

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 3/18/21
 To: George Martin - Licenses + Permits
 (Person's Name and Division)
 From: Marina Morris/Williamsburg Homes (410) 997-8800
 (Your Name, Company Name and Telephone Number)
 Subject: Project name The Woodlands Lot 2
 Project site address 5624 Dosa Court, Clarksville, MD 21029
 Permit Number B20002503 SDP # _____
 Other information pertinent to this project _____

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to Howard County plan review code letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Structural steel certification *Revising permit, adding conservatory (1-story), finishing the rec. room & under the conservatory + basement Bathroom. + partial stone front.*
- Energy conservation calculations
- Certification for _____ (be specific). *conservatory - 340 SF finished bsmt areas - 1597*
- Copies of _____ (be specific). *additional 1937 SF.*
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- Other _____

Is there anyone else that should be contacted regarding this project if there are questions?

If so, please list that person's name and telephone number below:

Marina Morris (Person's name) (410) 997-8800 x18 (Telephone number)
3/23/2021

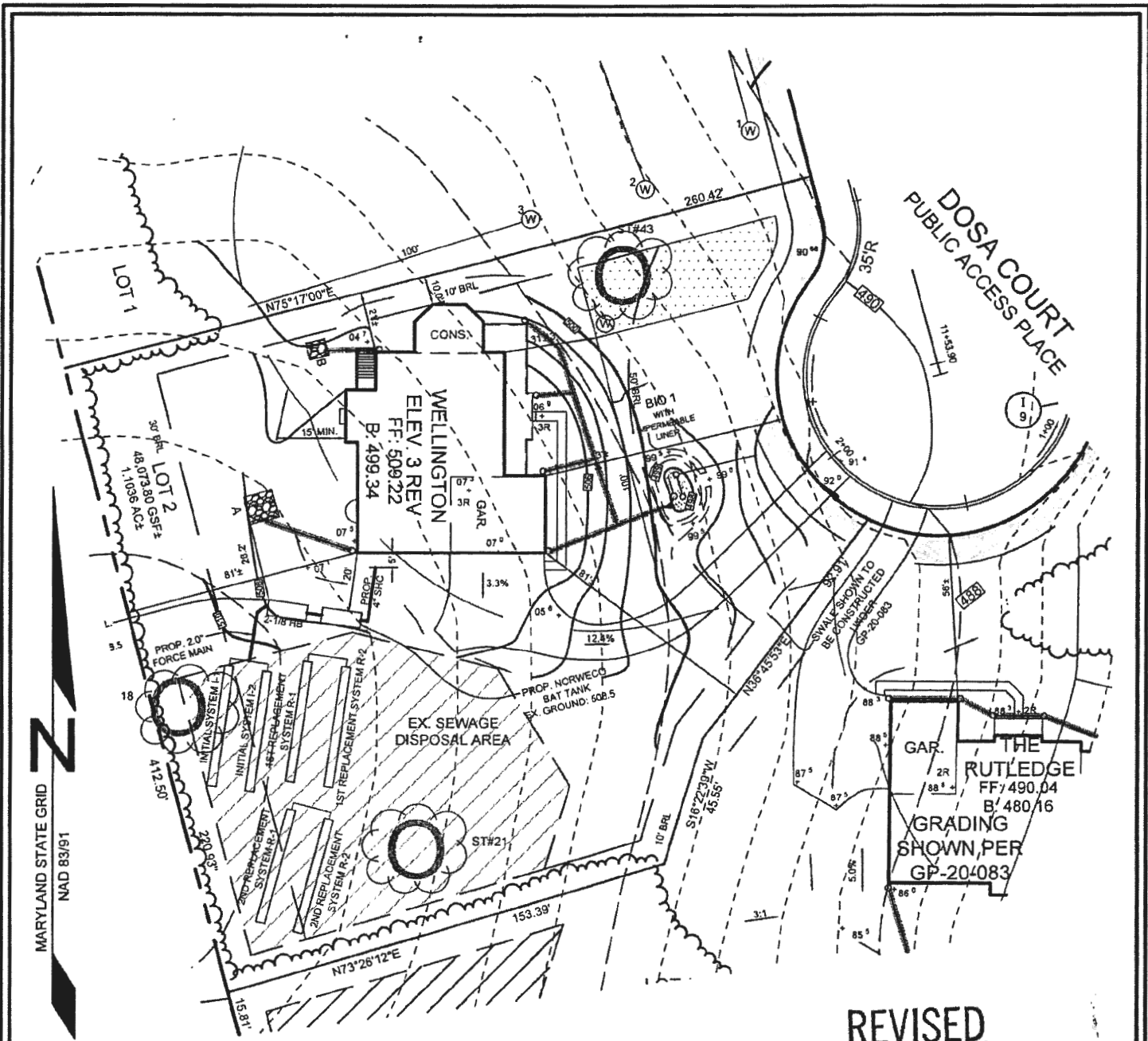
PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by DROBBY

RECEIVED

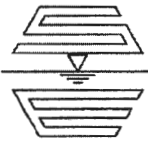
MAR 18 2021

white: Plan Review Division
 yellow: Applicant
 pink: Permit Division



MARYLAND STATE GRID
 NAD 83/91

16005 Frederick Rd, 2nd Floor
 Woodbine, Maryland 21797
 Phone: 443.325.5076
 Fax: 410.696.2022
 Email: info@sillengineering.com
 Civil Engineering for Land Development



**SILL
 ENGINEERING
 GROUP, LLC**

REVISED
 Date: 3/18/2021
 Comments: B20-2503

DESIGN BY: PS
 DRAWN BY: JC
 CHECKED BY: PS
 SCALE: 1"=50'
 DATE: DECEMBER 09, 2020
 PROJECT #: 20-003
 SHEET #: 1 OF 1

HOUSE RESITE
THE WOODLANDS
LOT 2
5624 DOSA COURT

TAX MAP 28 GRID 23
 5TH ELECTION DISTRICT

PARCEL 15
 HOWARD COUNTY, MARYLAND

The Wellington

Williamsburg Group, LLC
5485 Harpers Farm Rd. #200
Columbia, MD 21044
(410) 997-8800

REVISED
Date: 3/18/2021
Comments: 820-2503

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D2 AREA-WAY DETAILS	1B	PARTIAL PLANS ELEV. 2
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7B ELEV. 1 STANDARD-SIDING	7	SECTION B
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7E ELEV. 2-STONE	8B	MORNING RM.
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7H ELEV. 3-STONE AND SIDING	8E	OPT. ELEVATOR
7I ELEV. 3-BRICK	8F	OPT. WALL OF WINDOWS
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2A BASEMENT FOUNDATION PLAN		
2B FINISHED BASEMENT PLAN		TWO STORY REAR ADDITION
2A FIRST FLOOR PLAN		
2A SECOND FLOOR PLAN		

