

PERMIT NUMBER: B 2000358A

DATE ACCEPTED:

RECEIVED
OCT 09 2020

LICENSES & PERMITS
DIVISION

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 18438 Hidden Creek Way		Unit:
City: Mount Airy	State: MD	Zip Code: 21771
Subdivision/Village/Complex Name: Windsor Forest Knolls		SDP/WP/BA #:
Lot: 6	Tax Map: 6, Grid 16	Parcel: 57
		Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant unimproved lot	Proposed Use: SFD	Estimated Cost: \$369,300.00
Trade Work to Be Completed (Separate Permits Required):		
<input checked="" type="checkbox"/> Mechanical (HVACR)	<input checked="" type="checkbox"/> Electrical	<input type="checkbox"/> Plumbing <input type="checkbox"/> None

Residential New Single Family Dwelling (Detached)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Sonshine MD, LP		Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 227 Granite Run Drive, Suite 100		
City: Lancaster	State: PA	Zip Code: 17601
Phone: (717) 464-9060	Email: billb@keystonecustomhome.com	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Keystone Custom Homes		Contact Name: Gregg Reinsmith
Street Address: 227 Granite Run Drive, Suite 100		
City: Lancaster	State: PA	Zip Code: 17601
Phone: (717) 719-1362	Email: greinsmith@keystonecustomhome.com	

CONTRACTOR INFORMATION REQUIRED

Business Name: Keystone Custom Homes		
Licensee's Name:		License #: MHBR# 2937 (exp 12/01/2021)
Street Address: 227 Granite Run Drive, Suite 100		
City: Lancaster	State: PA	Zip Code: 17601
Phone: (717) 719-1362	Email: greinsmith@keystonecustomhome.com	

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Paul B. Elser, P.E.		Name: Paul Elser
Street Address: 227 Granite Run Drive, Suite 100		
City: Lancaster	State: PA	Zip Code: 17601
Phone: (717) 719-1370	Email: pelser@keystonecustomhome.com	

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)		Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)	Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:		Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input checked="" type="checkbox"/> NFPA 13D <input type="checkbox"/> None		Fire Alarm System: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Devonshire Traditional				
# of Bedrooms (SF): 5	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms: 18	# Full Baths: 4	# Half Baths: 1	# Fireplaces: 1	
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input checked="" type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input checked="" type="checkbox"/> Full or <input type="checkbox"/> Partial				
1st Fl Width: 56	1st Fl Depth: 64	2nd Fl Width: 50	2nd Fl Depth: 44	Bsmt Width: 56
Energy Method: <input checked="" type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 7,319 sq ft	Occupiable Area: 6,654 sq ft	

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ON TO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Gregg Reinsmith
APPLICANT'S ORIGINAL SIGNATURE

10/8/2020
DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:				
<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input type="checkbox"/> DED	<input checked="" type="checkbox"/> Health <i>10/29/2020</i>	<input checked="" type="checkbox"/> SHA
SUBMITTAL FEES: \$ 150.00		PAYMENT: # 1696	10/8/2020	ACCEPTED BY: <i>Dmplosx</i>

1. A pre-construction
Works, Construction Ins
protected areas are m
be given at the followi

- Prior to the st
- Upon completio
before proceeding
- Prior to the st
unit,
- Prior to the re

2. All vegetative and s
this plan and are to b
SPECIFICATIONS FOR SQ

3. Following initial soil
required within three (3
swales, ditches, perime
(3:1); and seven (7) c
except for those areas

4. All disturbed areas i
accordance with the 2
SEDIMENT CONTROL for
seeding (Sec. 8-4-4)
can only be applied by
Incremental stabilization
cut and/or fill. Stockpil
outlet. All concentrated
stabilization matting (Si

5. All sediment control
operative condition until

6. Site Analysis:

- Total Area of Site:
- Area Disturbed:
- Area to be roofed
- Area to be vegeta
- Total cut:
- Total fill:
- Off-site waste/bor

