

Menu Save Reset Cancel Help

Record Detail \* (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B21001347	04/23/2021
Description of Work		
SFD/INSTALL 1000GAL UNDERGROUND TANK		

check spelling

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
1409	HERITAGE RIDGE	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-77.08535	39.32899
City	State	Zip Code	Primary
WOODBINE	MD	21797	Yes

Approved 5/11/21  
KIA

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11059858	0005	0	0	0	0	RURAL
Legal Description						

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
18	14	004001	5				
Plan Area	State Tax Id	Subdivision Name					
		Linden Grove					
Section	Area	Tax Map					
		7					
Grid	Zoning District	ADC Map					
7-18	RC-DEO	4691-K8					
SDP No.	Final Plan No.	WP File No.					
	ECP-17-019			Primary			
Record Plat No.	WS Contract No.	FDP No.		Yes			
25064-2507							
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-05	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

please add to  
Accela

thx

Owner \* (This section is required.)

Search Reset Clear

Name *	TOLL MID ATLANTIC LP COMPANY INC	
Address Line 1	250 GIBALTAR RD	
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code
HORSHAM	PA	19044
Phone	Primary	
301-725-3232	Yes	
E-mail		
Cell Number	Fax Number	

Professionals (This section is not required)

Search Reset Clear

License # *	Business Name		
20100103851	THE H.J. POIST GAS COMPANY, INC		
License Type *	First Name	Middle Name	Last Name
Propane Gs <input checked="" type="checkbox"/>	SEAN	MICHAEL	UNDERWOOD
Primary	Address Line 1		
Yes <input checked="" type="checkbox"/>	360 MAIN STREET		
	Address Line 2		
	City	State	ZIP Code
	LAUREL	MD	20707-0000
	Phone 1	Phone 2	Fax
	4434149582		
	E-mail		

Applicant (This section is not required)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant <input checked="" type="checkbox"/>	MICHELLE		CLANCY
Relationship	Full Name		
Applicant <input checked="" type="checkbox"/>	MICHELLE CLANCY		
Primary	Organization Name		
Yes <input checked="" type="checkbox"/>	APPLIED & APPROVED PERMITS LLC		
	Street Address		
	P.O. BOX 310		
	Address Line 2		
	City	State	Zip Code
	PERRY HALL	MD	21128
	Phone	Cell	Fax
	443-340-1229		
	E-mail *		
	MICHELLE@APPLIEDANDAPPROVED.COM		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
3000	0	0	No <input checked="" type="checkbox"/>
Construction Type	--Select-- <input checked="" type="checkbox"/>		

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use	Number of Tanks Installed *	Number of Tanks Removed *		
SFD <input checked="" type="checkbox"/>	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	
Public <input checked="" type="checkbox"/>	Public <input checked="" type="checkbox"/>	10/24/2021	0	

