

Bureau of Environmental Health
 8930 Stanford Boulevard, Columbia, MD 21045
 Main: 410-313-2640 | Fax: 410-313-2648
 TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
 Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 12/15/2020 **ONSITE SEWAGE DISPOSAL SYSTEM** P 572892

APPROVAL DATE: 04/09/2021 **PERMIT: CONSTRUCTION** A _____

PROPERTY ADDRESS: 1939 DAVIS BRANCH ROAD, WOODSTOCK, MD 21163

SUBDIVISION: MYRTUE PROPERTY LOT: 21 TAX ID: 03-352552

CONTRACTOR: FARM AND HOME EMAIL: _____

CONTRACTOR ADDRESS: _____ PHONE: _____

PROPERTY OWNER: SONSHINE MD LP EMAIL: greinsmith@keystonecustomhomes.

OWNER ADDRESS: 227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601 PHONE: (717)464-9060

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: MAYER BROS., INC.

PUMP MODEL: n.a. PUMP SIZE n.a. PUMP TANK CAPACITY: n.a.

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 6 APPLICATION RATE: 1.2

TRENCHES:	LINEAR FEET REQUIRED: <u>156 139 RB</u>	INLET DEPTH: <u>2.0 2.8 RB</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8.0</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>6.0 5.5 RB</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	INSTALL CLEANOUT IN SHC NEAR FOUNDATION.	

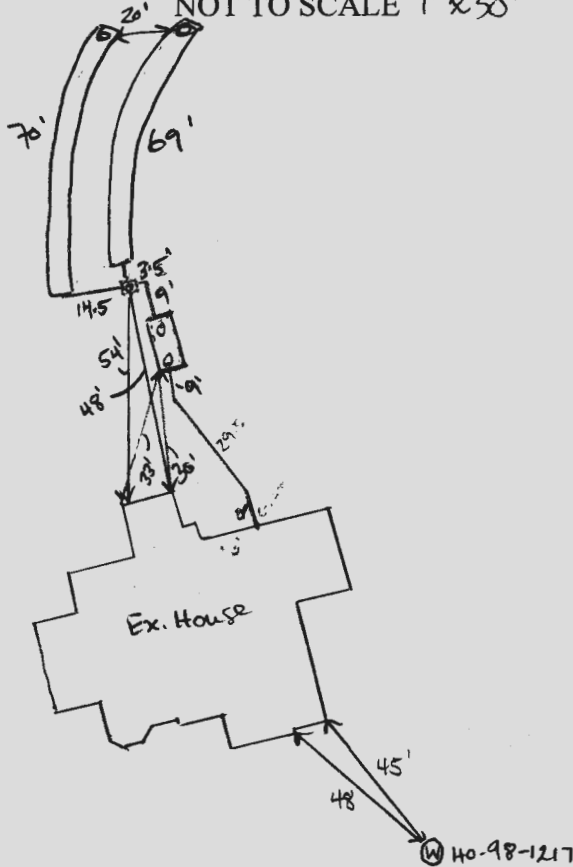
ISSUED BY: R BRICKER ISSUE DATE: _____ EXPIRATION DATE: _____

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
 ELECTRICAL PERMIT ISSUED E n.a.
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

1939 Davis Branch Rd

NOT TO SCALE 1"=50'



ROAD NAME
Davis Branch Rd

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
3'	2.8'	8'
NUMBER OF TRENCHES		2
TOTAL LENGTH		139'
ABSORPTION AREA		317 SF + SIDE WALL
DISTRIBUTION BOX LEVEL		SPEED
DISTRIBUTION BOX BAFFLE		YES
DISTRIBUTION BOX PORT		YES

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL	
MANUFACTURER	BABYLON
CAPACITY	2000 GAL
SEAM LOC	TOP
TANK LID DEPTH	
BAFFLES	YES
BAFFLE FILTER	NO
MANHOLE LOC	FRONT/BACK
6" PORT LOC	
WATERTIGHT TEST	-
SLOTTED	YES
DATE ON LID	02/15/2021

PUMP/SEPTIC TANK LEVEL

MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION:

