



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: 1/21/2020

Permit No.: B20000230

Building Address: 1014 High Stepper Tr  
City: Sylhesville State: MD Zip Code: 21784  
Suite/Apt. #: \_\_\_\_\_ SDP/WP/BA #: F-17045  
Subdivision: Walkers Meadow  
Lot: 9 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_

Existing Use: vacant lot  
Proposed Use: Single family house  
Estimated Construction Cost: \$ 210,000

Description of Work: New 2 story "Stratford Hall" BLV A, with 2 car side load garage, 1 car side attached, and finished lower level (see run + bath room) 11 rooms, 5 full baths, 1 1/2 bath, 4 Bedrooms

Occupant/Tenant Name: \_\_\_\_\_  
Was tenant space previously occupied?  Yes  No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Property Owner's Name: NVR Inc  
Address: 9720 Patuxent Woods Drive  
City: Columbia State: MD Zip Code: 21046  
Phone: 410-379-5956 Fax: \_\_\_\_\_  
Email: Janastas@NVRINC.com

Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name: Jim Kerwin  
Address: PO Box 552  
City: Woodbine State: MD Zip Code: 21797  
Phone: 443-309-7292 Fax: \_\_\_\_\_  
Email: Jim@DecaturBuildingServices.com

Contractor Company: NV Homes  
Contact Person: James Anastasia  
Address: 9720 Patuxent Woods Drive  
City: Columbia State: MD Zip Code: 21046  
License No.: 56  
Phone: 410-379-5956 Fax: \_\_\_\_\_  
Email: Janastas@NVRINC.com

Engineer/Architect Company: \_\_\_\_\_  
Responsible Design Prof.: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height: _____	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories: <u>2</u>	Depth	Width
Gross area, sq. ft./floor: <u>6824</u>	1st floor: <u>54 x 68</u>	
<u>065F 6824</u>	2nd floor: <u>54 x 48</u>	
Area of construction (sq. ft.): _____	Basement: <u>54 x 54</u>	
Use group: _____	<input checked="" type="checkbox"/> Finished Basement	
<u>performance Method</u>	<input type="checkbox"/> Unfinished Basement	
Construction type: _____	<input type="checkbox"/> Crawl Space	
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Structural Steel	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> Masonry	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Wood Frame	No. of efficiency units: _____	
<input type="checkbox"/> State Certified Modular	No. of 1 BR units: _____	
	No. of 2 BR units: _____	
	No. of 3 BR units: _____	
	Other Structure: _____	
	Dimensions: _____	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____	
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input checked="" type="checkbox"/> Natural Gas	<input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other: _____	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ON TO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin  
Applicant's Signature  
Jim@DecaturBuildingServices.com  
Email Address  
AGENT NVR / Ryan Homes  
Title/Company

Jim Kerwin  
Print Name  
1/21/2020  
Date  
JAN 21 2020  
LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		<u>Z. K. B. Beck</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>308997</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

mylar being circulated for signature, 1P

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 2/11/2020

To: Robert Briker  
(Person's Name and Division)

From: Jim Kerwin Agent NV Homes (443) 309-7792  
(Your Name, Company Name and Telephone Number)

Subject: Project name Walker Meadows  
Project site address 1014 High Stepper Trail  
Permit # B20000230 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of Plot Plan (revised) (be specific). moved septic tank location
- Health Department Request     DPZ/ DED Request     Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- Other \_\_\_\_\_


**Contact Person Information: (Required)**

Jim Kerwin  
Please Print Name

Telephone No: 443-309-7792

E-Mail Address: Jim@Decaturbuilding  
services.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by 

**RECEIVED**  
FEB 11 2020

*NOFO  
1st Review*



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DILP 2020 MAR 12 PM 12:17  
Date Received: \_\_\_\_\_

Permit No.: 320000887

*Heath*

Building Address: 1014 HIGH STEPPER TRAIL  
 City: SYKESVILLE State: MD Zip Code: 21784  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 9  
 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: 1.1