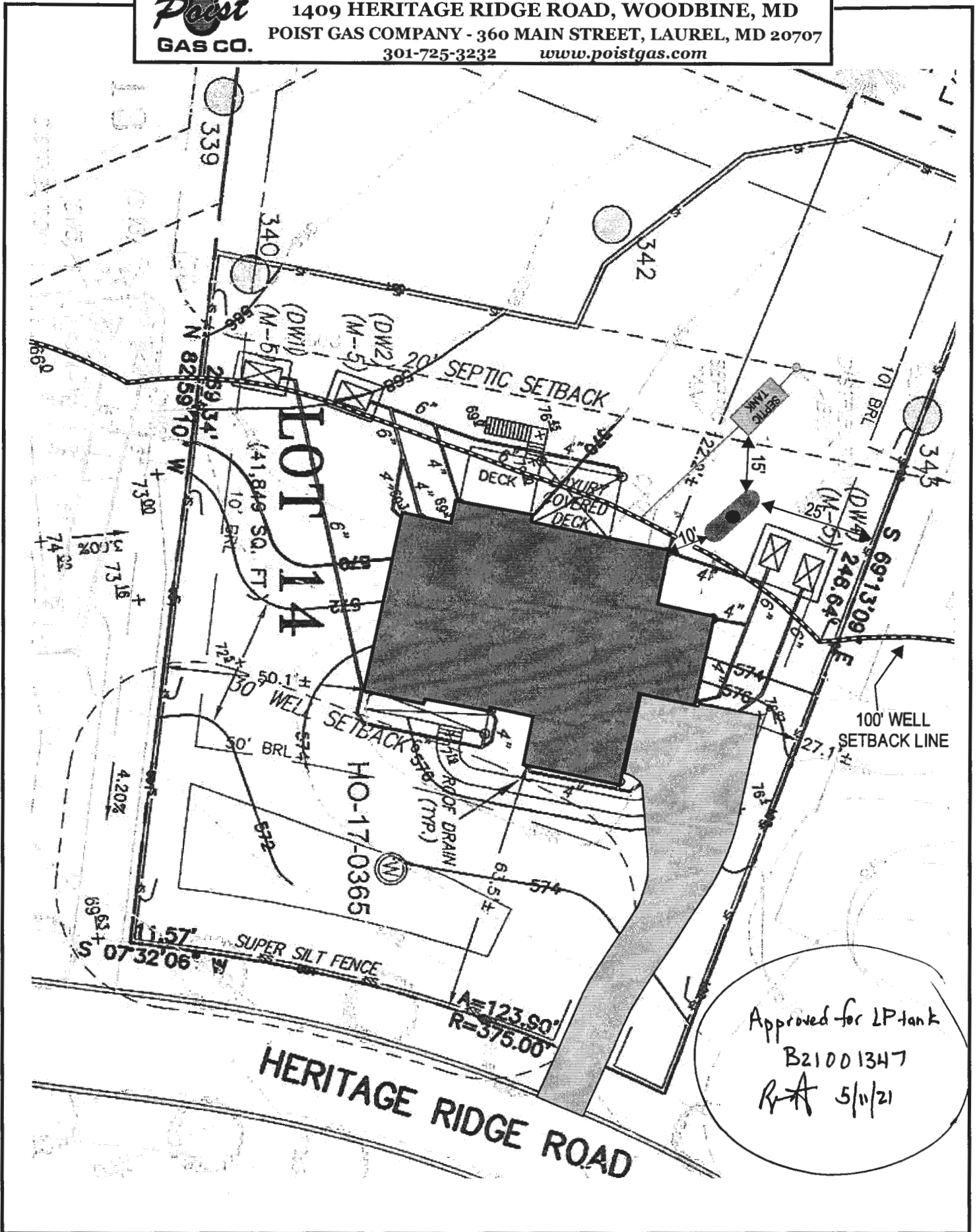
PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Submit Cancel



1,000-GALLON (wc) PROPANE STORAGE TANK LOCATION  
 1409 HERITAGE RIDGE ROAD, WOODBINE, MD  
 POIST GAS COMPANY - 360 MAIN STREET, LAUREL, MD 20707  
 301-725-3232 www.poistgas.com



Approved for LP-tank  
 B21001347  
 R-A 5/11/21

**HOWARD COUNTY**  
**DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS**  
**3430 COURT HOUSE DRIVE - ELLICOTT CITY, MD 21043**  
**\* THIS PERMIT MUST BE CONSPICUOUSLY POSTED ON SITE \***

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**Residential New Single Family Dwelling Permit**

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**PERMIT NUMBER:** B20003297

**APPLICATION DATE:** 9/21/2020

**ISSUE DATE:** 1/26/2021

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**SITE ADDRESS:**

1409 HERITAGE RIDGE RD  
WOODBINE, MD 21797

**PROPERTY OWNER INFO:**

TOLL BROTHERS INC  
7164 COLUMBIA GATEWAY DIRVE SUITE 230  
COLUMBIA, MD 21046  
Phone #: 240-418-3846

**Subdivision:** Linden Grove

**Lot No.:** 14

**Tax Map:** 7

**Grid:** 7-18

**ADC Map:** 4691-K8

**SDP No.:**

**Zoning:** RC-DEO

**Census Tract:** 604001

**DESCRIPTION OF WORK:**

SFD/ CUSTOM 'RIDGEVIEW', 2 STORY, FULL BASEMENT, BASEMENT = PARTIALLY FINISHED, 12R, 6FB, 0HB, 1FP, ATTACHED GARAGE, 5BR, OPEN PORCH AND DECK, ENERGY METHOD = PERFORMANCE METHOD, SUBJECT TO CB-76-2018.