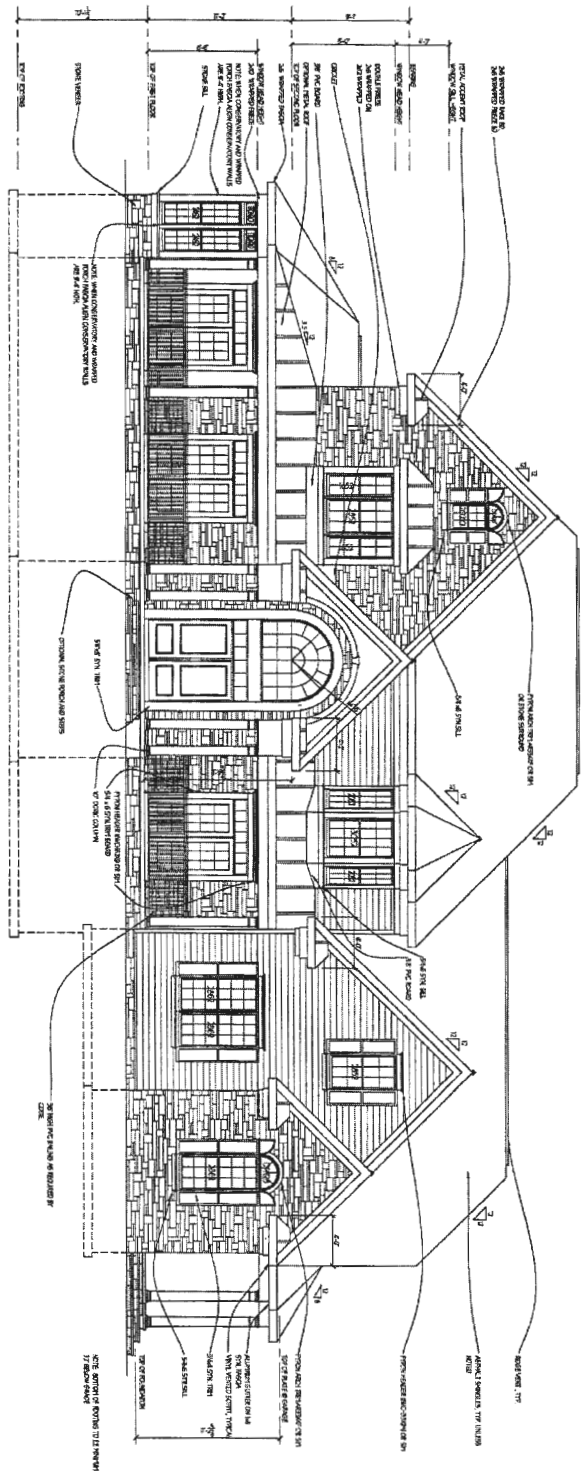
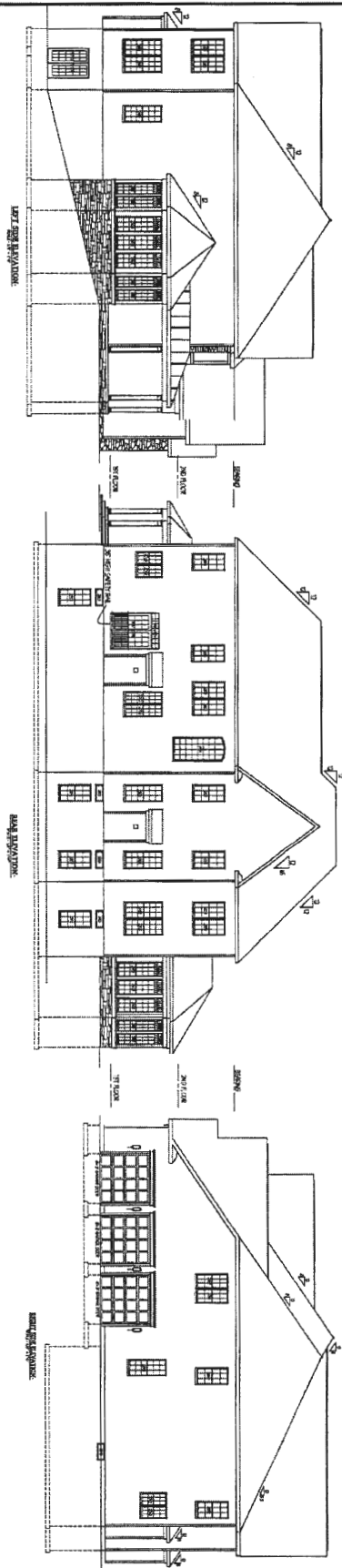
PROJECT DATA		
CONSTRUCTION		
GROUND FLOOR	CONCRETE	
FIRST FLOOR	WOOD	
SECOND FLOOR	WOOD	
ROOF	WOOD	
WALLS	WOOD	
WELLINGTON ELEVATION 1		
BUILDING AREA 50. FT.	INCLUDED:	
FIRST FLOOR CONDITIONED	2995	
SECOND FLOOR CONDITIONED	2795	
UNFINISHED BASEMENT	2945	
OPT. FIN. BASEMENT	1685	
OPT. FIN. BASEMENT W/ GAME RM	2115	
GARAGE	800	
PORCH	72	
WELLINGTON ELEVATION 2		
FIRST FLOOR CONDITIONED	2860	
SECOND FLOOR CONDITIONED	2810	
UNFINISHED BASEMENT	2880	
OPT. FIN. BASEMENT	1895	
OPT. FIN. BASEMENT W/ GAME RM	2085	
GARAGE	800	
PORCH	210	
WELLINGTON ELEVATION 3		
FIRST FLOOR CONDITIONED	2860	
SECOND FLOOR CONDITIONED	2845	
UNFINISHED BASEMENT	2880	
OPT. FIN. BASEMENT	1685	
OPT. FIN. BASEMENT W/ GAME RM	2085	
GARAGE	800	
PORCH	510	
OPTIONS		
SECOND FLOOR FAMILY RM.	410	
TWO STORY CONSERVATORY		
BASEMENT	525	
FIRST FL.	525	
SECOND FL.	525	
MORNING RM.:		
BASEMENT	288	
FIRST FL.	288	
CONSERVATORY:		
BASEMENT	540	
FIRST FL.	540	
DETACHED GARAGE	576	
BREEZEWAY	48	
SIDE PORCH	36	
TWO STORY REAR ADDITION		
BASEMENT	288	
FIRST FL.	288	
SECOND FLOOR	144	
BALCONY	144	
TOTAL CONDITIONED SPACE		
TOTAL GROSS SPACE		

