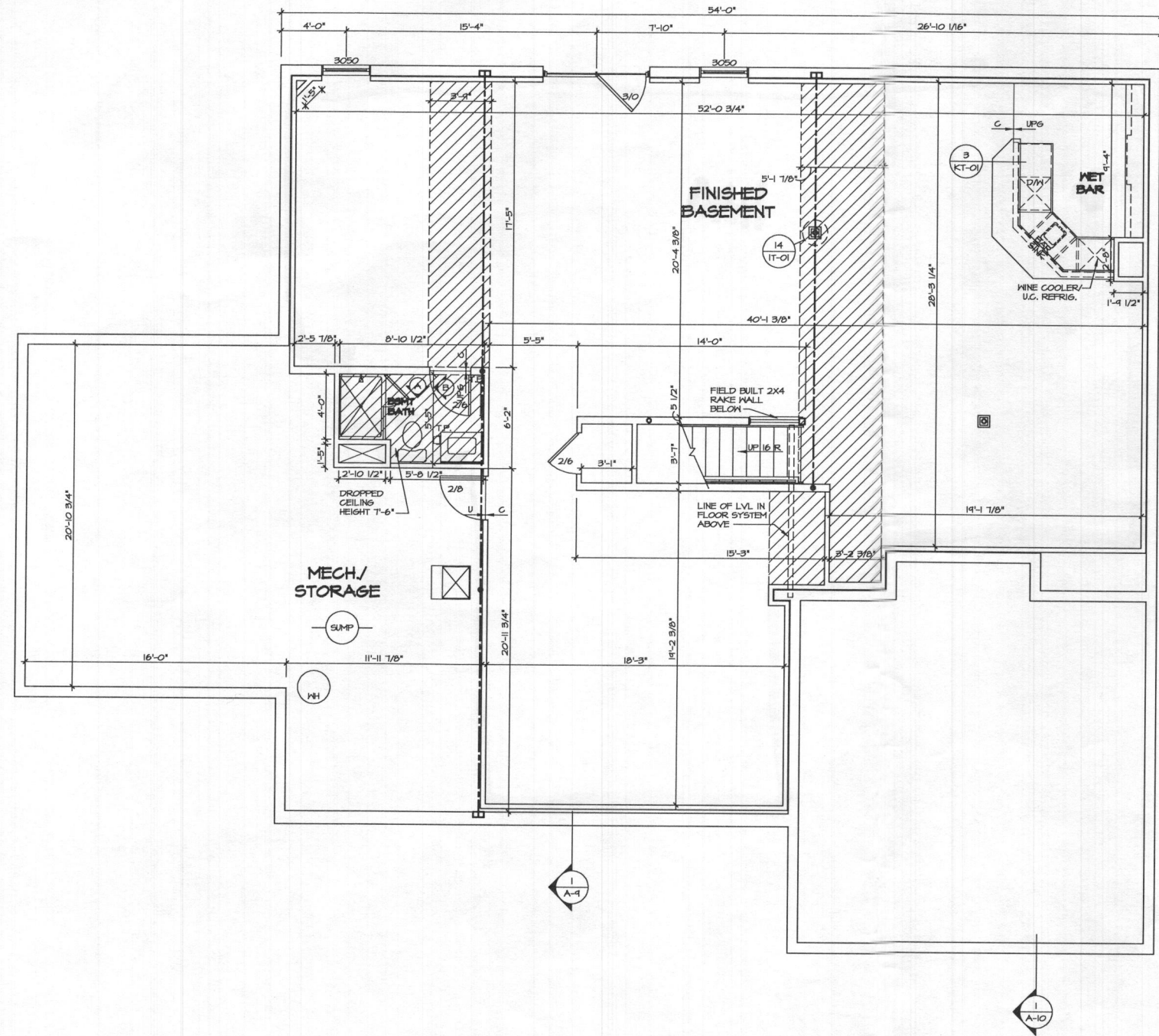
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1451 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	424 SF
	1876 SF

UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
MECHANICAL ROOM	245 SF
	245 SF

TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
1ST FLOOR SUITE (ADD. SF)	352 SF
2ND FLOOR (BASE SF)	2133 SF
FINISHED BASEMENT	1451 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	424 SF
	6520 SF

SET - VERSION
11900 - 01 CS-1

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1
A-6 **BASEMENT FLOOR PLAN**
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 5 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 1'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT 1'-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

- AT GARAGE:**
3/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:**
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND HALLS IN CLOSET
- WITH OPTION "SGI" - DRYWALL UNFINISHED BASEMENT CEILING AREA**

NOTES:

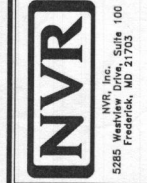
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