**PRIMARY CONTRACTOR INFO:**

**Contractor License No.:** 8220

**License Address:** TOLL MID-ATLANTIC LP COMPANY INC  
NATHAN BRANDENBURG

**Phone #:** 7164 COLUMBIA GATEWAY DRIVE SUITE  
230  
COLUMBIA, MD 21046  
410-872-9105

**PRIMARY CONTACT INFO:**

**Contact Type:** CONTACT

PERMITS PLUS INC

487 KENORA DRIVE  
MILLERSVILLE, MD 21108

**Phone #:** 443-271-1528

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**Building/Lot Characteristics**

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**Legal Description:**

**Existing Use:** Vacant Lot

**Water Supply:** Private

**Height:**

**Sewage Disposal:** Private

**Basement:** Partially Finished

**SF # of Bedrooms:** 5

**SF # of Full Baths:** 6

**SF # of Half Baths:** 0

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**Zoning Setback Requirements:**

**Front - Proposed:** 63      **Required:** 50

**Rear - Proposed:** 122      **Required:** 30

**Side - Proposed:** n/a      **Required:** 10

**Side Street - Proposed:** n/a      **Required:** n/a

**Meets Minimum Required Setbacks?:** Yes

**Lot Coverage for NT Zoning:**

**Permit Fees:**

**Total Fees Invoiced:** \$47,469.67

**Total Fees Paid:** \$47,469.67

**Balance Due:** \$0.00

To schedule an inspection or check the results of an inspection please call (410) 313-3800

**APPROVED BY THE DIRECTOR OF INSPECTIONS, LICENSES AND PERMITS - BUILDING OFFICIAL**

**HOUSE OPTIONS:**

HOUSE TYPE: RIDGEVIEW (TRADITIONAL)

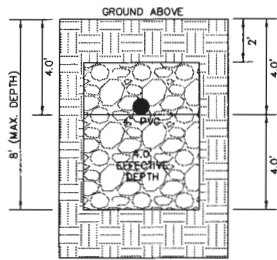
- FINISHED LOWER LEVEL
- WALK-OUT BASEMENT
- ADD 1" TO EXIST FOUNDATION WALLS
- ADDITIONAL BATH
- OPTIONAL BATH FOR FINISHED LOWER LEVEL
- NET BAR FOR FINISHED LOWER LEVEL
- MEDIA ROOM FOR FINISHED LOWER LEVEL
- ADD 1 ONE CAR FRONT ENTRY GARAGE - 14'
- WALK-OUT LUXURY COVERED DECK
- EXTRA DECKING

- OPTION NO. 013
- OPTION NO. 017
- OPTION NO. 070
- OPTION NO. 367
- OPTION NO. 383
- OPTION NO. 561
- OPTION NO. 562
- OPTION NO. 263102
- OPTION NO. 263169
- OPTION NO. 90014004

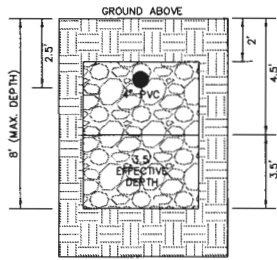
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/21.

**INITIAL TRENCH DATA**

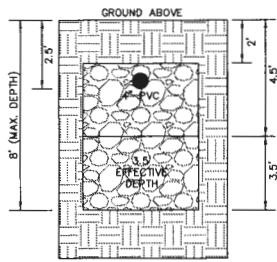
- BOTTOM MAX. DEPTH (8')
- TRENCH 1 (T1): 47.50 LF.  
GROUND ABOVE = 570.40'  
INV. IN = 566.40'  
BOTTOM TRENCH = 562.40'
- TRENCH 2 (T2): 47.50 LF.  
GROUND ABOVE = 569.80'  
INV. IN = 565.80'  
BOTTOM TRENCH = 561.80'
- TRENCH 3 (T3): 47.50 LF.  
GROUND ABOVE = 569.00'  
INV. IN = 565.00'  
BOTTOM TRENCH = 561.00'



