



Health

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B20000307

Building Address: 3631 Paupers Folly La
 City: West Friendship State: MD Zip Code: 21794
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Subdivision: _____
 Lot: 5 Tax Map: _____ Parcel: _____

Existing Use: vacant lot
 Proposed Use: Single family house
 Estimated Construction Cost: \$ 210,000
 Description of Work: New 2 story "Marymount" BLV'R with 2 car side load garage, 2 car side attached garage, covered rear porch, 1st floor suite, and finished lower level (rec room, area # 2, and bathroom) 11 Rooms, 5 Full Baths, 1 HB and 5 Bedrooms
 Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: NVR Inc
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 Phone: 410 379 5956 Fax: _____
 Email: Janastas@NVRINC.com

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Jim Kerwin
 Address: PO Box 552
 City: Woodbine State: MD Zip Code: 21797
 Phone: 443-309-7292 Fax: _____
 Email: Jim@DecaturBuildingServices.com

Contractor Company: NV Homes
 Contact Person: James Anastasia
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 License No.: 56
 Phone: 410-379-5956 Fax: _____
 Email: Janastas@NVRINC.com

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories: <u>2</u>	Depth	Width
Gross area, sq. ft./floor: <u>7287</u>	1st floor: <u>45 X 103</u>	
<u>OGSF = 2071</u>	2nd floor: <u>42 X 54</u>	
Area of construction (sq. ft.): _____	Basement: <u>45 X 80</u>	
Use group: _____	<input type="checkbox"/> Finished Basement	
<u>Performance Method</u>	<input type="checkbox"/> Unfinished Basement	
Construction type: _____	<input type="checkbox"/> Crawl Space	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>5</u>	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units: _____	
<input type="checkbox"/> Wood Frame	No. of 1 BR units: _____	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units: _____	
	No. of 3 BR units: _____	
	Other Structure: _____	
	Dimensions: _____	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____	
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input checked="" type="checkbox"/> Propane Gas
Other: _____	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jim Kerwin
 Print Name: Jim Kerwin
 Email Address: Jim@DecaturBuildingServices.com
 Title/Company: AGENT NVR / Ryan Homes

Date: 1/27/2020
RECEIVED
 JAN 27 2020
 LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health		

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ 100
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# 3A3028

LOT 5
3631 Paupers Folly Lane MARYMOUNT

Health
B20000307

DIV-COMM-LOT-UNIT		
MDE-BY-0005		
COMM-LOT		
BELVEDERE ESTATES - 0005		
STREET ADDRESS		APT. NO.
3631 PAUPERS FOLLY LANE		---
CITY	STATE	ZIP
WEST FRIENDSHIP	MD	21744



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

SPEC SHEET	STD. DWGS.	FULL BASEMENT										STANDARD DETAILS
ELEVATIONS	5											AD-1
FOUNDATIONS	14											AD-1b
FOUNDATION HOLD DOWNS	19											DR-1
PLUMBING	21											DR-2
BASEMENT FLOOR PLAN	22											DR-3
FIRST FLOOR PLAN	25											ET-1
SECOND FLOOR PLAN	24											ET-1b
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BUILDING SECTIONS - GARAGE	35											ET-1f
STAIR SECTIONS	37											ET-2
KITCHEN	40											ET-3
KITCHEN - NET BAR / BOOKCASE	44											ET-3b
KITCHEN - LAUNDRY	45											F-1
BATHS	46											F-1b
BASEMENT ELECTRICAL	47											F-2
FIRST FLOOR ELECTRICAL	50											F-3
SECOND FLOOR ELECTRICAL	54											F-3b
FIRST FLOOR FRAMING	58											FA-1
SECOND FLOOR FRAMING	60											FG-1
ROOF FRAMING	61											FG-2
ROOF FRAMING - RIDER	65.2											FG-4
TRUSS BRACING	66											FD-1
WALL BRACING LAYOUT	68											FD-2
HVAC LAYOUT - BASEMENT	72											FD-3
HVAC LAYOUT - CRAWLSPACE	74											FP-1
HVAC LAYOUT - FIRST FLOOR	75											GB-1
HVAC LAYOUT - SECOND FLOOR	78											IT-1
												IT-1b
												IT-1c
												IT-2
												JT-1
												JT-3
												JT-3b
												KT-1
												RF-1
												RF-1b
												RF-1c
												SEP-1
												SEP-2
												SEP-3
												SEP-4
												SP-1
												SP-2
												SP-3
												ST-1
												ST-3b
												WB-1
												WB-2
												WB-3
												WB-3b
												WD-1
												WD-2
												WD-3
												WS-1

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1748 SF
1ST FLOOR W/ SUITE FIRST FLOOR	352 SF
1ST FLOOR W/ TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY	107 SF
1ST FLOOR ELEVATION "B" OR "R" (ADD SF)	51 SF
	2258 SF

SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2072 SF
2ND FLOOR ELEVATION "B" OR "R" (ADD SF)	51 SF
	2123 SF

GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR FRONT OR SIDE ENTRY GARAGE	524 SF
1ST FLOOR W/ TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY	501 SF
	1025 SF

BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	883 SF
FINISHED BASEMENT AREA #2 W/ ELEV "B" OR "R" (ADD SF)	487 SF
FINISHED BENT. W/ TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY	114 SF
	1483 SF

TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1748 SF
1ST FLOOR ELEVATION "B" OR "R" (ADD SF)	51 SF
1ST FLOOR W/ TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY	107 SF
2ND FLOOR (BASE SF)	2072 SF
2ND FLOOR ELEVATION "B" OR "R" (ADD SF)	51 SF
FINISHED BASEMENT	883 SF
FINISHED BASEMENT AREA #2 W/ ELEV "B" OR "R"	487 SF

SET - VERSION
2000 - 01

CS-1

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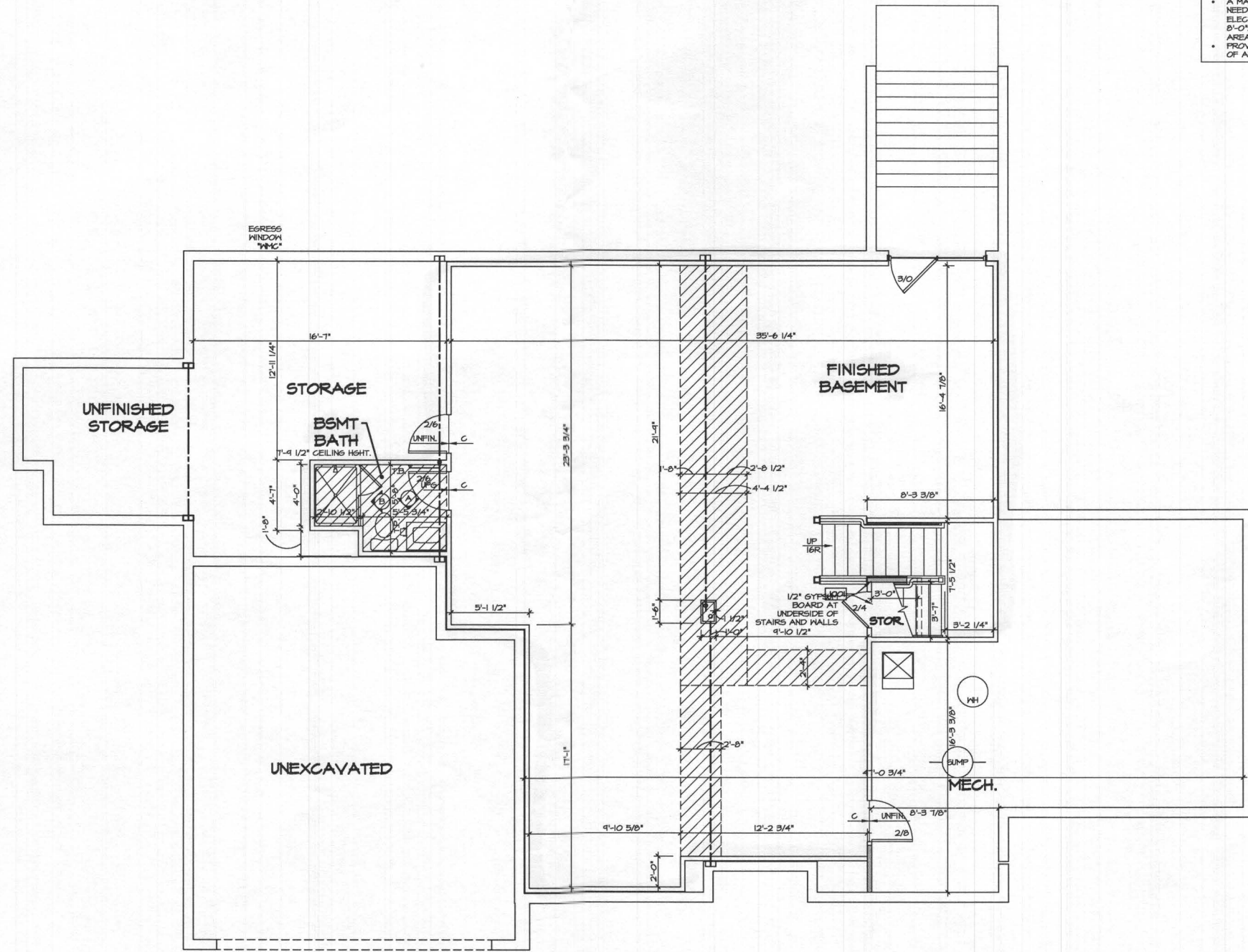
BASEMENT JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J001	JACK - (2) 2x4 SFF STUD GRADE		0001	

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FG DETAILS FOR FRAMING CONNECTORS

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
 - SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 - ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

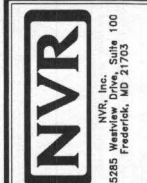
- GYPSUM NOTES**
- AT GARAGE:
5/8" DRYWALL ON COMMON WALLS, CEILINGS, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET.
- WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA
- NOTES:**
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
 - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

DIV-COMM-LOT-UNIT		MDE-BY-0005	
COMM-LOT		BELVEDERE ESTATES - 0005	
STREET ADDRESS		5651 PAUPERS FOLLY LANE	
CITY		WEST FRIENDSHIP	
STATE		MD	
ZIP		21114	

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SHEET NO.	MODEL	SET NO.	VERSION
A-6	MARYMOUNT	12000	01
OPTION DESCRIPTION	DRAWING TITLE	DRAWN BY	DATE
22	BASEMENT FLOOR PLAN		