PROJECT DESIGN CRITERIA		
THE FOLLOWING STANDARDS ARE BASED ON THE GENERAL REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK 2018 EDITION FOR ONE AND TWO FAMILY DWELLINGS ALL STATE AND LOCAL AMENDMENTS CONSTRUCTION CLASSIFICATION TYPE: 3B (STRUCTURED USE GROUP: B)		
2018 IECC CODE COMPLIANCE	BUILDING DATA	CLIMATE & GEOGRAPHIC DESIGN CRITERIA
2018 IECC CODE COMPLIANCE CODE SECTION STANDARD (MINIMUM)	BUILDING DATA CLIMATE & GEOGRAPHIC DESIGN CRITERIA	FLOOR LINE LOAD 40 PSF ROOF LINE LOAD 40 PSF WIND SPEED & EXPOSURE 100 MPH EXPOSURE C ATTIC R-10 STORAGE 10 PSF VARIABLE ATTIC 30 PSF STAIRS 40 PSF DECK & BALCONY 60 PSF SHOWN DIMENSIONS 2 (20') DESIGN CATEGORY 1 LIGHT FRAME STRUCTURAL 10 SHEAR WALLS CONCRETE WEA/HOORS 50 WAC TORSION 10 WAC DECAY PROBABILITY MODERATE ICE PRECIPITATION 75 ROOF DRAIN 32 NOTE: IF ROOF VALUES ARE NOT CONTAINED IN LOCAL CODE OFFICIAL FROM IN CONTROL.
8007.1 CLIMATE ZONE 4A 802.2 COMPLIANCE METHOD 1. UNIFORMITY AND PROTECTION OF THE WORKING WILL APPLY TO ALL TRADES AND SHALL BE ENFORCED 802.3.1 VAPOR RETARDER SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION 802.3.1 OF THE IECC 2018 802.3.2 ATTIC INSULATION R-10 OR R-19 AS CONTINGENT INSULATION 802.3.3 WOOD FRAME WALL R-13 OR R-15 AS CONTINGENT INSULATION 802.3.4 BASEMENT WALL INSULATION R-10 EX. FLOOR CONTROLS. UNBEMULCHERED BATS SHALL BE 4" MIN. IN CAVITY IF TYPED. 802.3.5 CRAWL SPACE WALL INSULATION R-10 EX. FLOOR CONTROLS. BATS SHALL NOT EXCEEDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND FROM EXTERIOR OR HORIZONTALLY AN ADDITIONAL 2' OF R-10 BATT INSULATION. 802.3.6 FLOOR INSULATION OVER UNCONDITIONED SPACE 2" (2) (MINIMUM) (R-10) (50%) 802.3.7 WINDOW (HORIZONTAL) SHGC 0.30 (MAXIMUM) (R-10) (50%) 802.3.8 SH-UP GRADE FLOORS LESS THAN 2' BELOW GRADE R-10 (PSF FROM BOARD UNDER SLAB EVIDENCE) EITHER 2' 0" HORIZONTALLY OR VERTICALLY. 802.3.9 ATTIC ACCESS ATTIC ACCESS DOOR SHALL BE WEATHERSTRIPPED AND INSULATED R-10. 802.4.1 BUILDING THERMAL ENVELOPE (AIR LEAKAGE) DETAIL IN WALLS AND CONNECTIONS WILL BE SEALS FOR 1 IN 5 SECTION OF THE 2018 IECC WITH CALK GASKETS WEATHERSTRIPPING OR AN AIR BARRIER OR DURABLE MATERIAL. 802.4.2 BULLING ENVELOPE TEST CYCLE TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 2178 OR WITH 1 SECTION IN MINIMUM FOR A PRESSURE OF 2 INCHES W.G. TESTING SHALL BE CONDUCTED BY AN APPROVED R-10 PARTY. 802.4.3 PRE-PLACES NEW WOODWORKING TRIMPIECES SHALL HAVE RIGID FITTING FILE DIVERSITY AND OUTDOOR COVERS ON AIR. 802.4.4 FUEL-BURNING APPLIANCES ROOFS CONTAINING FUEL BURNING APPLIANCES SHALL BE CONSTRUCTION AIR OUTLET PROVIDE CONSTRUCTION AIR TO BEYOND COMBUSTION FUEL BURNING APPLIANCES TO APPLIANCES AND CONNECTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE. THE EXHAUST AIR FROM ALL FUEL-BURNING APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES SHALL BE LOCATED OUTSIDE THE THERMAL ENVELOPE EXCEPT 1. EXHAUST APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES SHALL BE LOCATED OUTSIDE THE THERMAL ENVELOPE. FROM CODES AND OTHER COMPLIANCE WITH SECTION 802.4.2 AND SECTION 802.4.3 OF THE IECC RECESSED LUMINOUS RECESSED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO BE AIRLEAKAGE. 802.4.5 RECESSED LIGHTING ALL RECESSED LIGHTS SHALL HAVE AT LEAST (2) PROGRAMMABLE DIMMERS FOR EACH SEPARATE DIMMING AND COOLING SYSTEM. 802.4.6 THERMOPIST WHERE A REAT TAPP SYSTEM HAVING SUPPLEMENTARY HEATING RECESSED HEAT IS FIELD THE THERMOPIST SHALL PROVIDE THE HEAT FOR COMING ON IN THE SUPPLY CONTROLLED HEATING LOAD SUPPLY & RETURN DUCTS IN ATTIC 8" MIN. 802.4.7 MECHANICAL DUCT INSULATION SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACE DUCTS MUST BE R-6 MIN. 802.4.8 DUCT SEALING ALL DUCTS, AIR INCLUSIONS AND FITTINGS SHALL BE SEALED. JOINTS AND LEAKS SHALL COMPLY WITH SECTION 802.4.8 OF THE IECC. 802.4.9 MECHANICAL VENTILATION A DUCT TO EXHAUST FRESH AIR (EXHAUST) SHALL BE PERFORMED ON ALL HOLES AND SHALL BE VERIFIED BY EITHER A RIGID COMB. TEST OR A RIGID IN USE DUCT TO EXHAUST TEST NOT PERFORMED IF AIR WHOLE AND ALL DUCTS ARE LOCATED WITHIN UNCONDITIONED SPACE. 802.4.10 MECHANICAL VENTILATION OUTDOOR AIR WILL BE BROUGHT INTO THE HOME THROUGH A DUCT WITH AN EXHAUST OR EXHAUST CONTROL TO COMPLY WITH (TABLE 802.4.10) 802.4.11 SINGLE HOUSE FRESH VENT SYSTEM FAN EFFICIENCY EQUIPMENT RATING SHALL COMPLY WITH TABLE 802.4.11 802.4.12 WATER HEATER MECHANICAL TESTING A PIN OF 3/8" OF ALL LAYERS MUST BE HIGH EFFICIENCY TAPS. FAN EFFICIENCY EQUIPMENT RATED BY ENERGY STAR. ALL VENTS TESTING TO BE PERFORMED BY APPROVED THIRD PARTY. THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND APPROVED ELECTRICAL SHEET.	GENERAL NOTES GENERAL NOTES WILL ACKNOWLEDGE AND SHALL BE ADHERED TO DURING THE CONSTRUCTION PERMITS 1. ALL WORK INCLUDING ALL STRUCTURAL, MECH, ELECTRICAL AND OTHER SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS. 2. CONTRACTOR TO VERIFY AND CORRECT ANY ALL THE CONDITIONS AND DIMENSIONS AT THE JOB BEFORE BEGINNING OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO AND RESOLVED SUFFICIENTLY EARLY. 3. ALL PERMITS REQUIRED FOR THIS PROJECT SHALL BE OBTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS. 4. ALL PERMITS REQUIRED FOR THIS PROJECT SHALL BE OBTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS. 5. ALL PERMITS REQUIRED FOR THIS PROJECT SHALL BE OBTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS. 6. ALL PERMITS REQUIRED FOR THIS PROJECT SHALL BE OBTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS. 7. ALL PERMITS REQUIRED FOR THIS PROJECT SHALL BE OBTAINED BY THE CONTRACTOR. 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Plymouth Road Architects
 640 Plymouth Road, Catonsville, MD 21229 410-788-0281
 Date: 10/15
 Scale:
 Drawn: TMM
 Drawing: COVER PAGE
 Project: WILLIAMSBURG GROUP THE WELLINGTON STATE HOME
 1067 WEB
 Project No:

The Woodlands Lot 2 5634 Dosa Court, Clarksville, MD 21034
 Permit # B2000503

REVISED 9/19



FRONT ELEVATION - SHOWN W/ CRT. CONSIDERATION AND SIDE PORCH
SCALE: 1/4" = 1'-0"

REVISED 2/21

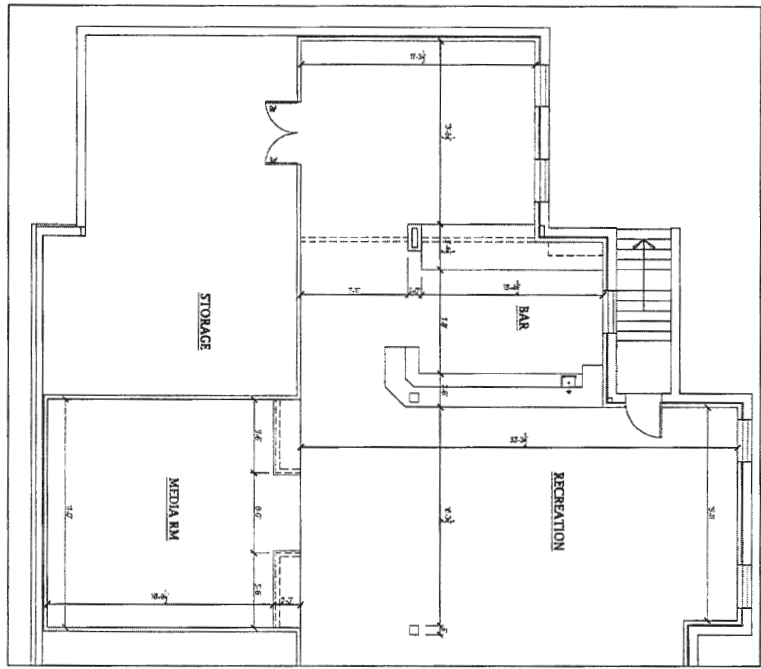


Drawing: ELEVATION 3-PARTIAL STONE
Project: WILLIAMSBURG GROUP
THE WELLINGTON
ESTATE HOME

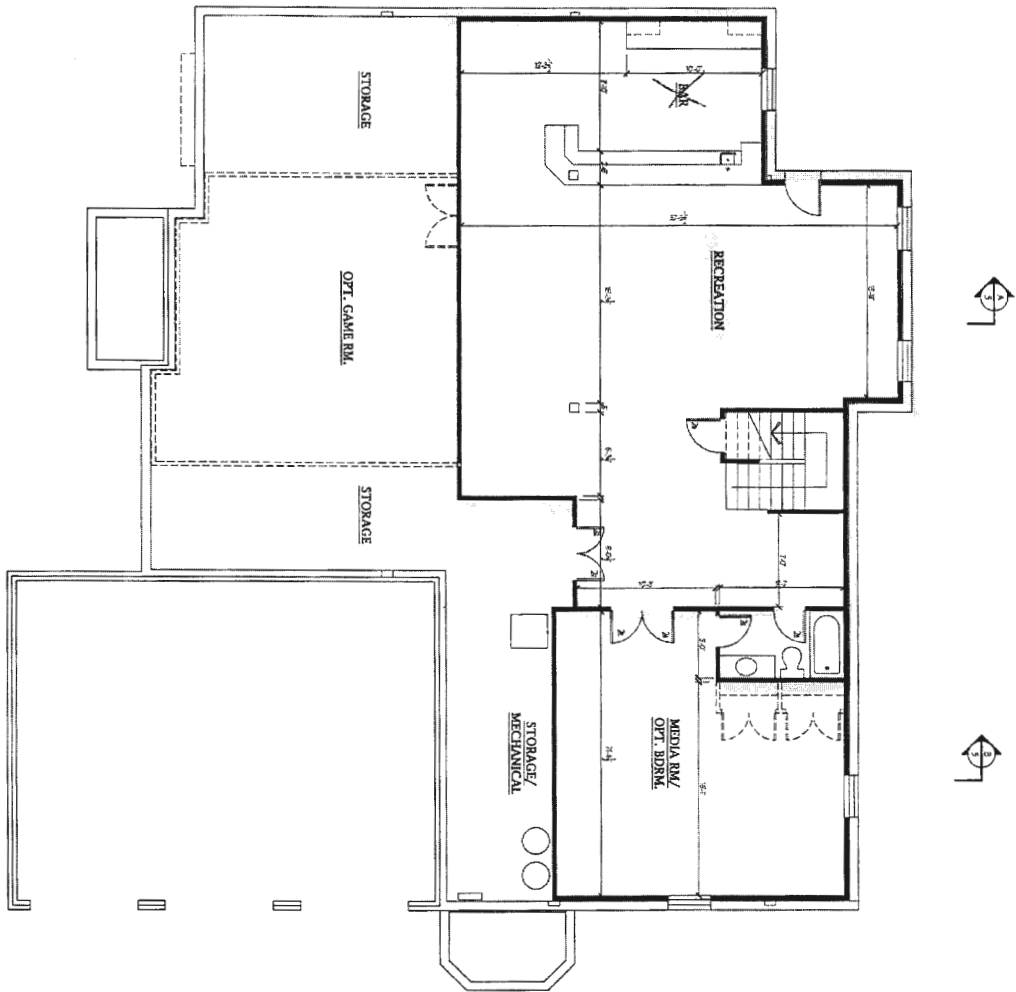
Date: 10/15
Scale: NOTED
Drawn: TIM

DATE	REVISION	DATE	REVISION

Plymouth Road Architects
640 Plymouth Road, Catonsville, MD 21229 410-788-0281



ALT. PLAN W/ 2 STORY
CONSERVATORY AND MEDIA RM.