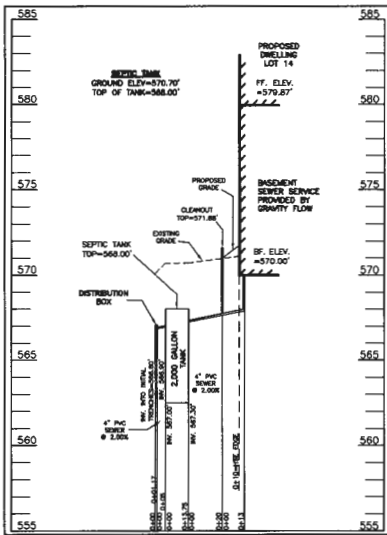
INITIAL SYSTEM TRENCH DETAIL (T1), (T2) & (T3) (NOT TO SCALE)



1ST REPLACEMENT SYSTEM TRENCH DETAIL (T1) AND (T3) (NOT TO SCALE)



2ND REPLACEMENT SYSTEM TRENCH DETAIL (T3) AND (T7) (NOT TO SCALE)



SEPTIC SYSTEM PROFILE  
SCALE = HORIZONTAL: 1"=50'  
VERTICAL: 1"=5'

**SEWAGE DISPOSAL SYSTEM DATA (6 BDRM)**

- PROPOSED INVERT AT FOUNDATION WALL: 567.96'
- 1. EX. GRADE OVER TANK: 570.70'  
PROPOSED GRADE OVER TANK: 570.70'  
INVERT IN: 567.30' INVERT OUT: 567.00'
- 2. DISTRIBUTION BOX  
EXISTING GRADE OVER TANK: 570.30'  
PROPOSED GRADE OVER TANK: 570.30'  
INVERT IN: 566.90' INVERT OUT: 566.60'
- 3. INITIAL TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
900 GPD + 0.8 APP. RATE = 1,125 SF  
USE 3' WIDE TRENCH WITH 48" GRAVEL BELOW PIPE  
12" MIN. SPACING BETWEEN TRENCH EDGES  
1,125 SF x 3' WIDTH = 375 LF x 0.38 (SIDEWALL REDUCTION) = 142.50 LF MIN.  
USE 3 47.50' LONG TRENCHES = 142.50 LF
- 4. 1ST REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
900 GPD + 1.2 APP. RATE = 750 SF  
USE 3' WIDE TRENCH WITH 60" GRAVEL BELOW PIPE  
12" MIN. SPACING BETWEEN TRENCH EDGES  
750 SF x 3' WIDTH = 250 LF x 0.38 (SIDEWALL REDUCTION) = 95 LF MIN.  
USE 2 47.50' LONG TRENCHES = 95 LF
- 5. 2ND REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
900 GPD + 0.8 APP. RATE = 1,125 SF  
USE 3' WIDE TRENCH WITH 60" GRAVEL BELOW PIPE  
12" MIN. SPACING BETWEEN TRENCH EDGES  
1,125 SF x 3' WIDTH = 375 LF x 0.42 (SIDEWALL REDUCTION) = 157.50 LF MIN.  
USE 2 78.75' LONG TRENCH = 157.50 LF



- LEGEND:**
- BRL BUILDING RESTRICTION LINE
  - WELL LOCATION
  - T.W. TOP OF WALL
  - G.F. GARAGE FLOOR
  - B.F. BASEMENT FLOOR
  - PASSED PERC LOCATION
  - FAILED PERC LOCATION
  - SEPTIC RESERVE AREA
  - WELL BOX AREA
  - PROPOSED TREE
  - PROPOSED TREE

**WELL LOCATION CERTIFICATION:**

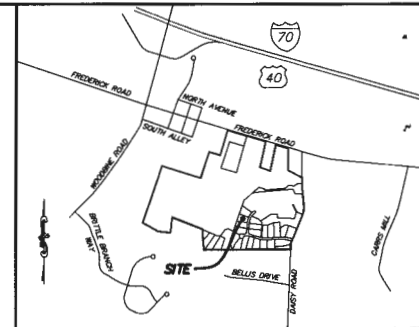
THE EXISTING WELL SHOWN FOR LOT 14 (TAG NO. HO-17-0365) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN HEREON.

ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN  
**LOT 14**  
**LINDEN GROVE**  
 LIBER 19209, FOLIO 403  
 PLAT NO. 25069  
 ELECTION DISTRICT No. 4  
 HOWARD COUNTY, MARYLAND  
 ADDRESS: 1409 HERITAGE RIDGE ROAD  
 WOODBINE, MARYLAND 21797

**ESE CONSULTANTS**  
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.  
 7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046  
 T: 410-872-9106

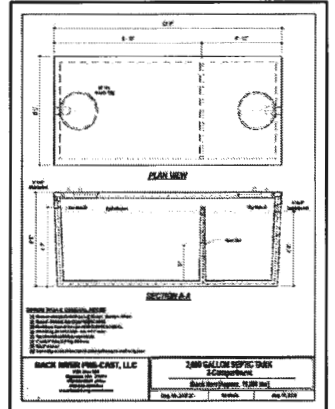
DATE: 08/14/2020 SCALE: 1"=30' FILE: OSDS LOT 14  
 CHK'D: M.J.B. JOB NO: 4683 DRAWN: R.C.K.



VICINITY MAP  
1" = 1000'

**GENERAL NOTES:**

1. THESE AREAS DESIGNATE A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
2. EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
3. ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
4. BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "x" HAVE AN ACCURACY OF ±0.1' FOOT.
5. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
6. THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
7. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
8. THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY GIS, 2' CONTOUR INTERVAL AND FIELD VERIFIED BY FISHER, COLLINS AND CARTER, INC.



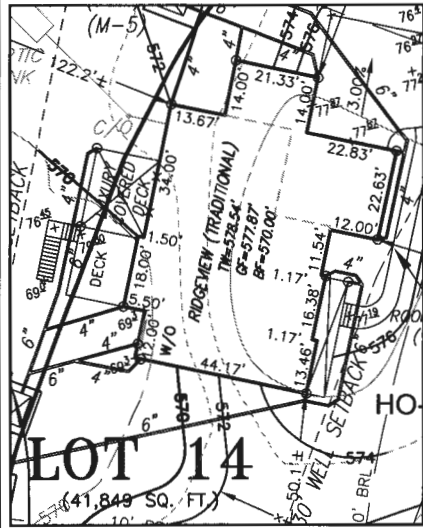
BACK BROW PUBL-CART, LLC  
 2000 GALLON SEPTIC TANK  
 Scale: 1"=30' Date: 08/14/2020

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.