FIRST FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J107	JACK - (3) 2x6 SFF STUD GRADE	GCC	1073/075	
J108	JACK - (3) 2x6 SFF STUD GRADE	GCC	1073/075	
J111	JACK - (3) 2x4 SFF STUD GRADE		1019	
J112	JACK - (2) 2x4 SFF STUD GRADE		1040	
J113	JACK - (2) 2x4 SFF STUD GRADE		1040	
J114	JACK - (6) 2x4 SFF		1023	
J115	JACK - (3) 2x4 SFF STUD GRADE		1019	
J116	JACK - (3) 2x4 SFF STUD GRADE		1011	
J117	JACK - (2) 2x4 SFF STUD GRADE		1009	FIELD INSTALLED
J118	JACK - (3) 2x4 SFF STUD GRADE		1011	
J119	JACK - (6) 2x4 SFF		1023	
J120	JACK - (3) 2x4 SFF STUD GRADE	ELR	1021	
J121	JACK - (3) 2x4 SFF STUD GRADE	ELR	1021	
J124	JACK - (3) 2x4 SFF STUD GRADE	ELAEVABR&GCC	1026	
J126	JACK - (3) 2x4 SFF STUD GRADE		1019	
J127	JACK - (3) 2x4 SFF STUD GRADE	EPE	1081	
J128	JACK - (3) 2x4 SFF STUD GRADE	EPE	1081	
J129	JACK - (2) 2x4 SFF		1053	
J130	JACK - (2) 2x4 SFF		1053	
J131	JACK - (3) 2x4 SFF	ELBELR	2000	
J133	JACK - (3) 2x4 SFF	ELBELR	2000	
J134	JACK - (3) 2x4 SFF	ELBELR	2000	
J136	JACK - (3) 2x4 SFF	ELBELR	2000	
J137	JACK - 2x4 SFF STUD GRADE	6AB	1040	
J138	JACK - 2x4 SFF STUD GRADE	6AB	1040	
J139	JACK - 2x4 SFF STUD GRADE	6AB	1040	
J140	JACK - 2x4 SFF STUD GRADE	6AB	1040	

FIRST FLOOR BEAM/HEADER SCHEDULE					
IDENTIFIER	DESCRIPTION	LENGTH	OPTIONS	ENG. NUM.	REMARKS
B102	BEAM STEEL - #12X30	22'-3"	6CC,ELABKR	1057	
B106	BEAM STEEL - #14X22	22'-3"	6CC,ELAEVABR	1056	
B110	INT HEADER - 2x6 - 2 PLY	3'-4 1/2"	6AB	1048	
PF102-3	LVL - 20	20'-2 1/2"	6CC,ELABKR	1075	PORTAL FRAME
PF104-2	EXT HEADER - 2x12 - 2 PLY	22'-0"	6AB	1040	PORTAL FRAME

STEEL COLUMN SCHEDULE					
IDENTIFIER	STYLE	HEIGHT	OPTIONS	ENG. NUM.	REMARKS
C101	STANCHION - 5 IN SCHED 40	8'-0 3/4"		1057	

LEGEND

- BEARING WALL
- NON BEARING WALL
- ⊙ INDICATES BEARING FROM POINT-LOAD ABOVE
- ⊥ JACKS
- ⊕ BEAM/HEADER
- ⊞ PAD FOOTING
- ⊞ STEEL COLUMN
- ⊞ PORTAL FRAME
- ⊞ JOIST/TRUSS
- LVL
- ⊞ ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
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- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
- SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- ALL WINDOWS HAVE 8'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

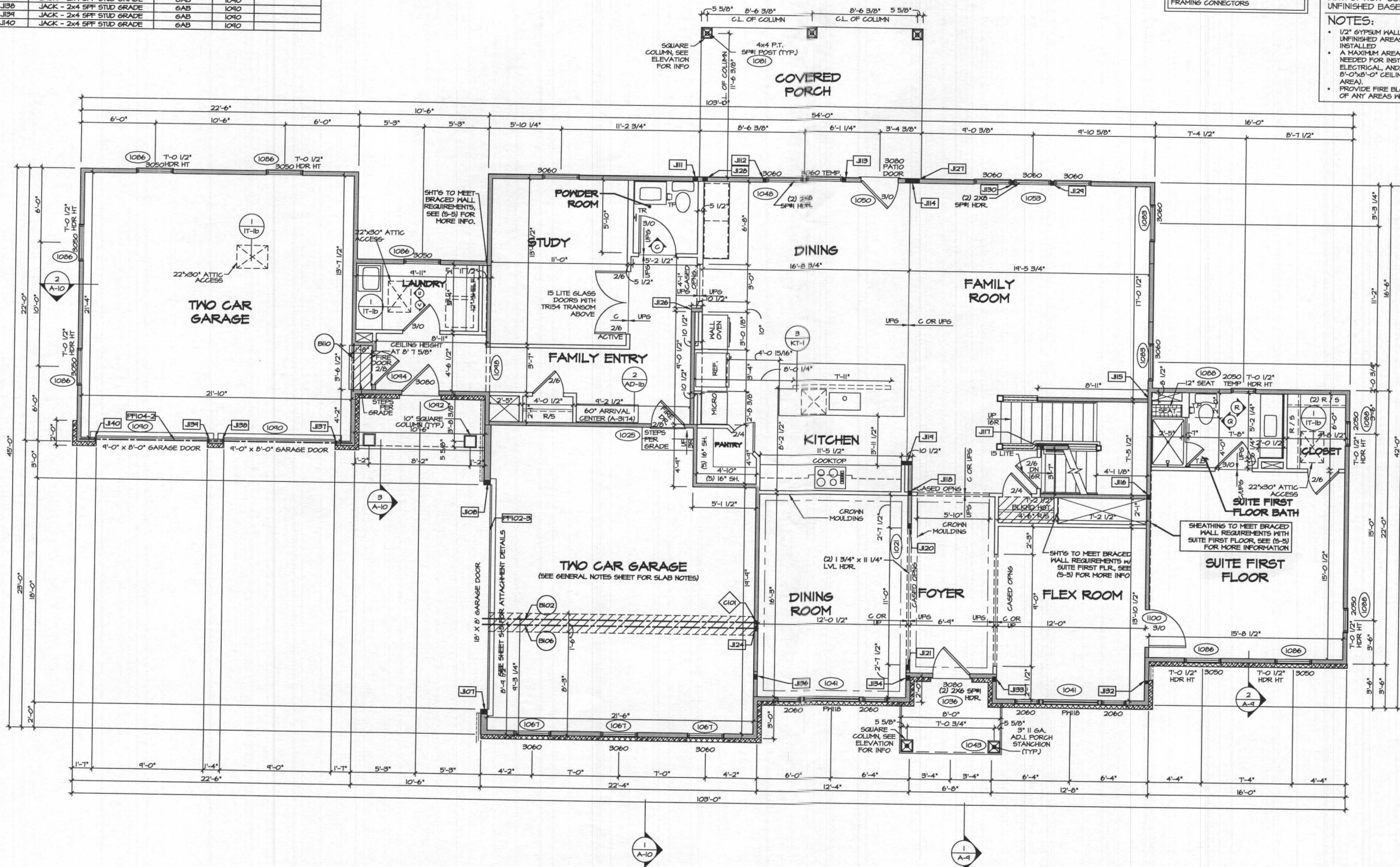
AT GARAGE:
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