1/6/21 Contractor says he cant accomplish horseshoe shape making 45° turns with pipe. Laid out two trapezoid trenches, 1st trench 74' 2nd trench 83' on contour. (SD) 1/6/21 Pin Robert P... says system needs to be redesigned. Permit is ON HOLD (SD) 3/10/21 Laid out 2 x 70' trenches on contour according to new OSDS (approved 3/5/21) (SD)

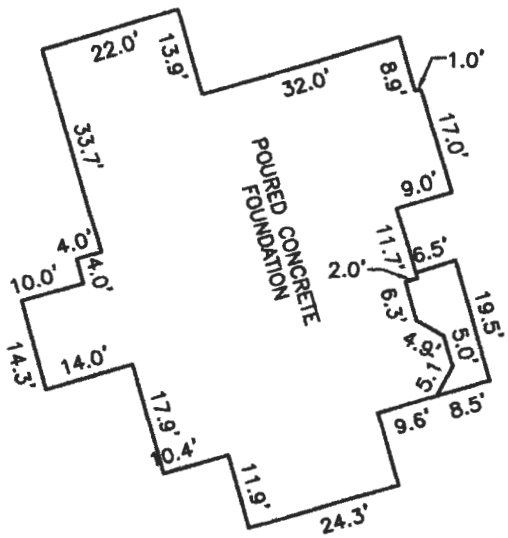
INSTALLATION:

04/09/2021 SHC AND SL INSTALLED TO TANK; D BOX INSTALLED, LEVELED W/ SPEED LEVELS; TRENCHES COMPLETE, WRAP OVER PERFORATION ON UPPER TRENCH OBS W/FILTER FABRIC ABOVE AGGREGATE. (P)

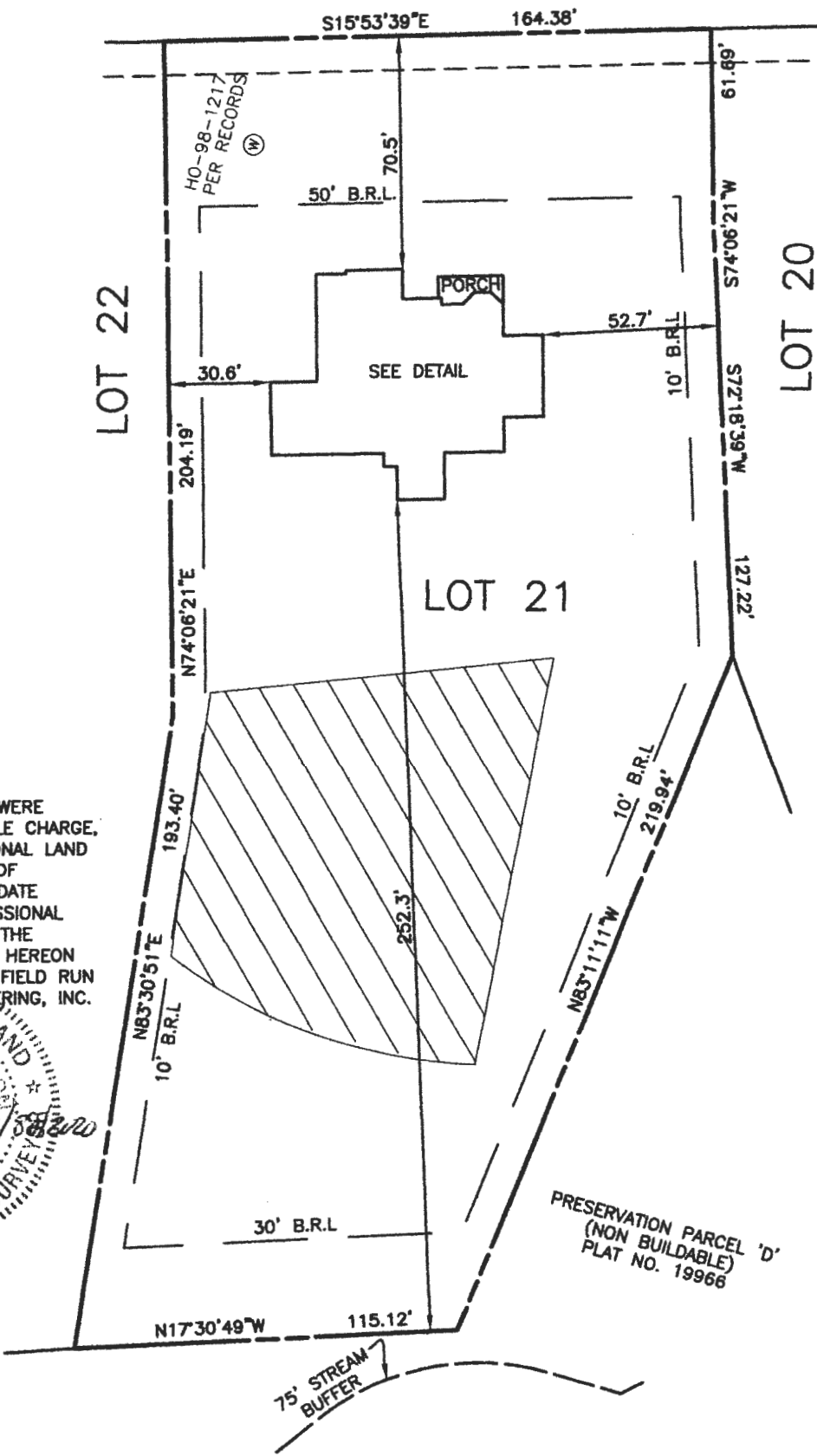
FINAL INSPECTOR CABANUG DATE OF APPROVAL 04/09/2021