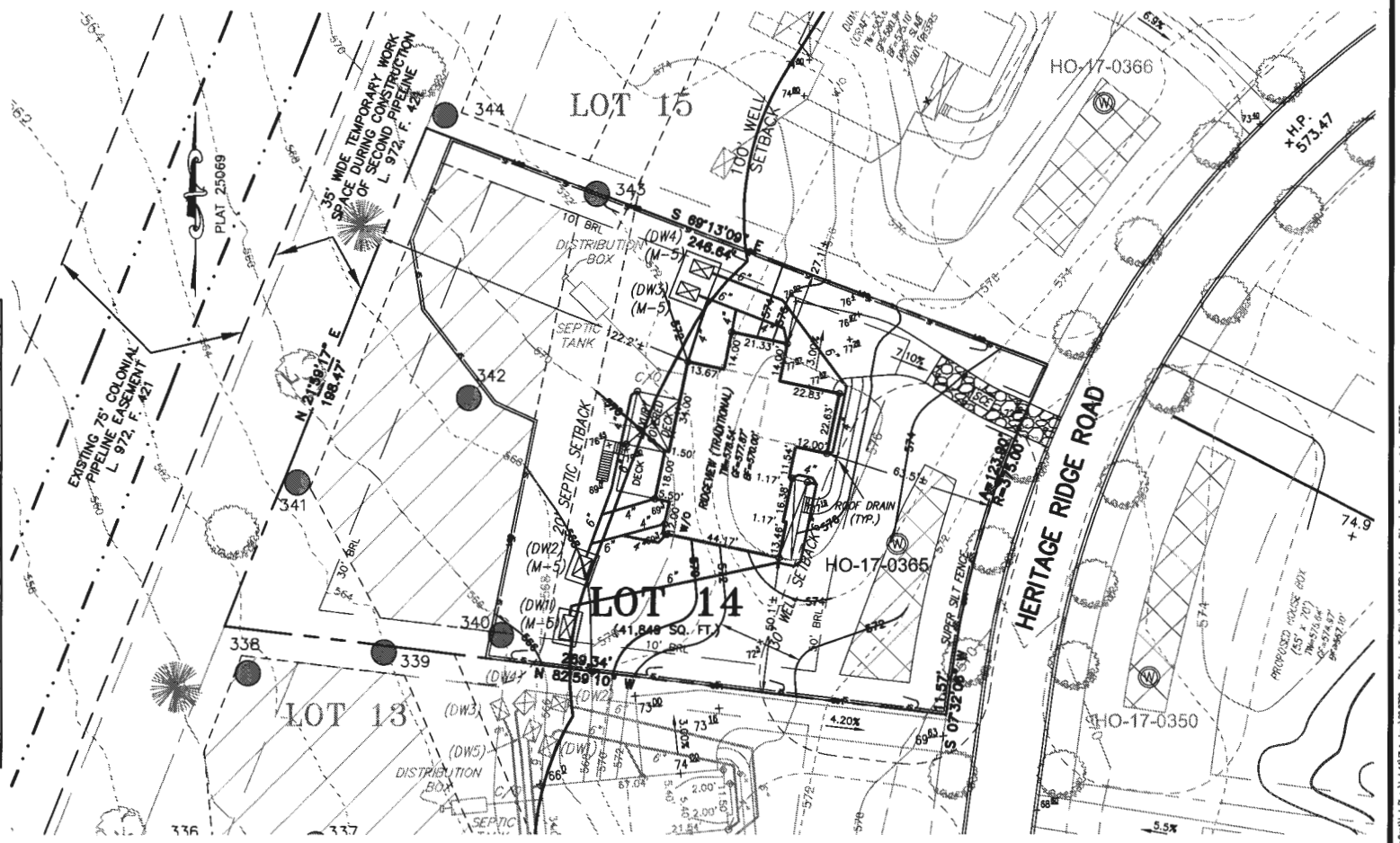
**LEGEND:**

- BRL BUILDING RESTRICTION LINE
- W WELL LOCATION
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PASSED PERC LOCATION
- FAILED PERC LOCATION
- SILT FENCE
- SCE STONE CONSTRUCTION ENTRANCE
- ▨ SEPTIC RESERVE AREA
- ▨ WELL BOX AREA
- PROPOSED TREE
- PROPOSED TREE
- PROPOSED TREE

NOTE:  
TOTAL LIMITS OF DISTURBANCE (LOD) = 31,332 SQ. FT.



HOUSE ENLARGEMENT  
NOT TO SCALE  
BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE  
DEVELOPMENT PLAN SETBACK DISTANCES SHOWN  
HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



HOUSE TYPE: RIDGEVIEW (TRADITIONAL)

FINISHED LOWER LEVEL	OPTION No. 013
WALK-OUT BASEMENT	OPTION No. 017
ADD'L 1" TO BSMT FOUNDATION WALLS	OPTION No. 070
ADDITIONAL BATH	OPTION No. 357
OPTIONAL BATH FOR FINISHED LOWER LEVEL	OPTION No. 383
WET BAR FOR FINISHED LOWER LEVEL	OPTION No. 561
MEDIA ROOM FOR FINISHED LOWER LEVEL	OPTION No. 562
ADD'L ONE CAR FRONT ENTRY GARAGE - 14'	OPTION No. 263102
WALK-OUT LUXURY COVERED DECK	OPTION No. 263169
EXTRA DECKING	OPTION No. 90014004

WELL NUMBER: HO-17-0365  
ADDRESS: 1409 HERITAGE RIDGE ROAD  
WOODBINE, MD 21797

PLOT PLAN  
LOT 14  
**LINDEN GROVE**  
LIBER 19209, FOLIO 403  
PLAT NO. 25069  
ELECTION DISTRICT No. 4  
HOWARD COUNTY, MARYLAND

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7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046  
T: 410-672-9105

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DATE: 11/19/2020 SCALE: 1" = 40' FILE: 4683 PP LOT 14 - RIDGE. TRAD...rev2  
CHK'D: M.J.B. JOB NO: 4683 DRAWN: G.V.S./R.C.K.