WITH OPTION "SG1" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

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FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DIY-SOON-LOT-UNIT
MDE-BV-005

COMM-LOT
BELVEDERE ESTATES - 0005
STREET ADDRESS
5491 PAUPERS FOLLY LANE
CITY
WEST FRIENDSHIP
STATE
MD
ZIP
21744

APR. NO. ---
AFT. NO. ---

NVR
NVR, Inc.
528 Westview Drive, Suite 100
Frederick, MD 21750

SET NO. 12000
VERSION 01
DRAWN BY
DATE:
OPTION

MODEL
MARYMOUNT
DRAWING TITLE
FIRST FLOOR PLAN
OPTION DESCRIPTION

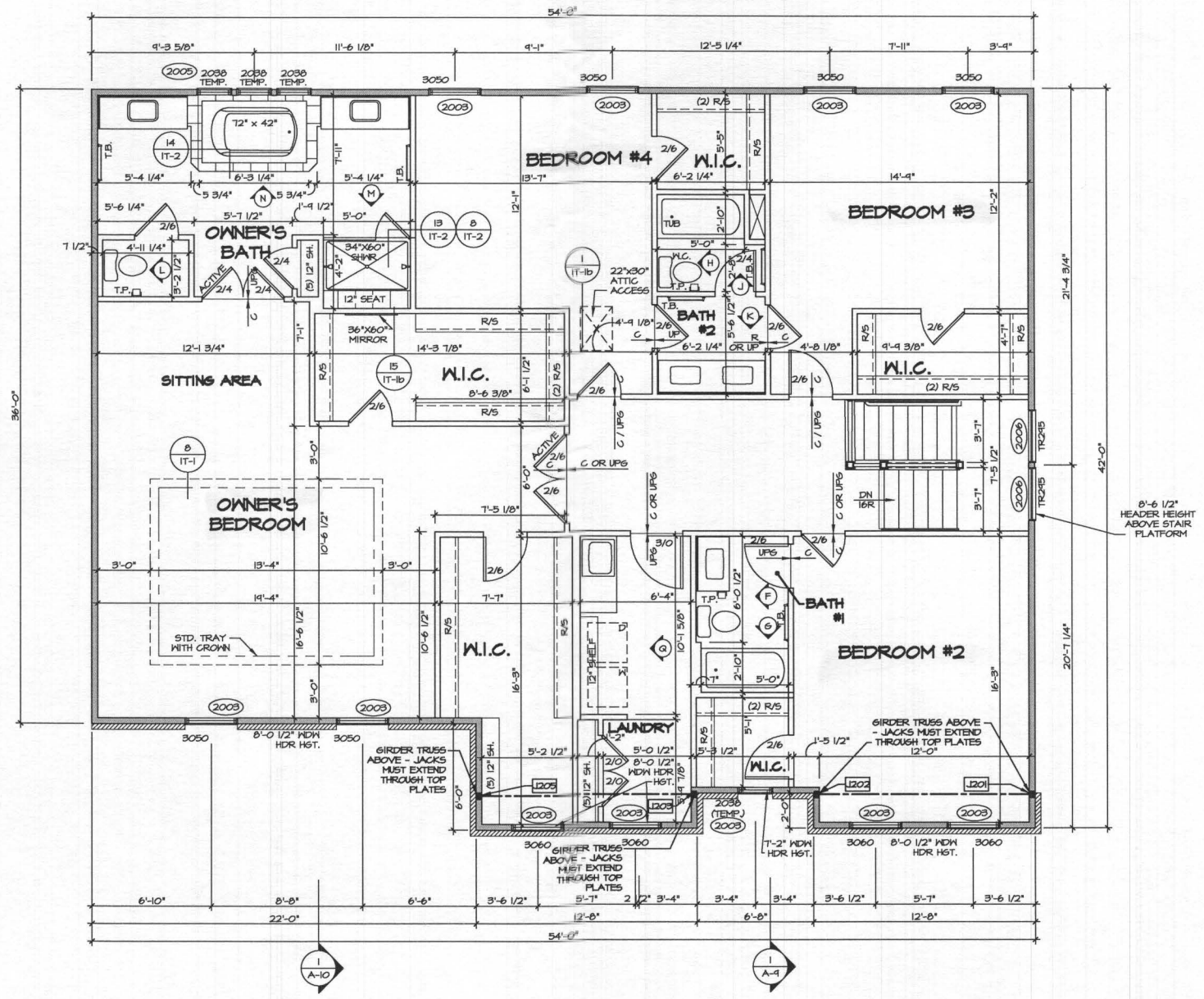
SHEET NO.
A-7
25

CA:\NVA\Solves\MARYMOUNT_12000_01\MDE-BV-005\10247A1\Sheet\A-7_Plan_1.dwg 01/25/20 11:22:27 AM

SECOND FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J202	JACK - (3) 2X4 SPM	EL,BELR	2000	MUST EXTEND THROUGH TOP PLATE
J203	JACK - (3) 2X4 SPM	EL,BELR	2000	MUST EXTEND THROUGH TOP PLATE
J205	JACK - (3) 2X4 SPM	EL,BELR	2000	MUST EXTEND THROUGH TOP PLATE

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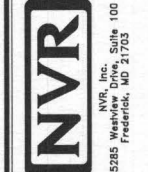
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 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
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DIV-COMM-LOT-UNIT
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COMM-LOT
BELVEDERE ESTATES - 0005
STREET ADDRESS
5651 PAUPERS FOLLY LANE
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SET NO. 12000
VERSION 01
DRAWN BY
DATE:
OPTION

MODEL
MARYMOUNT
DRAWING TITLE
SECOND FLOOR PLAN
OPTION DESCRIPTION

SHEET NO.
A-8
21

Lot 5
3631 Paupers folly Lane

MARYMOUNT

Health Dept
B20000307

DIV-COMM-LOT-UNIT		
MDE-BV-0005		
COMM-LOT		
BELVEDERE ESTATES - 0005		