Existing Use: SFD  
 Proposed Use: SFD /PROPANE TANK  
 Estimated Construction Cost: \$ 4,000  
 Description of Work: \_\_\_\_\_  
INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Occupant/Tenant Name: OWNER  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: NVR  
 Address: 9720 PATUXENT WOODS DRIVE  
 City: COLUMBIA State: MD Zip Code: 21046  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (if other than stated herein)  
 Applicant's Name: MICHELLE CLANCY  
 Address: PO BOX 310  
 City: PERRY HALL State: MD Zip Code: 21128  
 Phone: 443-610-7514 Fax: \_\_\_\_\_  
 Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: AIR GAS  
 Contact Person: DENNIS FEAGA  
 Address: 6750 MACLEAN WAY STE B  
 City: GLEN BURNIE State: MD Zip Code: 21060  
 License No.: 81215  
 Phone: 410-984-5681 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Engineer/Architect Company: CONTRACTOR  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	<u>Depth</u>	<u>Width</u>
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
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<input checked="" type="checkbox"/> Private	
Sewage Disposal	
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<input checked="" type="checkbox"/> Private	
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<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
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Grading Permit Number:	
Building Shell Permit Number:	

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*Michelle Clancy*  
 Applicant's Signature  
MICHELLE@APPLIEDANDAPPRO ED.COM  
 Email Address  
PERMITS  
 Title/Company

MICHELLE CLANC  
 Print Name  
3/12/2020  
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

**FOR OFFICE USE ONLY**

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health	<u>3/30/20</u>	<u><i>[Signature]</i></u>

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Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

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Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

*[Handwritten mark]*

STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY A WIDE GRASS SHOULDER AND DRYWELLS.

GRAVITY SEWER SERVICE LIMITED TO FIRST FLOOR

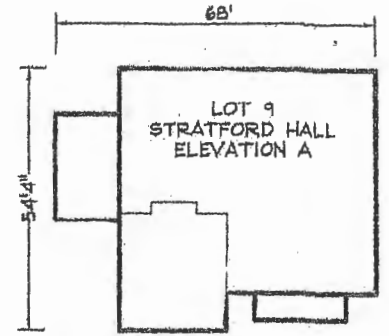
Approved for UPT  
B2000887  
Apt. 2/30/20

### DRAWING LEGEND

- ● ● ● ● ● ● ● LIMIT OF DISTURBANCE
- SF — SF — PROPOSED SILT FENCE
- SSF — SSF — PROPOSED SUPER SILT FENCE
- [SCE] STABILIZED CONSTRUCTION ENTRANCE
- [T] TRANSFORMER
- [Well Box] WELL BOX WITH EXISTING WELL
- [Hatched Area] SEPTIC RESERVE AREA
- [Keyhole] DRY WELL
- [Wide Hatched Area] WIDE GRASS SHOULDER
- [Circular Hatched Area] TEMP. STOCKPILE
- [Circular Hatched Area] TEMPORARY STOCKPILE

**DRYWELL (M-5) SIZE CHART**

DRYWELL #	L X W	STONE DEPTH
1	7'x6'	5'
2	7'x6'	5'
3	7'x6'	5'
4	7'x6'	5'