7. Any sediment control
utilities must be repair

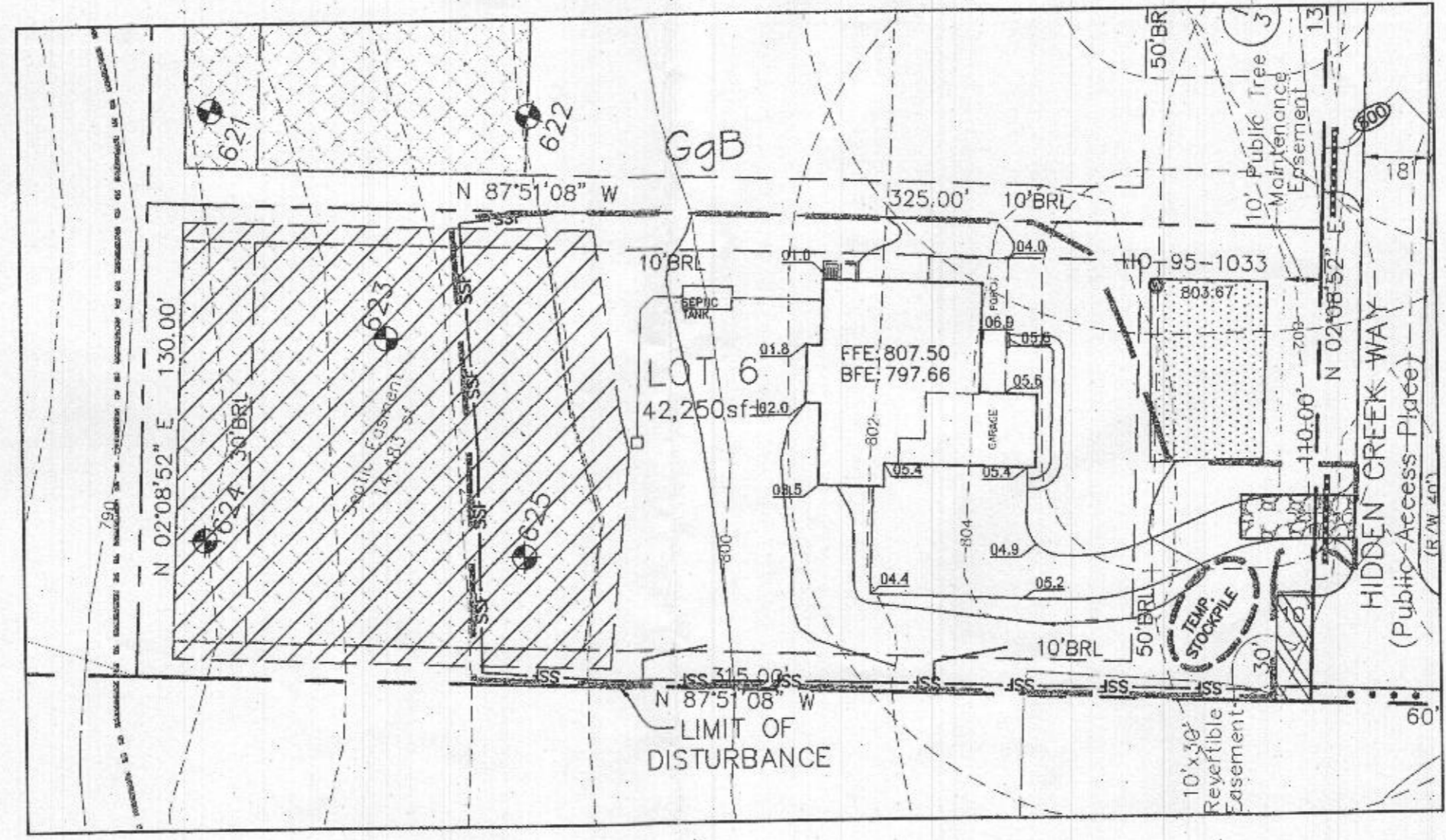
8. Additional sediment
and all controls shall b
rain event. A written re
inspection and should

- Inspection date
- Inspection type (routin
- Name and title of ins
- Weather information (p
precipitation
- Brief description of pr
- Evidence of sediment
- Identification of plan
- Identification of sedim
- Identification of missir
- Compliance status reg
- Photographs
- Monitoring/sampling
- Maintenance and/or c
- Other inspection items
- Construction Activities (

9. Trenches for the cor
can and shall be back
shorter.

10. Any major changes
reviewed and approved
may be allowed by the

11. Disturbance shall no
grading activities begin

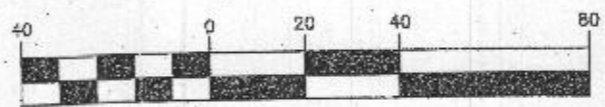


LEGEND

- 400 PROPOSED CONTOURS
- 398 EXISTING CONTOURS
- 400 EXISTING PRIVATE SEWAGE DISPOSAL AREA
- EXISTING WELL BOX
- MaC SOILS MAP SYMBOL
- SOILS DELINEATION LINE
- SSF SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE

PLAN VIEW

1" = 40'



(IN FEET)
1 inch = 40 ft.