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												JT-3
												JT-3b
												KT-1
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												RF-1b
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												SP-2
												SP-3
												ST-1
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												WB-1
												WB-2
												WB-3
												WB-3b
												WD-1
												WD-2
												WD-3
												WS-1

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DESCRIPTION	TOTAL SQ. FT.
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1ST FLOOR W/ SUITE FIRST FLOOR	352 SF
1ST FLOOR W/ TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY	107 SF
1ST FLOOR ELEVATION "B" OR "R" (ADD SF)	51 SF
TOTAL	2256 SF

SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2072 SF
2ND FLOOR ELEVATION "B" OR "R" (ADD SF)	51 SF
TOTAL	2123 SF

GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR FRONT OR SIDE ENTRY GARAGE	524 SF
1ST FLOOR W/ TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY	501 SF
TOTAL	1025 SF

BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	863 SF
FINISHED BASEMENT AREA #2 W/ ELEV "B" OR "R" (ADD SF)	481 SF
FINISHED BSMT. W/ TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY	114 SF
TOTAL	1458 SF

TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1746 SF
1ST FLOOR ELEVATION "B" OR "R" (ADD SF)	51 SF
1ST FLOOR W/ TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY	107 SF
2ND FLOOR (BASE SF)	2072 SF
2ND FLOOR ELEVATION "B" OR "R" (ADD SF)	51 SF
FINISHED BASEMENT	863 SF
FINISHED BASEMENT AREA #2 W/ ELEV "B" OR "R"	481 SF
TOTAL	6671 SF