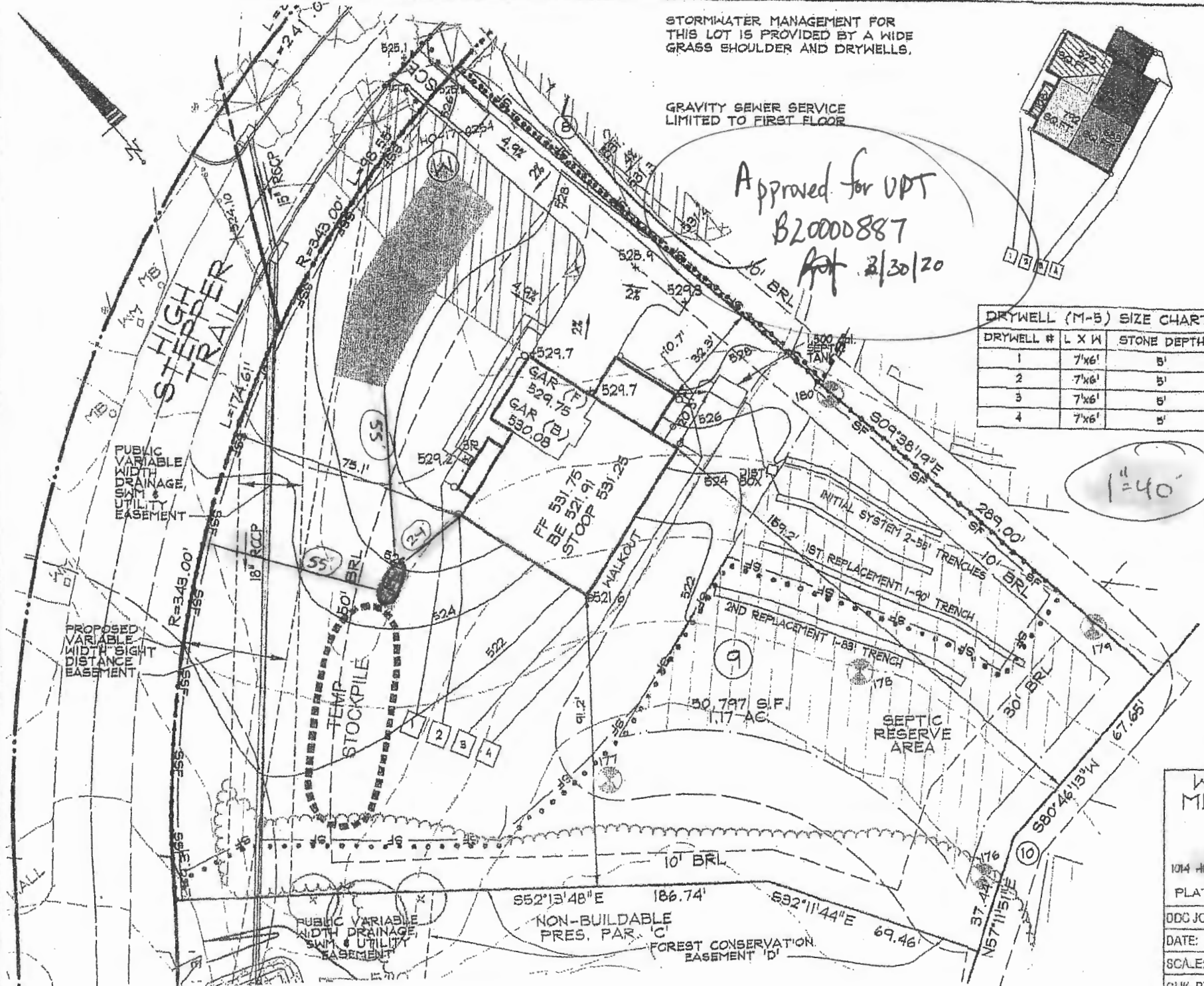
LOT 9 BUILDING PERMIT PLOT PLAN

**WALKER MEADOWS**  
LOT 9  
1014 HIGH STEPPER TRAIL  
PLAT #24974-24979  
DDC JOB#: 12064.3  
DATE: 1/3/20  
SCALE: 1"=40'  
CHK. BY: PGC  
DRN. BY: LJC



Planners  
Surveyors  
Engineers  
Landscape Architects  
192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