DAVIS BRANCH ROAD

(PUBLIC ACCESS ROAD)
40' RIGHT OF WAY



FOUNDATION DETAIL
SCALE: 1" = 30'



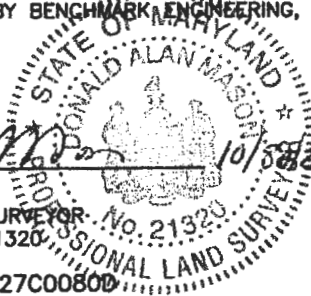
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1-7-2021 AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. ON 10/28/2020.

Donald A. Mason
10/28/2020

DONALD A. MASON
PROFESSIONAL LAND SURVEYOR
MARYLAND REG. No. 21320

FEMA FIRM No. 24027C00800
ZONE: X
DATED: 11/06/2013



FIRST FLOOR ELEVATION = 417.6'
OFFSET DIMENSIONS TO PROPERTY LINES ARE ±0.1'

Approved
2/22/2020 *(Signature)*

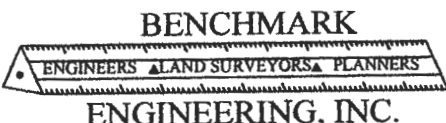
WALL CHECK
MYRTUE PROPERTY

PLAT No. 23867
LOT No. 21

1939 DAVIS BRANCH ROAD

3rd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FIELD OBS. BY ML
COMP. BY DAM
DRAWN BY EWF SCALE: 1" = 50' DATE: 10/28/2020