SET - VERSION
2000 - 01

CS-1

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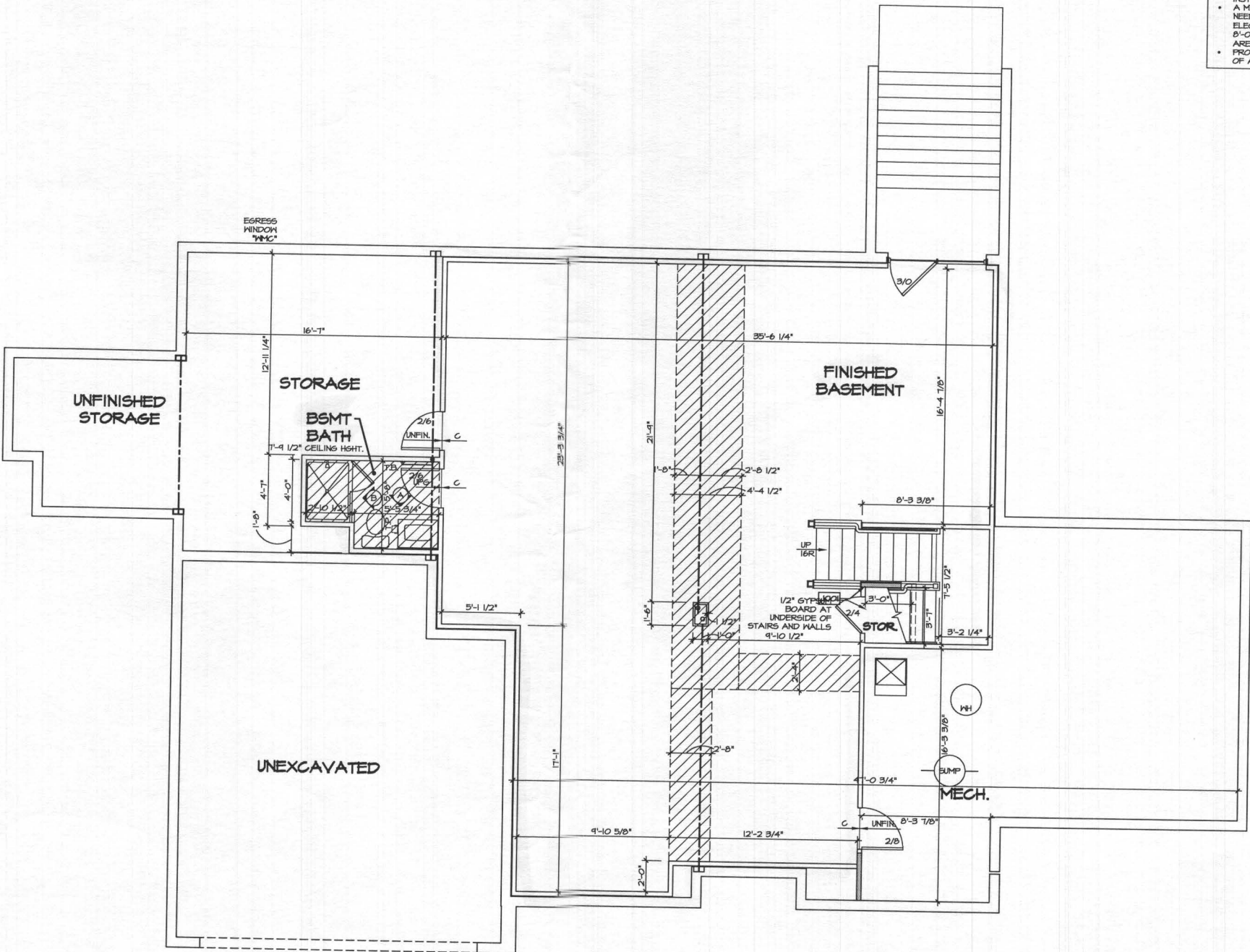
BASEMENT JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J001	JACK - (2) 2X4 SPF STUD GRADE		BO011	

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - ALL WINDOWS HAVE 1"-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 - ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

- GYPSUM NOTES**
- AT GARAGE:
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET.
- WITH OPTION "SG1" - DRYWALL UNFINISHED BASEMENT CEILING AREA.
- NOTES:**
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
 - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

SHEET NO. A-6	NOBEL MARYMOUNT	SET NO. 12000 VERSION 01	DRAWN BY	DATE	OPTION
	DRAWING TITLE BASEMENT FLOOR PLAN				
	OPTION DESCRIPTION 22				

DIV-COMM-LOT-UNIT MDE-BV-0005	
COMM-LOT	BELVEDERE ESTATES - 0005
STREET ADDRESS	8481 FAJERS FOLLY LANE
CITY	WEST FRIENDSHIP
STATE	MD
ZIP	21144

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FIRST FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENS. NUM.	REMARKS
J107	JACK - (3) 2X4 SFF STUD GRADE	6CC	1073/1075	
J108	JACK - (3) 2X4 SFF STUD GRADE	6CC	1073/1075	
J111	JACK - (3) 2X4 SFF STUD GRADE		1041	
J112	JACK - (2) 2X4 SFF STUD GRADE		1046	
J113	JACK - (2) 2X4 SFF STUD GRADE		1046	
J114	JACK - (6) 2X4 SFF		1023	
J115	JACK - (3) 2X4 SFF STUD GRADE		1013	
J116	JACK - (3) 2X4 SFF STUD GRADE		1011	
J117	JACK - (2) 2X4 SFF STUD GRADE		1004	FIELD INSTALLED
J118	JACK - (3) 2X4 SFF STUD GRADE		1011	
J119	JACK - (6) 2X4 SFF		1023	
J120	JACK - (3) 2X4 SFF STUD GRADE	ELR	1021	
J121	JACK - (3) 2X4 SFF STUD GRADE	ELR	1021	
J124	JACK - (3) 2X4 SFF STUD GRADE	ELAEVABR,6CC	1058	
J126	JACK - (3) 2X4 SFF STUD GRADE		1014	
J127	JACK - (3) 2X4 SFF STUD GRADE	EPE	1081	
J128	JACK - (3) 2X4 SFF STUD GRADE	EPE	1081	
J129	JACK - (2) 2X4 SFF		1058	
J130	JACK - (2) 2X4 SFF		1058	
J132	JACK - (3) 2X4 SFF	ELBELR	2000	
J133	JACK - (3) 2X4 SFF	ELBELR	2000	
J134	JACK - (3) 2X4 SFF	ELBELR	2000	
J136	JACK - (3) 2X4 SFF	ELBELR	2000	
J137	JACK - 2X4 SFF STUD GRADE	6AB	1040	
J138	JACK - 2X4 SFF STUD GRADE	6AB	1040	
J139	JACK - 2X4 SFF STUD GRADE	6AB	1040	
J140	JACK - 2X4 SFF STUD GRADE	6AB	1040	