THE FRONT DOOR FOR LOT 9 FACES NORTH



**Maura J. Rossman, M.D., Health Officer**

**MEMORANDUM**

**TO:** *Jimmy Anastasia, NVR, Inc.*

**FROM:** *Robert Bricker, REHS/RS, L.E.H.S.*  
Well & Septic Program

**RE:** *1014 High Stepper Trail*, Potential Basement Bedroom

**DATE:** January 31, 2020

I have reviewed the floor plans in support of Building Permit **B20000230** for a new home at **1014 High Stepper Trail** and noted that there is a full bathroom planned in the finished basement. Please note that this makes it very likely for at least one more room to be considered a bedroom should the basement layout be modified and/or an egress window installed.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
  - (i) Is 90 square feet or greater in size;
  - (ii) May be used as a private sleeping area; and
  - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
  - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
  - (ii) A minimum 4 foot-wide opening, without doors, into another room;
  - (iii) A half wall (4 foot maximum height) between the room and another room; or
  - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **four (4)**- bedroom design to accommodate a future modification of the finished basement. If you choose to only size for the existing design, any future building permit for modification of the finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.

1014 High Stepper Trail

LOT 9

# STRATFORD HALL

HEALTH  
Dept.

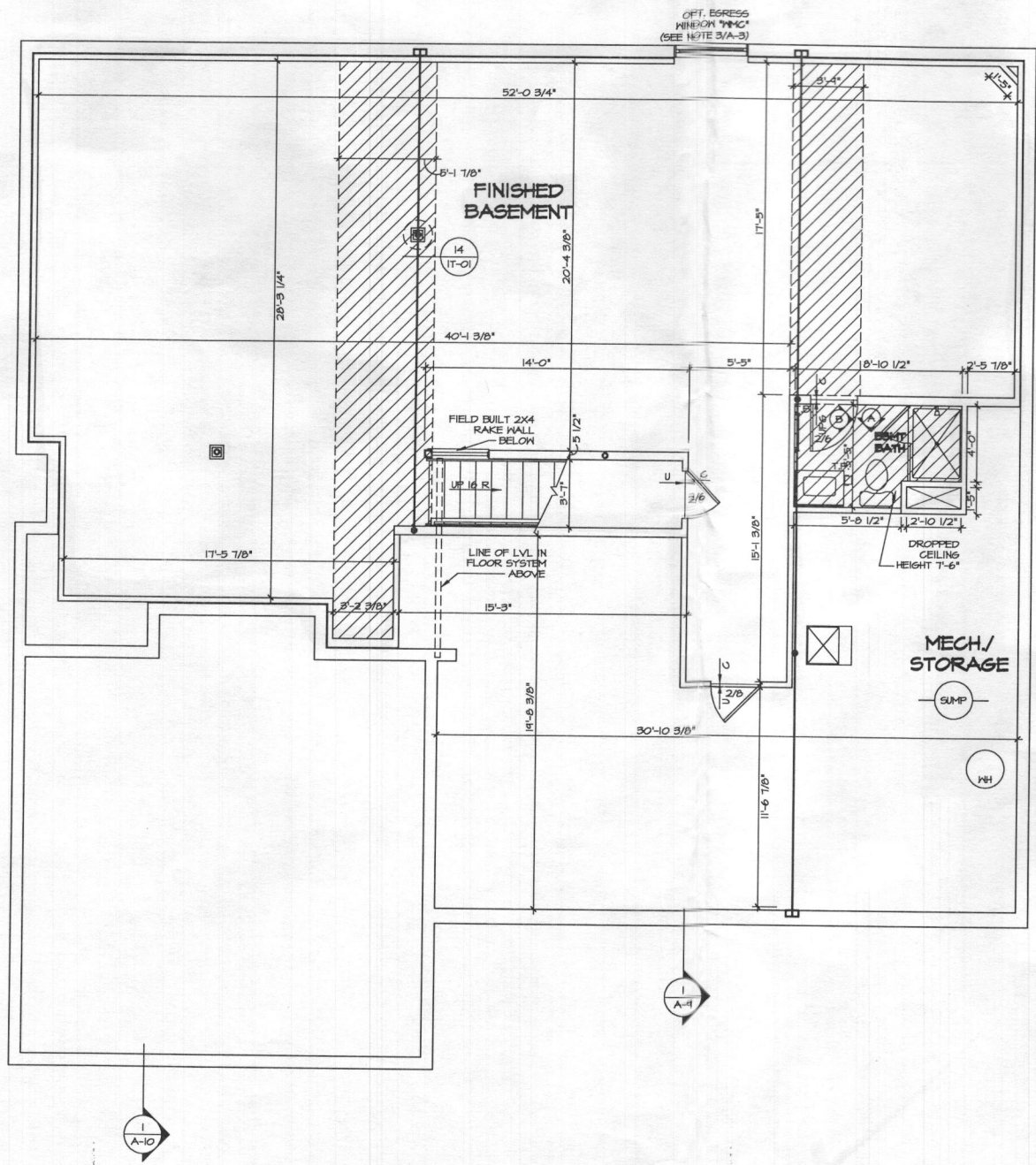
DIV-COMM-LOT-UNIT		
MDE-IN-0009		
COMM-LOT		
WALKER MEADOWS - 0009		
STREET ADDRESS		APT. NO.
1014 HIGH STEPPER TRAIL		----
CITY	STATE	ZIP
SYKESVILLE	MD	21784