1320003584
Approved
R/S
10/29/2020

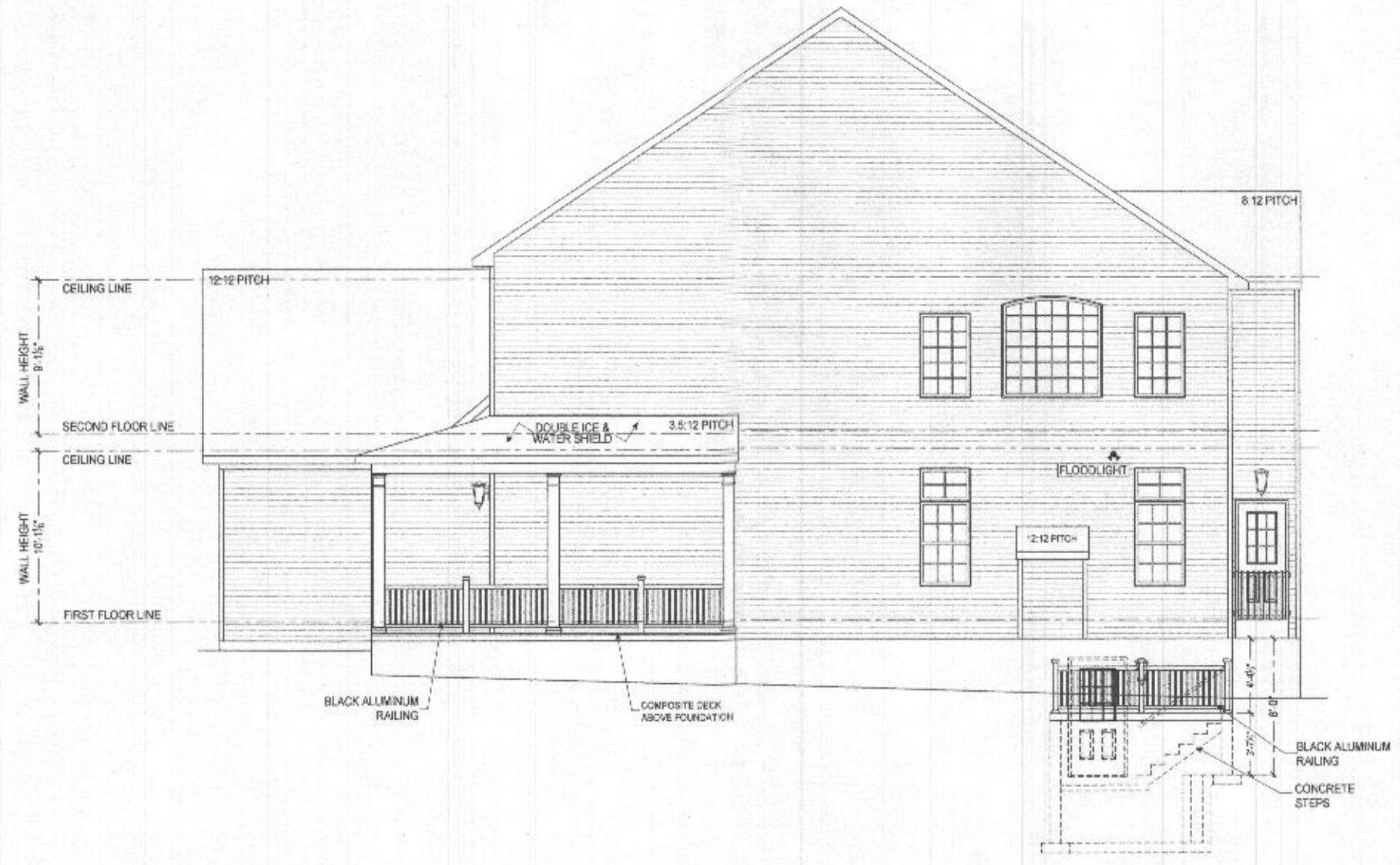
Class Zone 3/
7a and 7b

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 www.keystonecustomhomes.com