REVISED 1/21

2b

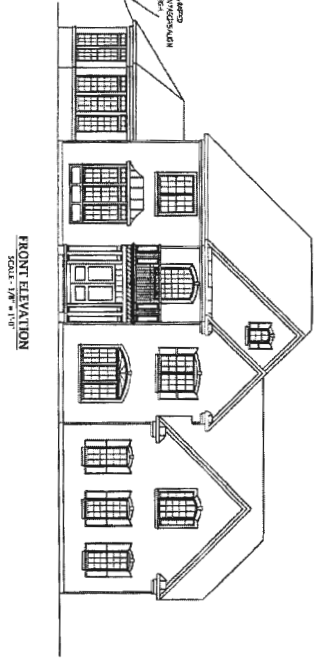
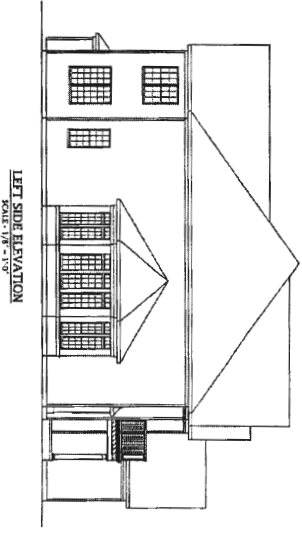
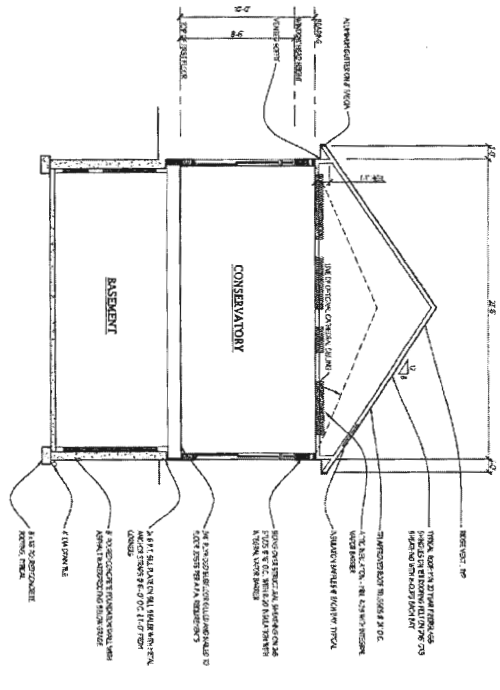
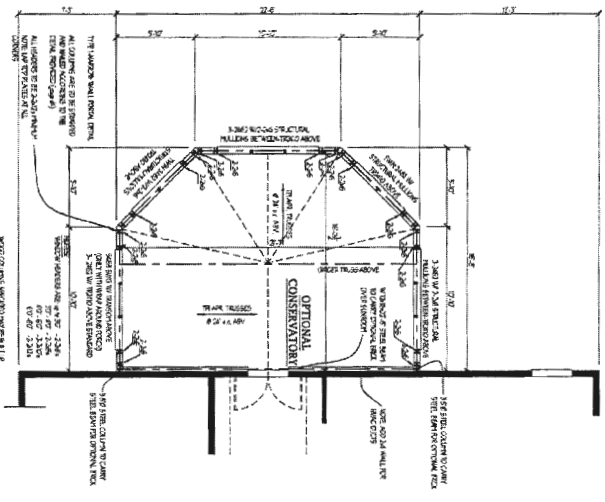
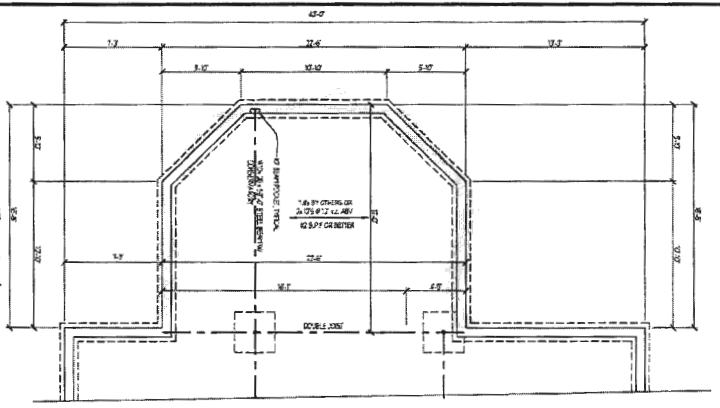
1067 WEH
Project No.

Drawing: FINISHED BASEMENT PLAN
Project: WILLIAMSBURG GROUP
WELLINGTON
ESTATE HOME

Date: 10/15
Scale: 1/4" = 1'-0"
Drawn: TIM

DATE	REVISION	DATE	REVISION

Plymouth Road Architects
640 Plymouth Road, Catonsville, MD 21229 410-788-0281



REVISED 7/19



Project No.: 1067 WEH
Date: 10/15
Scale: NOTED

Drawing: OPTIONAL CONSERVATORY
Project: WILLIAMSBURG GROUP
WELLINGTON
ESTATE HOME

Notes: ALL WALLS STANDARD
PORTAL FRAME

Plymouth Road Architects
640 Plymouth Road Baltimore, MD 21229
Phone: 410-788-0281 arch@plymouth-road.com

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DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 3/18/21

To: George Martin - Licenses + Permits
(Person's Name and Division)

From: Marina Morris/Williamsburg Homes (410) 997-8800
(Your Name, Company Name and Telephone Number)

Subject: Project name The Woodlands Lot 2
Project site address 5624 Dosa Court, Clarksville, MD 21029
Permit Number B20002503 SDP # _____
Other information pertinent to this project _____

*Revisions
approved
4/1/21*

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- Letter of response to Howard County plan review code letter
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- Copies of _____ (be specific). *finished bsmt areas - 1597*
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- Other _____