B20000230



NVR, Inc.  
5285 Westview Drive, Suite 100  
Frederick, MD 21703

PULL BASEMENT		STANDARD DETAILS
STD. DWGS.		
SPEC SHEET	55-1	AD-1
ELEVATIONS	4	AD-1b
FOUNDATIONS	14	DR-1
FOUNDATION HOLD DOWNS	22, 23, 24, 25	DR-2
PLUMBING	26	DR-3
BASEMENT FLOOR PLAN	27	DN-2
FIRST FLOOR PLAN	29	ET-1
SECOND FLOOR PLAN	32.1	ET-1b
BUILDING SECTIONS	34, 36	ET-1c
STAIR SECTIONS	38	ET-1e
KITCHEN - BATHS	41, 42, 43, 44	ET-1f
BASEMENT ELECTRICAL	45	ET-2
FIRST FLOOR ELECTRICAL	47	ET-3b
SECOND FLOOR ELECTRICAL	50	F-1
FIRST FLOOR FRAMING	52	F-1b
SECOND FLOOR FRAMING	54	F-2
ROOF FRAMING	55, 56	F-3
TRUSS BRACING	61	F-3b
WALL BRACING LAYOUT	63	FA-1
HVAC LAYOUT	67	FC-1
HVAC LAYOUT	68	FC-2
HVAC LAYOUT	69	FC-4
HVAC LAYOUT	70	FD-1
HVAC LAYOUT	71	FD-2
HVAC LAYOUT	72	FD-3
HVAC LAYOUT	73	FD-3b
HVAC LAYOUT	74	FD-3c
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**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT T-1", UNLESS OTHERWISE NOTED.

**GYPSUM NOTES**

- AT GARAGE:**  
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:**  
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET.
- WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA**

**NOTES:**

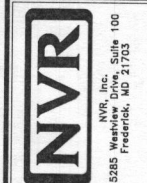
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