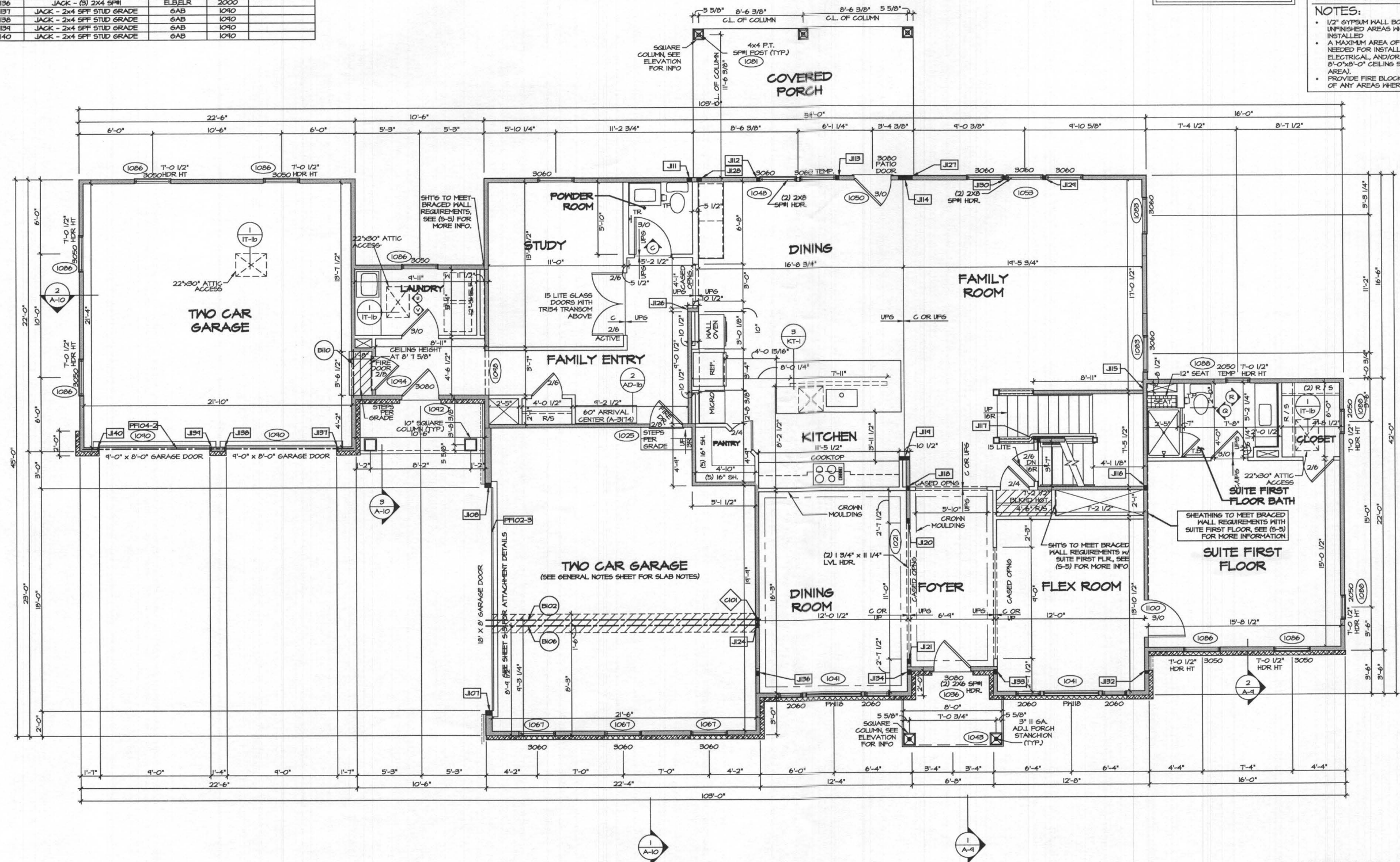
FIRST FLOOR BEAM/HEADER SCHEDULE					
IDENTIFIER	DESCRIPTION	LENGTH	OPTIONS	ENS. NUM.	REMARKS
B102	BEAM STEEL - W12X30	22'-3"	6CC,ELABKR	1057	
B106	BEAM STEEL - W14X22	22'-3"	6CC,ELAEVABR	1058	
B110	INT HEADER - 2X6 - 2 PLY	3'-4 1/2"	6AB	1046	
PF102-3	LVL - 20	20'-2 1/2"	6CC,ELABKR	1073	PORTAL FRAME
PF104-2	EXT HEADER - 2X12 - 2 PLY	22'-0"	6AB	1040	PORTAL FRAME

STEEL COLUMN SCHEDULE					
IDENTIFIER	STYLE	HEIGHT	OPTIONS	ENS. NUM.	REMARKS
C101	STANCHION - 3 IN SCHED 40	8'-0 3/4"		1051	

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

- ### FLOOR PLAN NOTES
- ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12' UNLESS OTHERWISE NOTED.
 - SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - ALL WINDOWS HAVE 8'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 - ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
- ### GYPSUM NOTES
- AT GARAGE:
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET
- WITH OPTION "SG1" - DRYWALL UNFINISHED BASEMENT CEILING AREA
- ### NOTES:
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
 - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DRY-COMM-LOT-UNIT
MDE-BV-0005
COM-LOT
BELVEDERE ESTATES - 0005
STREET ADDRESS
5681 FAUPERS FOLLY LANE
CITY WEST FRIENDSHIP
STATE MD
ZIP 21194