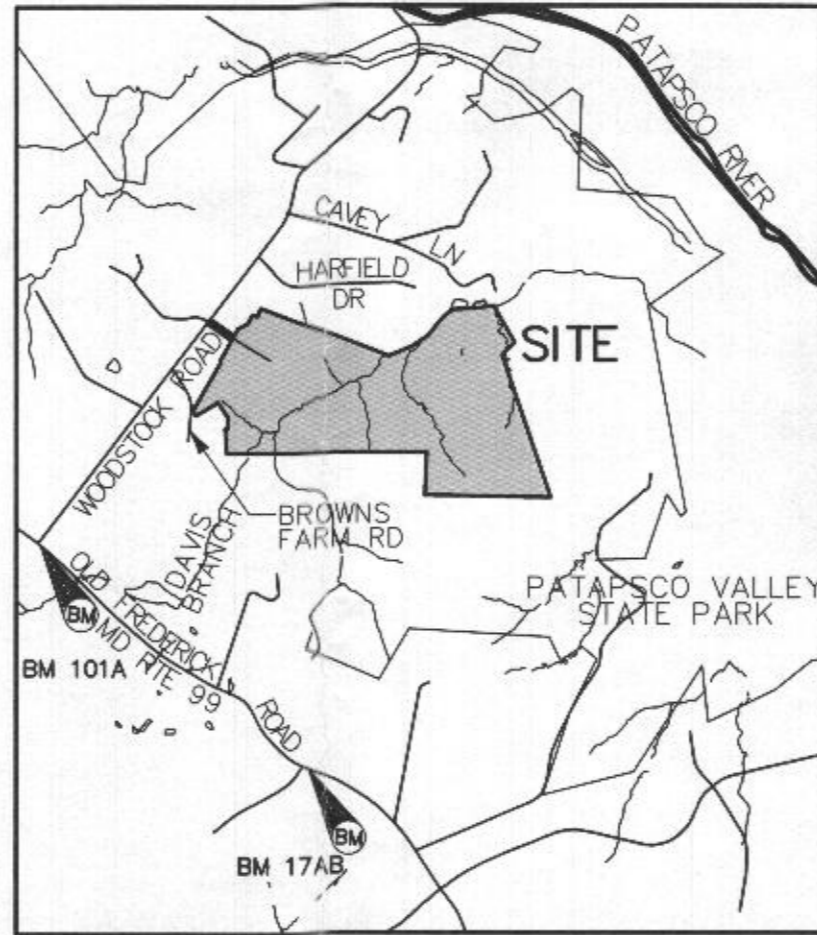


8480 BALTIMORE NATIONAL PIKE SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-485-6105 (F) 410-485-6644

GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR MYRTUE PROPERTY, PLAT NUMBER 23865. REFER TO THE PLAT FOR LOT DIMENSIONS, LOT AREA, ALL EASEMENTS AND CONDITIONS.
2. THE EXISTING WELL SHOWN ON THIS PLAN (HO-98-1217) HAS BEEN FIELD LOCATED BY DAFT, McCUNE WALKER, INC. AND IS SHOWN IN ACCORDANCE WITH THEIR SURVEY.
3. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
4. TOPOGRAPHY SHOWN WAS FLOWN BY VIRGINIA RESOURCE MAPPING, INC. DATED FEBRUARY 2003 AND SUPPLEMENTED WITH FIELD SURVEY BY DMW, INC. DATED 2005.
5. SEDIMENT AND EROSION CONTROLS WILL BE SUBMITTED BY HOWARD SOILS CONSERVATION DISTRICT AS A CUSTOM GRADING PLAN.
6. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED BUILDING PERMIT AND CUSTOM GRADING PLANS.
7. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
8. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
9. ANY ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
10. THE SEPTIC TANK WILL BE A 2000 GALLON TWO COMPARTMENT TANK.
11. THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
12. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS/OR SEPTIC SYSTEM HAVE BEEN SHOWN.
13. ANY FUTURE WELLS SHALL BE 10' FROM DRIVEWAY.

BENCHMARK INFORMATION NAD83	
Ho. Co. STATION 101A STAMPED DISC SET ON TOP OF CONCRETE COLUMN NORTHING: 565347.937' EASTING: 1319266.269' ELEVATION: 588.708'	Ho. Co. STATION 17AB STAMPED DISC SET ON TOP OF CONCRETE COLUMN NORTHING: 564468.943' EASTING: 1318257.375' ELEVATION: 561.105'



VICINITY MAP
SCALE: 1" = 2000'



Approved Septic System Plan
 Howard County Health Department
[Signature] 3/5/2021
 Signature Date
 2000-gal Septic Tank
 to Gravity Drain Field for
 6-Bedroom SFD

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 28376. Expiration Date: 01-01-2023.