**LEGEND**

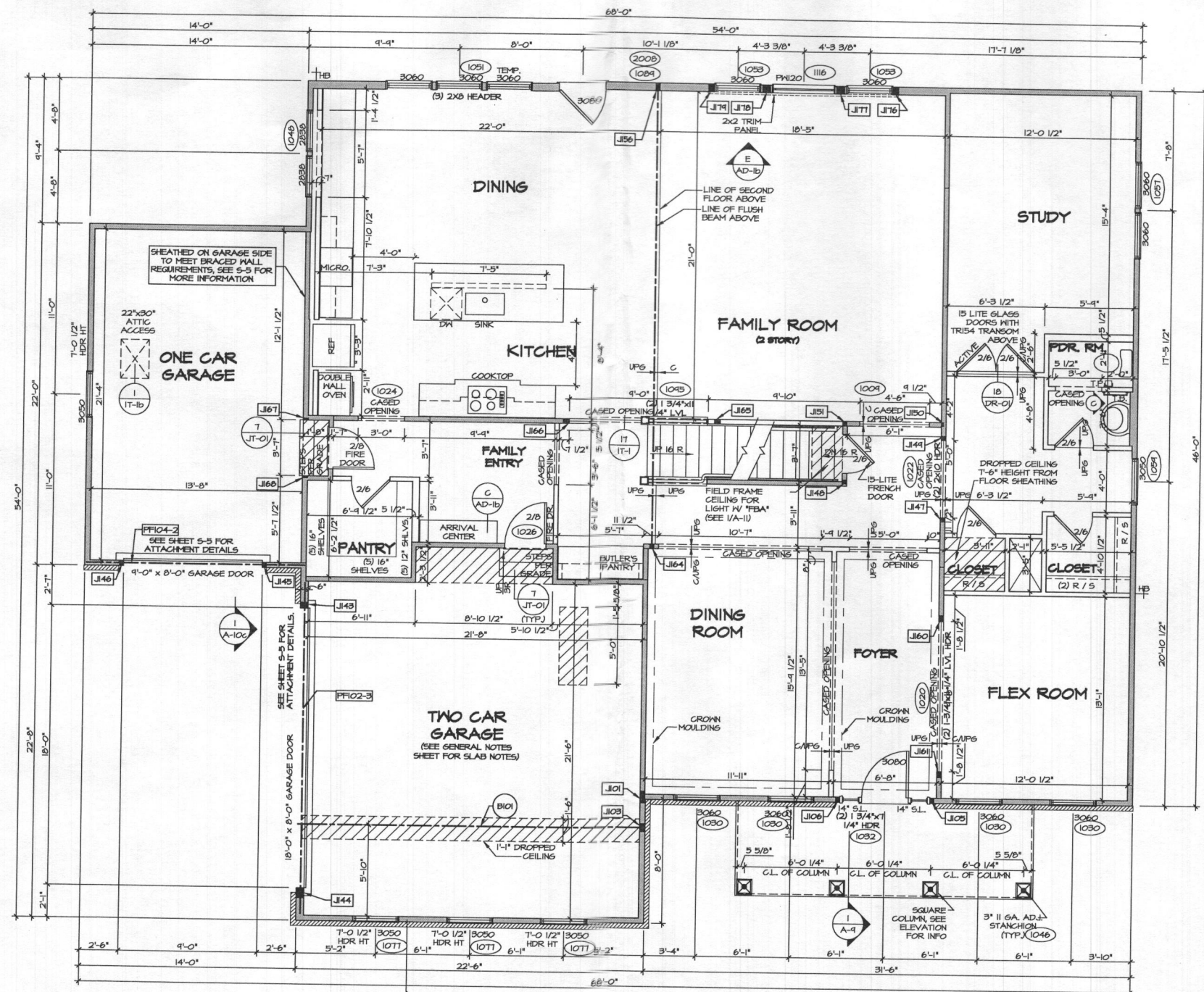
- ▬ BEARING WALL
  - ▬ NON BEARING WALL
  - ⊗ INDICATES BEARING FROM POINT-LOAD ABOVE
  - ⊥ JACKS
  - ⊖ BEAM/HEADER
  - ⊞ PAD FOOTING
  - ◇ STEEL COLUMN
  - ⊞ PORTAL FRAME
  - ⊞ JOIST/TRUSS
  - LVL
  - ⊗ ENGINEERING PAGE NUMBER
- SEE FG DETAILS FOR FRAMING CONNECTORS