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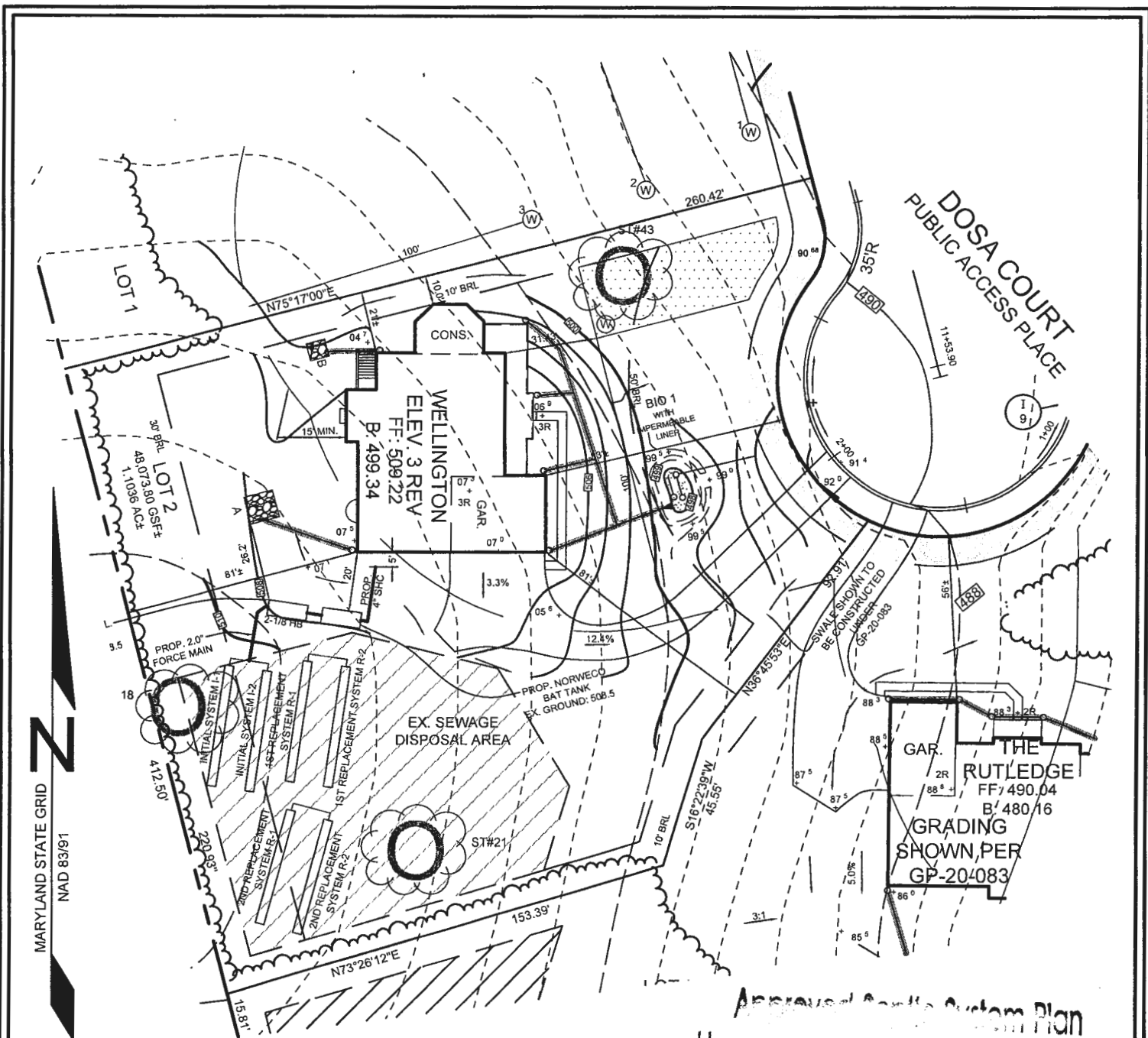
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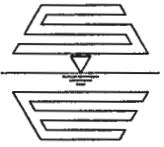
Received by _____

white: Plan Review Division
yellow: Applicant
pink: Permit Division



MARYLAND STATE GRID
NAD 83/91

16005 Frederick Rd, 2nd Floor
Woodbine, Maryland 21797
Phone: 443.325.5076
Fax: 410.696.2022
Email: info@sillengineering.com
Civil Engineering for Land Development



**SILL
ENGINEERING
GROUP, LLC**

*Approved for the Custom Plan
Howard County Health Department,
Conservatory Addition
Basement modifications
including a bedroom*

F. Bueler 4/1/2020

**HOUSE RESITE
THE WOODLANDS
LOT 2
5624 DOSA COURT**

*Date
B20002503
revised*

DESIGN BY:	PS
DRAWN BY:	JC
CHECKED BY:	PS
SCALE:	1"=50'
DATE:	DECEMBER 09, 2020
PROJECT #:	20-003
SHEET #:	1 OF 1

TAX MAP 28 GRID 23
5TH ELECTION DISTRICT

PARCEL 15
HOWARD COUNTY, MARYLAND

The Woodlands Lot 2
PERMIT NUMBER: B 20092503

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 5624 DOSA CT #		Unit:
City: Clarksville	State: MD	Zip Code: 21029
Subdivision/Village/Complex Name: The Woodlands		SDP/WP/BA #: 620000198
Lot: 2	Tax Map: 28	Parcel: 15
Grading Permit #: 28703 ✓		

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant Lot	Proposed Use: Single Family Home	Estimated Cost: \$ 42623
Trade Work to Be Completed (Separate Permits Required): <input checked="" type="checkbox"/> Mechanical (HVACR) <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> None		
2 STORY SFD (PER WORK SHEET)		

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Williamsburg Group LLC	Primary Residence: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Owner's Street Address: 5485 Harpers Farm Rd #200	
City: Columbia	State: MD
Phone: 410-997-8800	Email: marina.morris@williamsburgllc.com
Zip Code: 21044	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: same as above	Contact Name:
Street Address:	
City:	State:
Phone:	Email:
Zip Code:	

CONTRACTOR INFORMATION REQUIRED

Business Name: same as above	
Licensee's Name:	License #: 155
Street Address:	
City:	State:
Phone:	Email:
Zip Code:	

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	Name:
Street Address:	
City:	State:
Phone:	Email:
Zip Code:	

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input checked="" type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)
Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)	
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:	Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input checked="" type="checkbox"/> NFPA 13D <input type="checkbox"/> None	Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Wellington				
# of Bedrooms (SF): 5	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms: 13	# Full Baths: 5	# Half Baths: 1	# Fireplaces: 2	
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input checked="" type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial				
1 st Fl Width: 67.8	1 st Fl Depth: 63	2 nd Fl Width: 67.8	2 nd Fl Depth: 63	Bsmt Width: 67
Bsmt Depth: 63	Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input checked="" type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 9979 sq ft	Occupiable Area: 9289 sq ft

AGREEMENT/ DISCALIMER REQUIRED

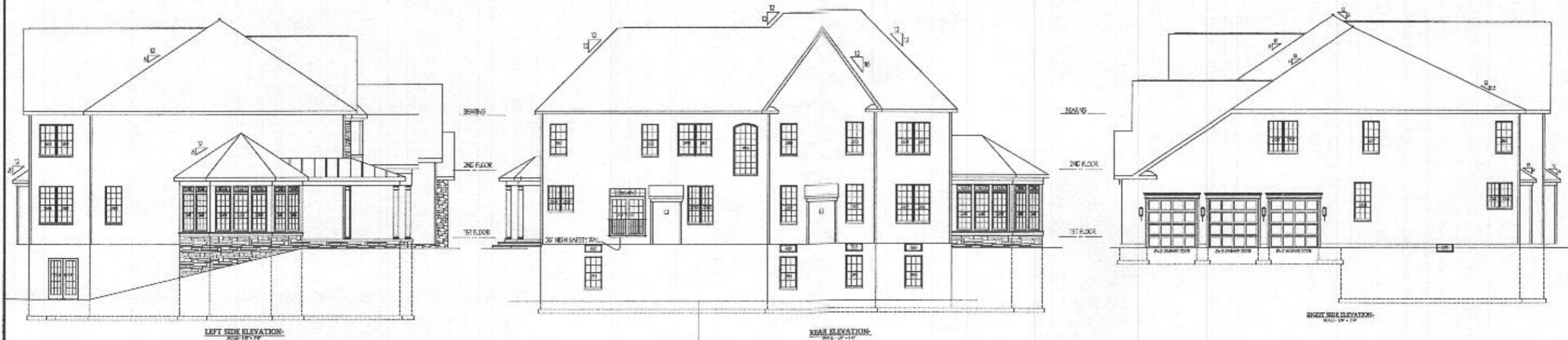
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: *Marina Morris* DATE SIGNED: **7/30/20**