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Frederick, MD 21703

SHEET NO. 12000
VERSION 01
DRAWN BY
DATE:
OPTION

MODEL
MARYMOUNT
DRAWING TITLE
FIRST FLOOR PLAN
OPTION DESCRIPTION
A-7
25

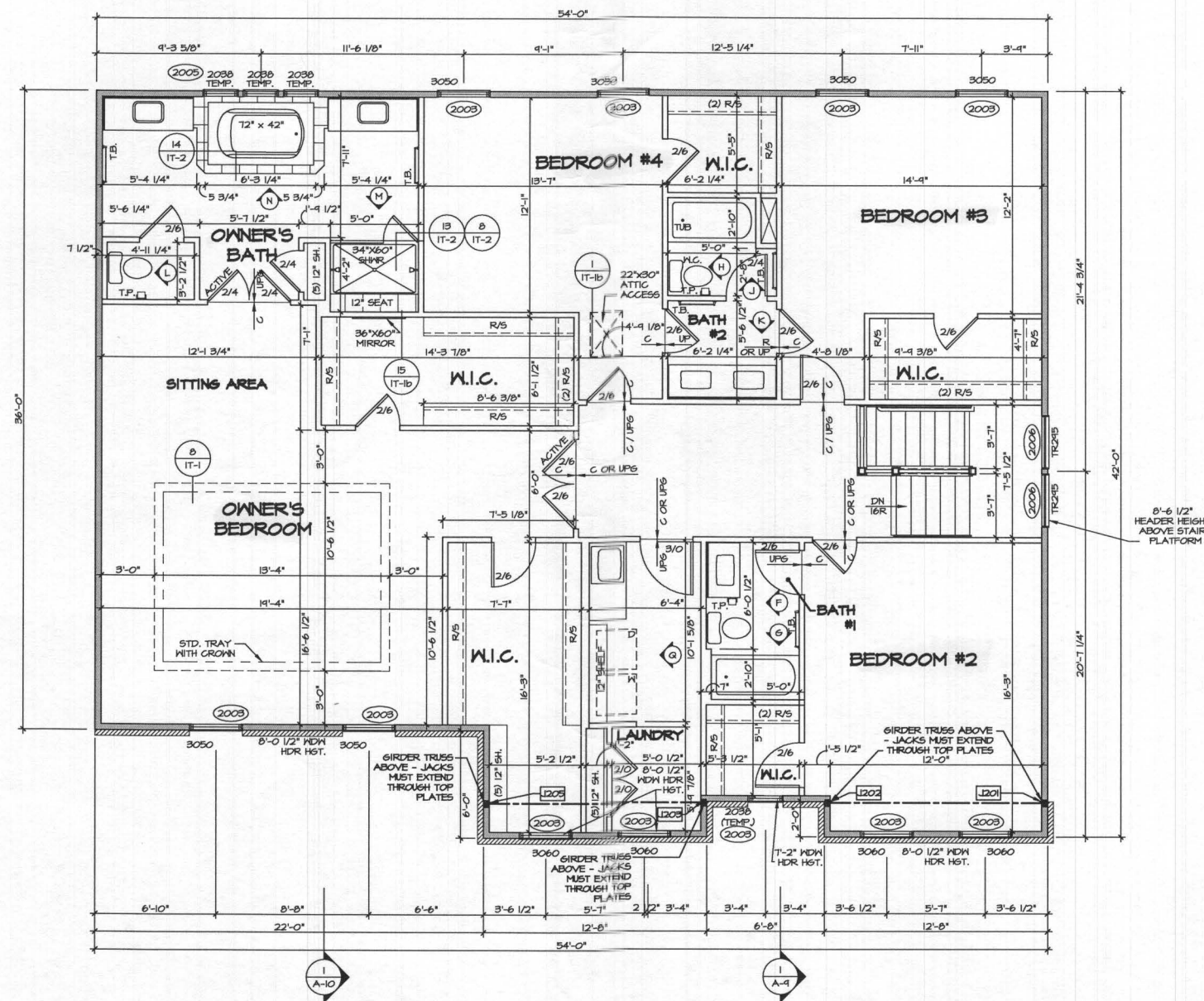
SECOND FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENS. NUM.	REMARKS
J202	JACK - (3) 2x4 SP#	ELBELR	2000	MUST EXTEND THROUGH TOP PLATE
J203	JACK - (3) 2x4 SP#	ELBELR	2000	MUST EXTEND THROUGH TOP PLATE
J205	JACK - (3) 2x4 SP#	ELBELR	2000	MUST EXTEND THROUGH TOP PLATE

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FG DETAILS FOR FRAMING CONNECTORS



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DIY-COMM-LOT-UNIT
MDE-BY-0005
COMM-LOT
BELVEDERE ESTATES - 0005
STREET ADDRESS
9650 PAUPERS FOLLY LANE
CITY WEST FRIENDSHIP MD 21794

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MODEL MARYMOUNT	SET NO: 12000
DRAWING TITLE SECOND FLOOR PLAN	VERSION 01
DRAWN BY	DATE:
OPTION DESCRIPTION	OPTION
A-8	29