DIY-COMM-LOT-UNIT  
**MDE-1W-0009**  
COMM-LOT  
MALKER MEADOWS - 0009  
STREET ADDRESS  
1014 HIGH STEPPER TRAIL  
CITY  
SPYKESVILLE  
STATE  
MD  
ZIP  
21154

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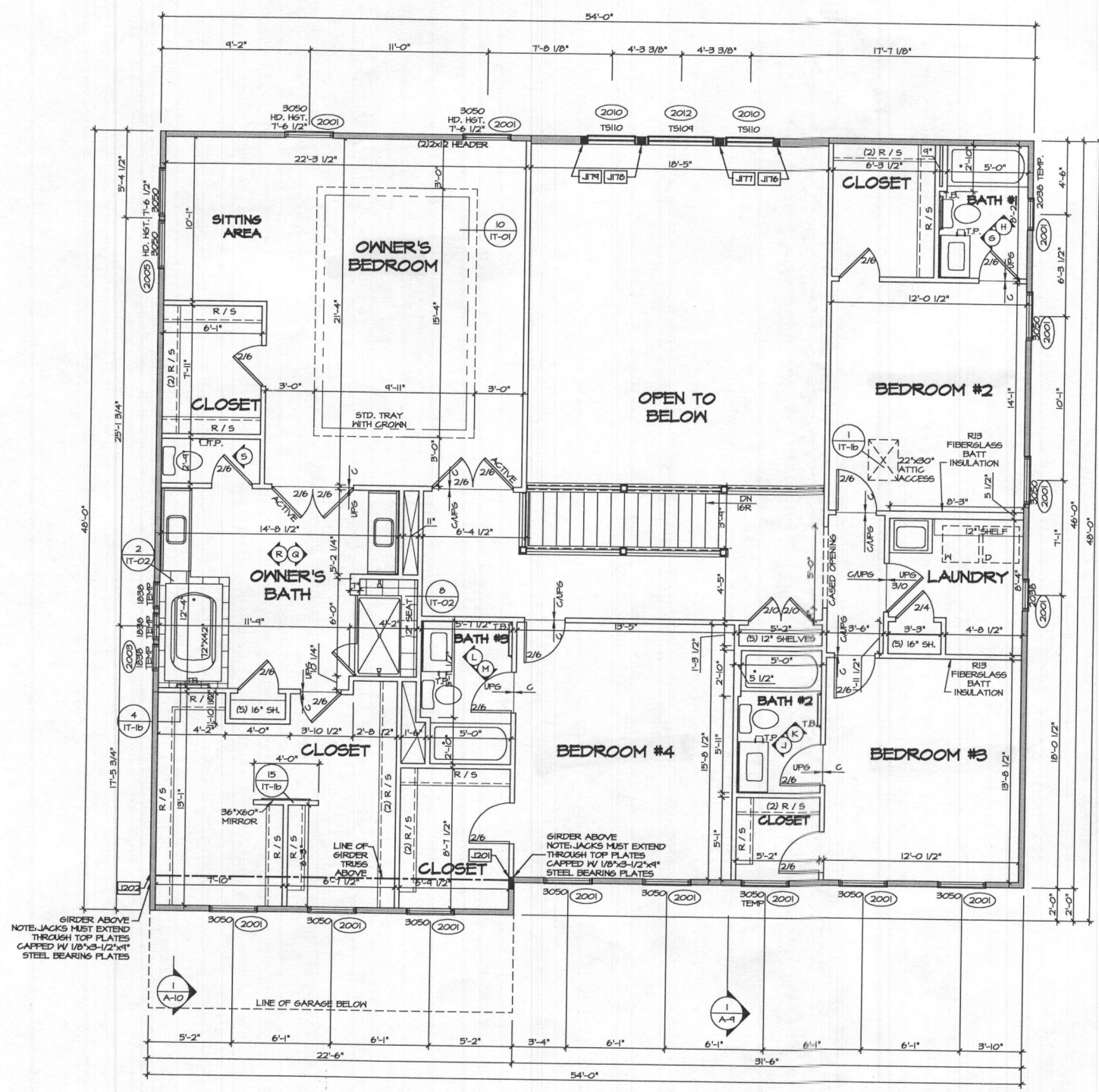
MODEL <b>STRAITFORD HALL</b>	SET NO. 11500	VERSION C1
DRAWING TITLE <b>BASEMENT FLOOR PLAN</b>	DRAWN BY BIM	DATE:
SHEET NO. <b>A-6</b>	OPTION DESCRIPTION	OPTION
		<b>27</b>