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

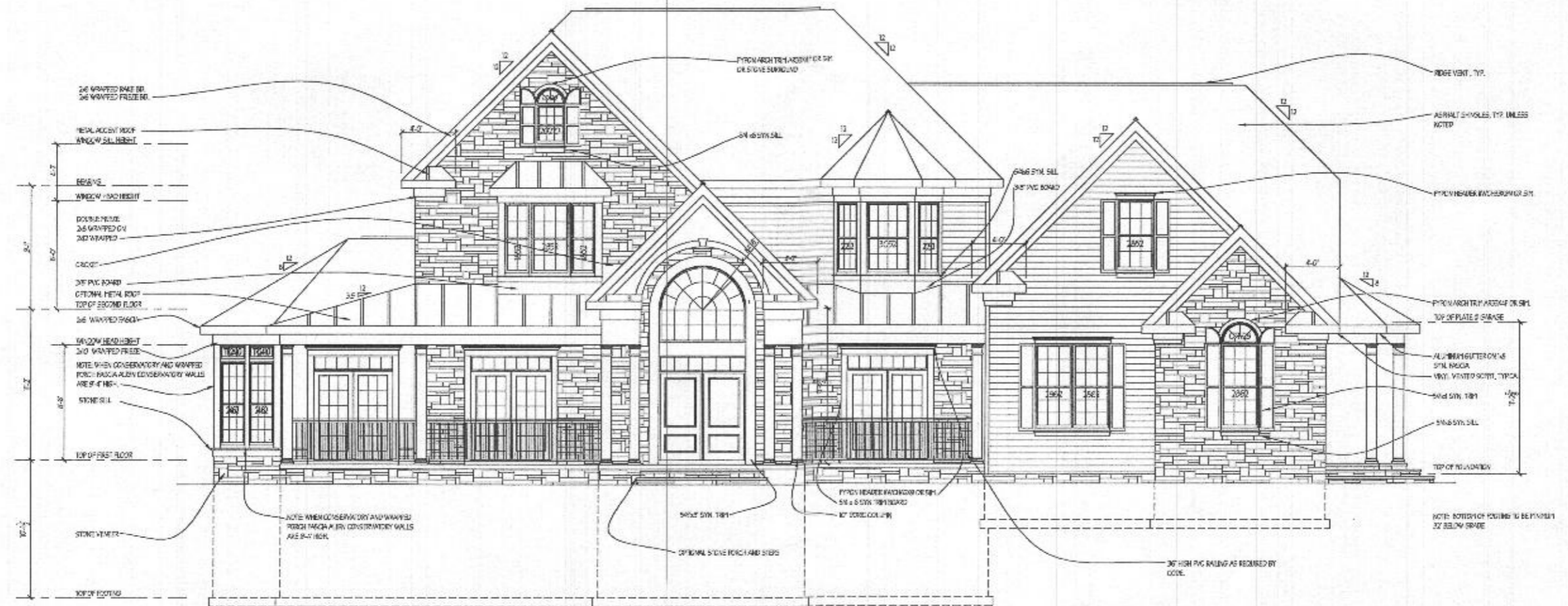
AGENCIES REQUIRED/APPROVALS:	
<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ
<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health
<input type="checkbox"/> SHA	<input type="checkbox"/> CID
SUBMITTAL FEES:	PAYMENT: OK 11/2/20
	ACCEPTED BY: <i>DR OFF BOX</i>



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION
SCALE: 1/4" = 1'-0"

RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION - SHOWN W/ OPT. CONSERVATORY AND SIDE PORCHES
SCALE: 1/4" = 1'-0"