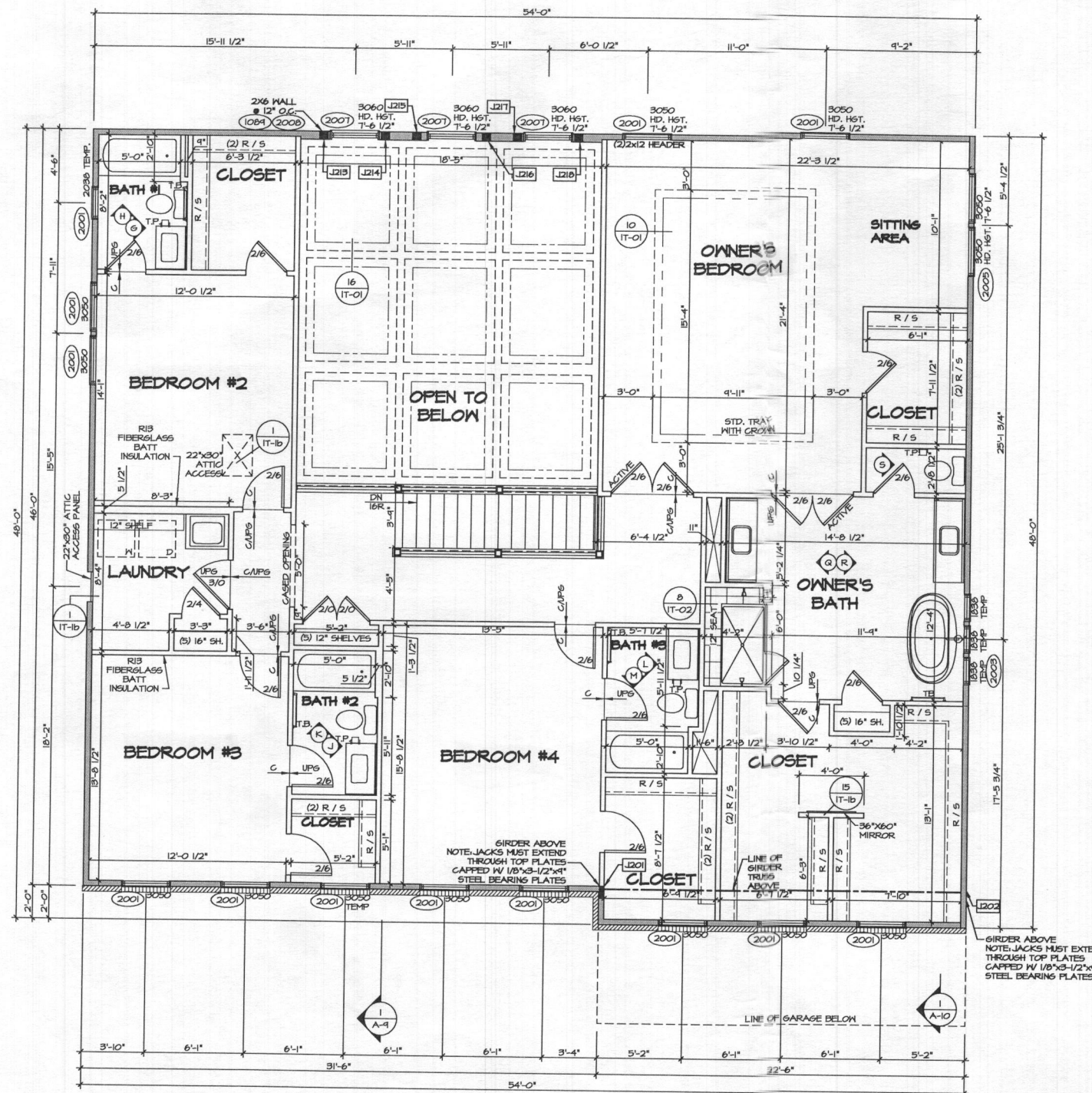
- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

REV. NO.	DATE	REMARKS
1	01/24/11	TH - STANDARD DETAILS 3.0

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MODEL STRATFORD HALL	SET NO. 11400
DRAWING TITLE BASEMENT FLOOR PLAN	VERSION 01
SHEET NO. A-6	DRAWN BY BIM
OPTION DESCRIPTION	DATE:
	OPTION
	27



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
- SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEETS(S) FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENS. NUM.	REMARKS
J201	JACK - (6) 2X4 SPP#1		2008	
J202	JACK - (6) 2X4 SPP#1		2008	
J213	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J214	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J215	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J216	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J217	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J218	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS

REV. NO. DATE
1 01/24/11 TM - STANDARD DETAILS 9.0

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NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

SET NO. 11900
VERSION C1

MODEL STRATFORD HALL
DRAWING TITLE SECOND FLOOR PLAN

DATE:
OPTION

OPTION DESCRIPTION

SHEET NO. A-8

32.1