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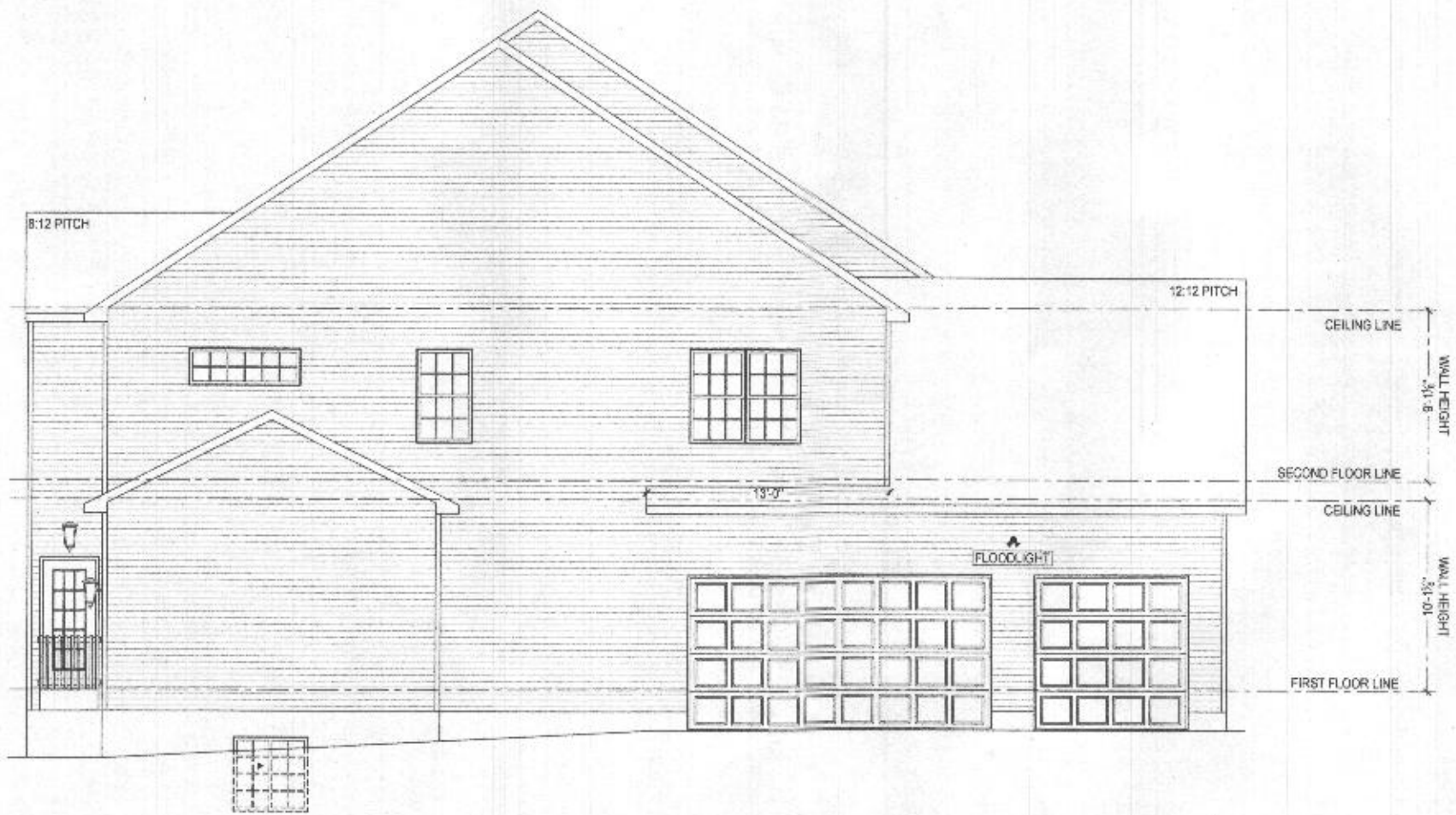


LIVING SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



Professional Engineer, I hereby certify that
 these drawings were prepared or approved by me,
 and that I am a duly licensed professional engineer
 under the laws of the State of Maryland
 License No. 85478, Expiration Date: 10/22/2017.

PROJECT: LIVING SIDE ELEVATION	DATE: AUG 10 2020
NO.:	SCALE: AS NOTED
DESIGNER: R. SHAW	SHEET NO: A1.1
	PLANT: a d s 30



GARAGE SIDE ELEVATION
SCALE: 3/16" = 1'-0"



*Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 55478. Expiration Date: 10-01-2020.