Plymouth Road Architects
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

DATE	REVISION

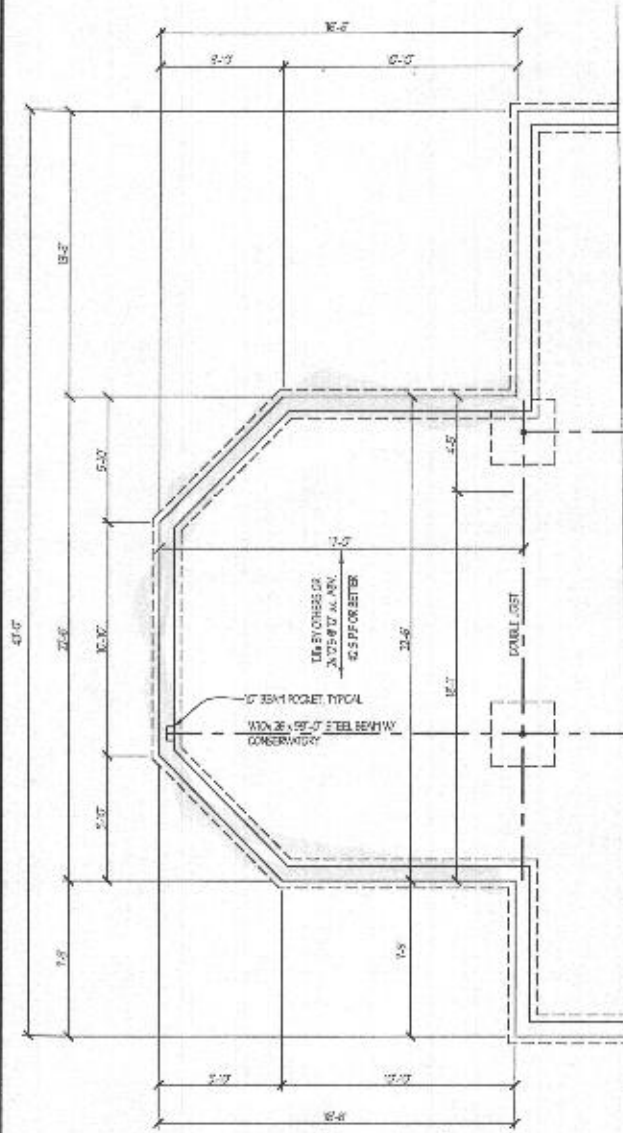
Date: 10/15
Scale: NOTED
Drawn: TIM

Drawing: ELEVATION 3-PARTIAL STONE
Project: WILLIAMSBURG GROUP
THE WILLINGTON
ESTATE HOME

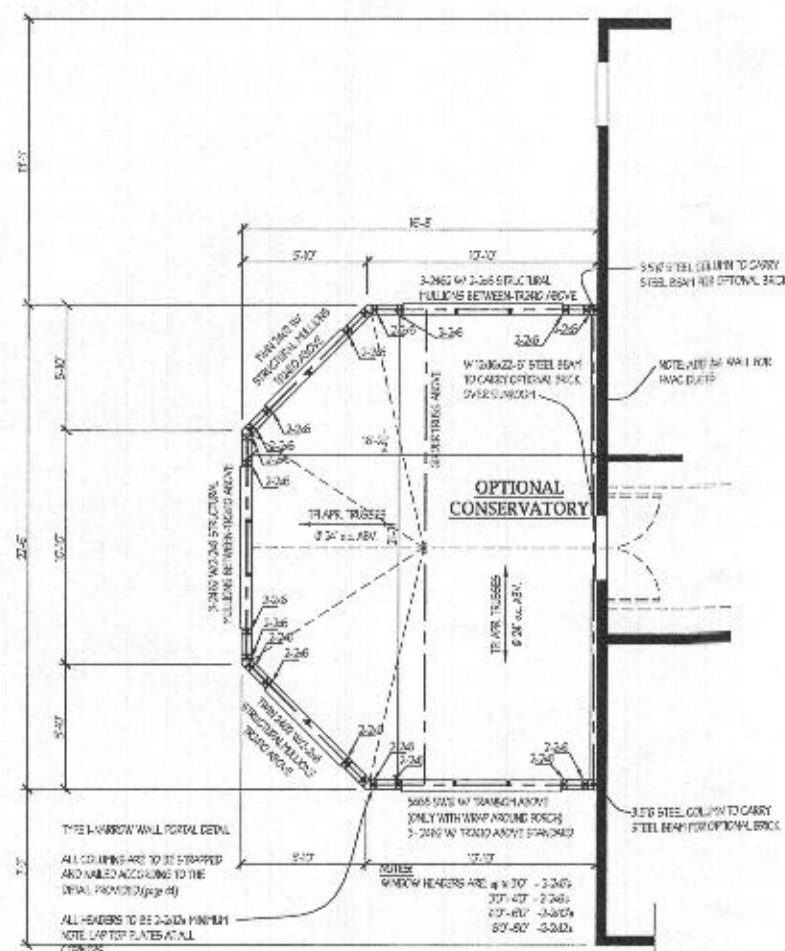
1067W EH
Project No.



REVISED 2/21

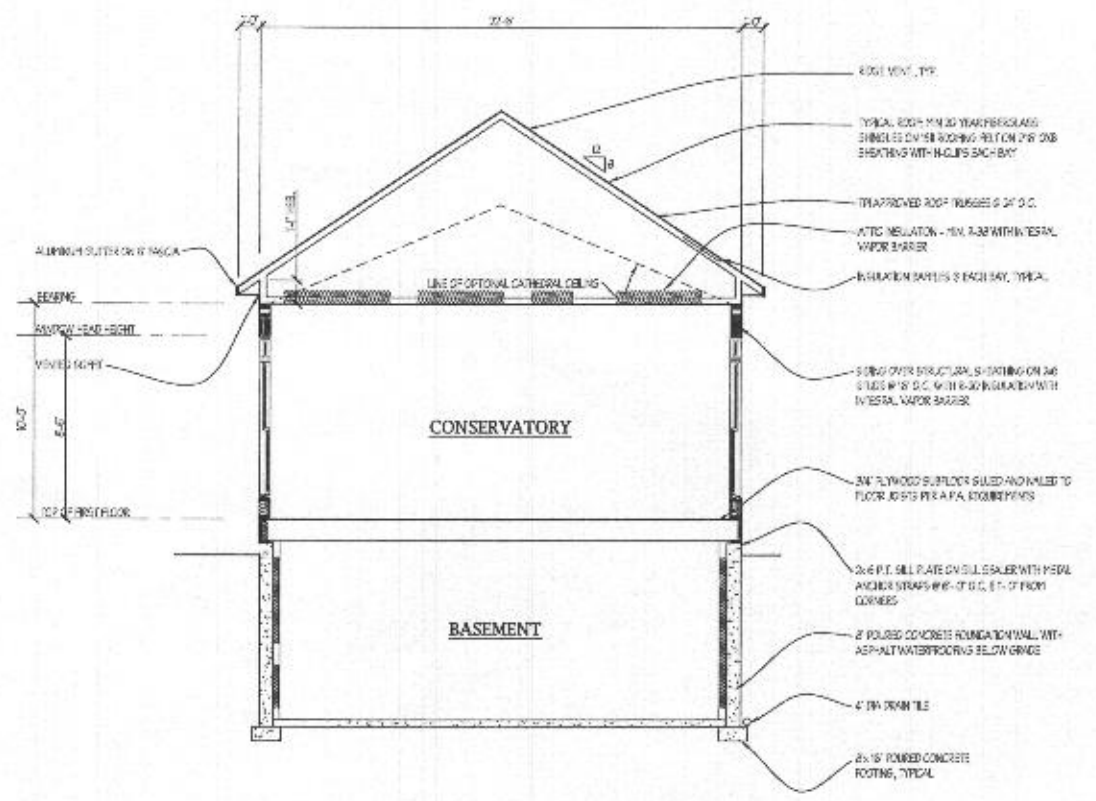


FOUNDATION PLAN - Finished
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE: ALL WALLS TO BE 16" MIN. UNLESS OTHERWISE NOTED.
NOTE: SUBSTITUTION OF ENGINEERED LIG'S DESIGNED BY OTHERS IN LIEU OF ORIGINAL TO BE APPROVED FOR LOCAL PERMITS IS ACCEPTABLE.



SECTION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

Plymouth Road Architects
640 Plymouth Road
Baltimore, MD 21229
Phone: 410-788-0281
arch@plymouth-road.com

Notes: ALL WALLS STANDARD PORTAL FRAME

Drawing: OPTIONAL CONSERVATORY
Project: WILLIAMSBURG GROUP
WELLINGTON ESTATE HOME

Project No.: 1067 WEH
Date: 0/15
Scale: NOTED



REVISED 7/19

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: **Marina Morris, Williamsburg Group LLC**

FROM: **Robert Bricker, REHS/RS, L.E.H.S.**
Well & Septic Program

RE: **5624 Dosa Court, Potential Basement Bedroom**

DATE: August 20, 2020

I have reviewed the floor plans in support of Building Permit **B20002503** for a new home at **5624 Dosa Court** and noted that there is a rough-in for a full bathroom in the unfinished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the entire basement to finished living space.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **five (5*)** bedroom design to accommodate a future finished basement. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.

*'Library' on First Floor fits Code description of bedroom. (See bedroom definition.)