**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

SHEET NO. <b>A-7</b>	MODEL <b>STRATFORD HALL</b>	SET NO. 11800	OPTION
	DRAWING TITLE <b>FIRST FLOOR PLAN</b>	VERSION 01	DRAWN BY BIM
29	OPTION DESCRIPTION	DATE:	OPTION
DIV.-COMM.-LOT-UNIT <b>MDE-IN-0009</b>		<small>The owner, expressly reserves its copyright and other property rights in this drawing, and no part of it is to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of NVR, Inc.</small>	
COMM-LOT <b>WALKER MEADOWS - 0004</b>		 <small>NVR, Inc.        528 Westview Drive, Suite 100        Frederick, MD 21752</small>	
STREET ADDRESS <b>1014 HIGH STEPPER TRAIL</b>		<small>© NVR, Inc. 01/15/20        01/15/20 - 7392.dwg</small>	
CITY <b>SPYKESVILLE</b>		STATE <b>MD</b>	ZIP <b>21764</b>



**1 SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
  2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
  3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
  4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
  5. SEE "BRACED HALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
  6. SEE STANDARD DETAIL CATEGORY "IT" SHEETS(S) FOR INTERIOR TRIM DETAILS.
  7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
  8. ALL WINDOWS HAVE 1'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
  9. ALL CASED OPENINGS AT 1'-11", UNLESS OTHERWISE NOTED.

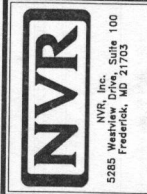
- LEGEND**
- BEARING WALL
  - - - NON BEARING WALL
  - ⊗ INDICATES BEARING FROM POINT-LOAD ABOVE
  - ⊥ JACKS
  - ⊕ BEAM/HEADER
  - ⊞ PAD FOOTING
  - ⊙ STEEL COLUMN
  - ⊗ PORTAL FRAME
  - ⊗ JOIST/TRUSS
  - LVL
  - ⊗ ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

**SECOND FLOOR JACK SCHEDULE**

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J176	JACK - (3) 2X6 SFF #2		2014	FULL HEIGHT STUDS
J177	JACK - (4) 2X6 SFF #2		2015	FULL HEIGHT STUDS
J178	JACK - (4) 2X6 SFF #2		2015	FULL HEIGHT STUDS
J179	JACK - (3) 2X6 SFF #2		2014	FULL HEIGHT STUDS
J201	JACK - (6) 2X4 SFF #1		2008	
J202	JACK - (6) 2X4 SFF #1		2008	

BY-COMM-L0T-UNIT  
**MDE-1W-0009**  
 COMM-L0T  
 MALKER MEADOWS - 0009  
 STREET ADDRESS  
 1014 HIGH STEPPER TRAIL  
 CITY STATE MD ZIP  
 STYKESVILLE 21154

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SET NO. 11900  
 VERSION 01  
 DRAWN BY BIM  
 DATE:  
 OPTION

MODEL  
**STRATFORD HALL**  
 DRAWING TITLE  
**SECOND FLOOR PLAN**  
 OPTION DESCRIPTION

SHEET NO.  
**A-8**  
 32.1