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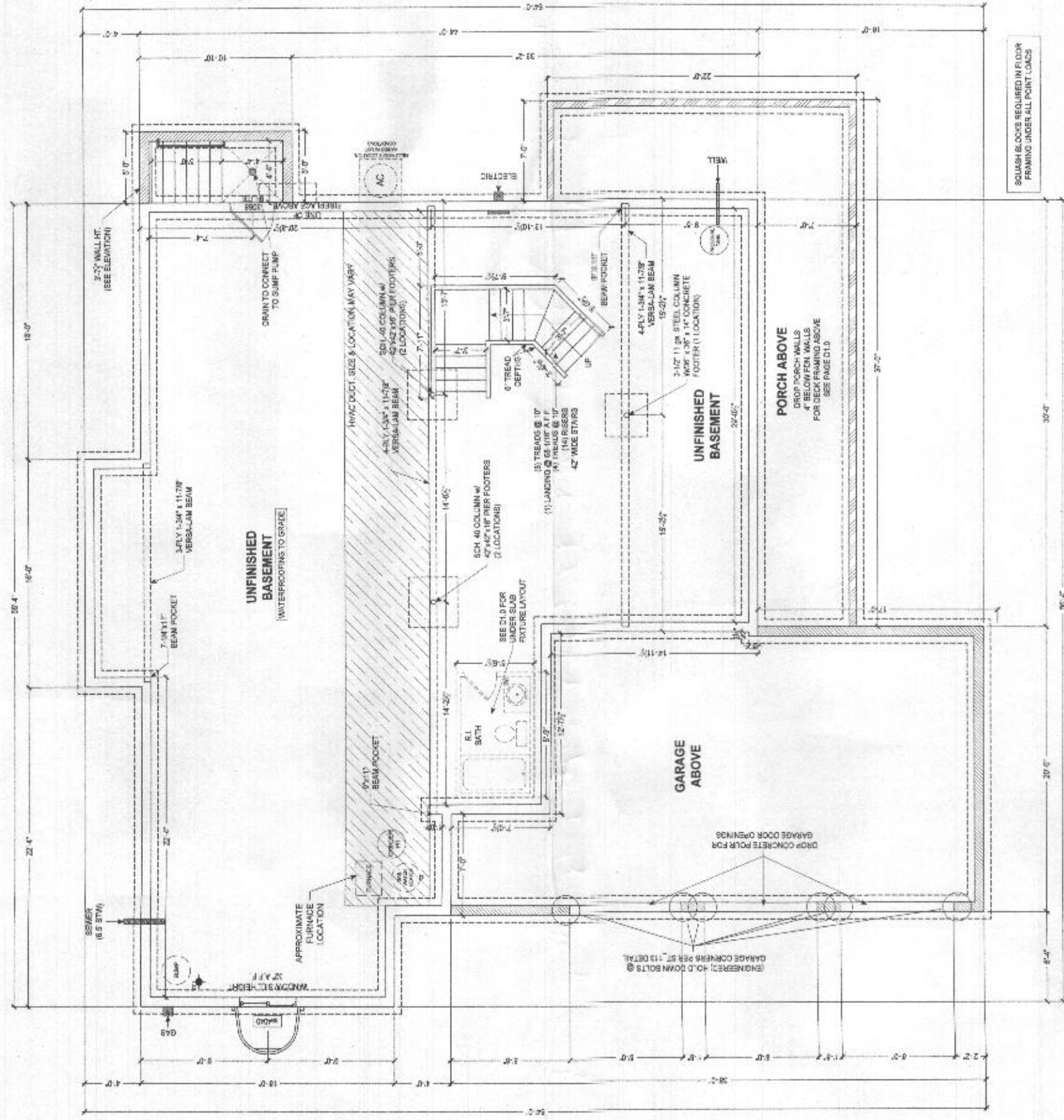


KEYSTONE CUSTOM HOMES, INC.

SHEET DESCRIPTION: GARAGE SIDE ELEVATION
MODEL: EAS006
GOLF

DATE: AUG 10 2020
SCALE: AS NOTED
DRAWN BY: SHAW

SHEET NO: **A13**
PAGE: ads30



SQUISH SLOTTES REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

FOUNDATION PLAN
SCALE: 3/8" = 1'-0"



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- 1" THICK REINFORCED CONCRETE WALLS
- 4" MIN FROM POOR CONCRETE WALLS TO BOARD
- 4" THICK POURED CONCRETE WALLS
- 6" DEEP F.O. FOR WALL FOOTING OF CONCRETE WALLS
- 6" DEEP F.O. FOR WALL FOOTING OF MASONRY WALLS

NOTE TO CONTRACTOR:
LOCATIONS OF POINT LOADS, LUMBER, AND OTHER INFORMATION
SHOWN WILL BE LISTED AS POSSIBLE. ACTUAL PLACEMENT OF LOADS AND
MATERIAL SUPPORT, ETC. MAY VARY DUE TO REVISIONS, SITE CONDITIONS,
Etc.

PROJECT	FOUNDATION PLAN
DATE	AUG 10 2020
SCALE	AS NOTED
DRAWN BY	R. SHAW
CHECKED BY	
PROJECT NO.	EA-8006
CLIENT	GOLE
SHEET NO.	PL 2
TOTAL SHEETS	3

KEYSTONE CUSTOM HOMES, INC.



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