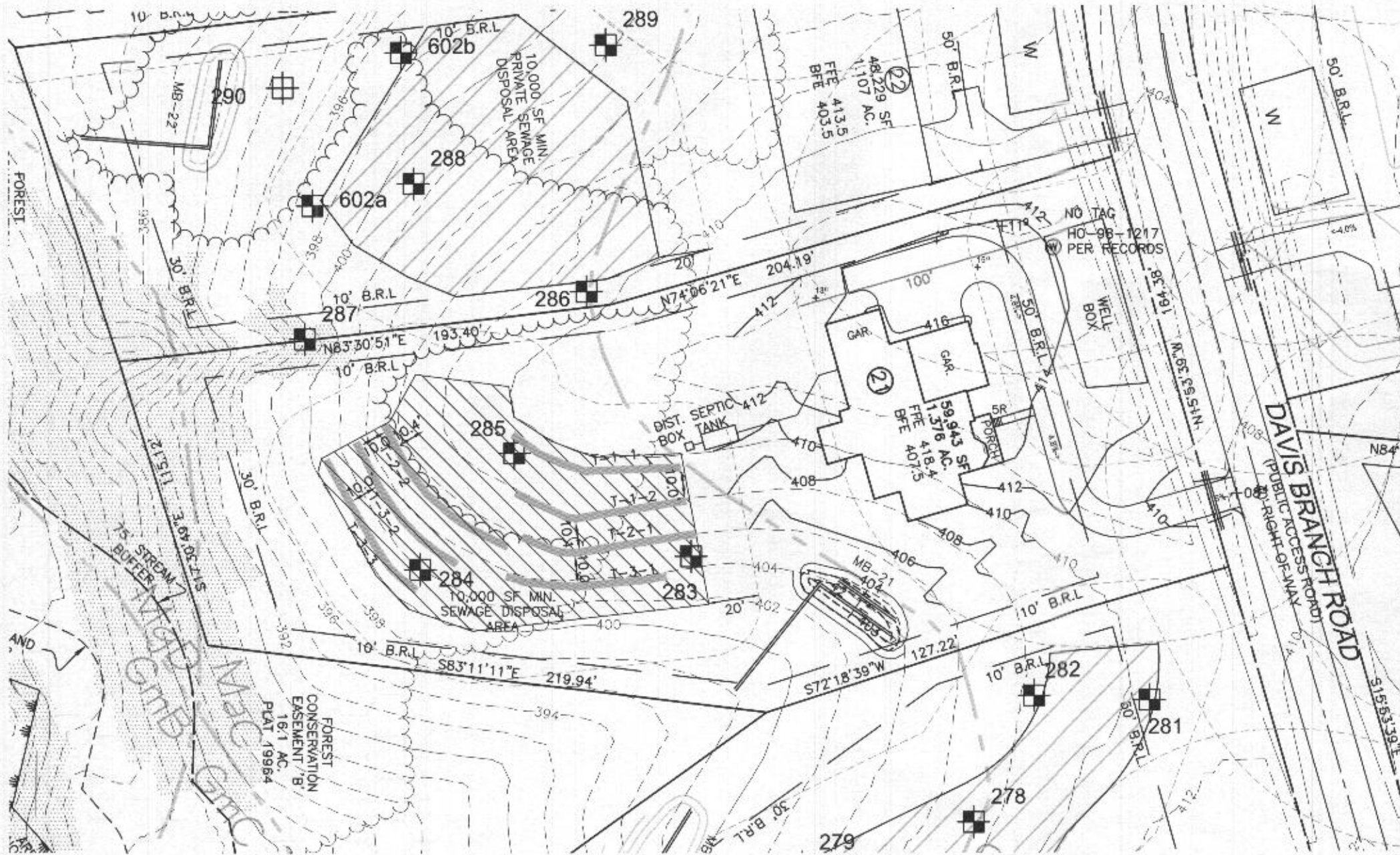


Feb 10 2021 2:37 PM DocuSign

OWNER/BUILDER:
 KEYSTONE CUSTOM HOMES, INC.
 227 GRANITE RUN DR.
 SUITE 100
 LANCASTER, PA 17601
 717-464-9060

BENCHMARK
 ENGINEERS • LAND SURVEYORS • PLANNERS
ENGINEERING, INC.
 8480 BALTIMORE NATIONAL PIKE • SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 (P) 410-465-6105 • (F) 410-465-6644
 WWW.BEI-CIVILENGINEERING.COM

PROJECT: MYRTUE PROPERTY LOT 21	
LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1939 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404	
TITLE: REVISED ONSITE SEWAGE DISPOSAL PLAN	
HOUSE TYPE: CUSTOM - KEYSTONE HOMES	
DATE: JANUARY, 2021	PROJECT NO. 2099
SCALE: AS SHOWN	DRAWING <u>1</u> OF <u>3</u>



LEGEND

- 400
398
400 PROPOSED CONTOURS
- 400 EXISTING CONTOURS
- EXISTING PRIVATE SEWAGE DISPOSAL AREA
- EXISTING WELL BOX
- PROPOSED TREELINE
- EXISTING TREELINE
- SOILS MAP SYMBOL
- SOILS DELINEATION LINE
- PERC TEST PASSED
- PERC TEST FAILED
- EXISTING SLOPES 25% OR GREATER

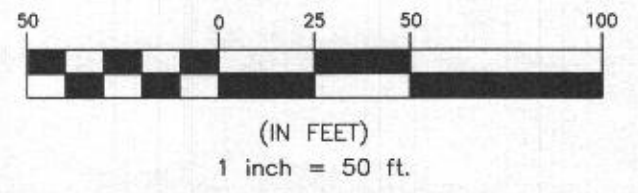
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 Howard County Health Department
R. Buick 3/5/2021
 Signature Date
 as described

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Feb 10 2021 2:37 PM DocuSign

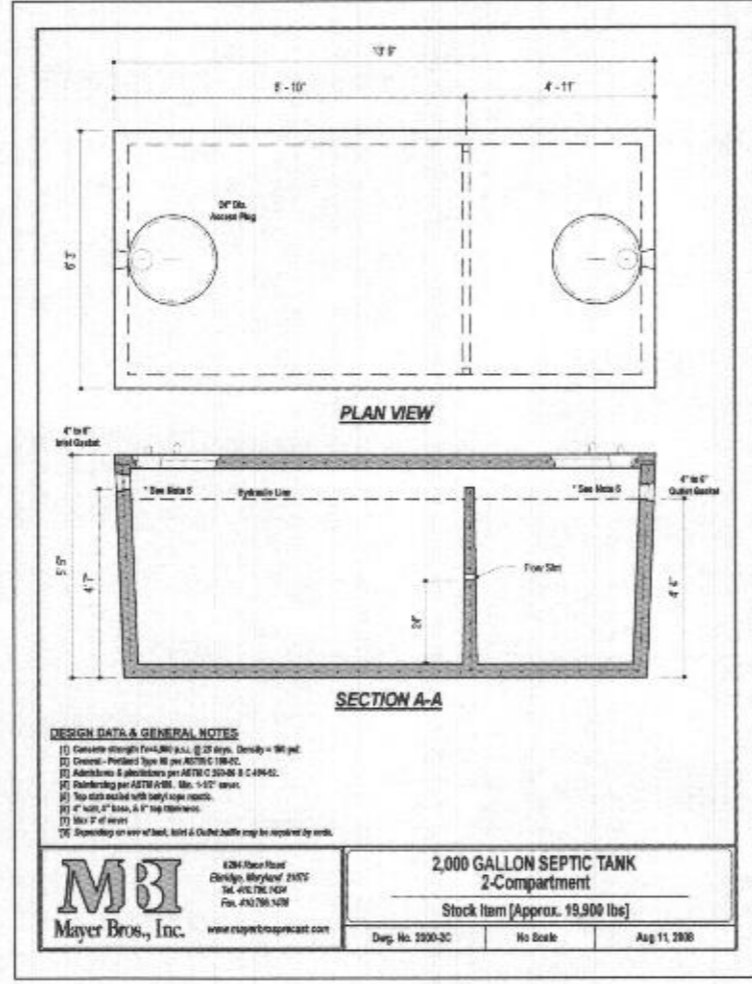
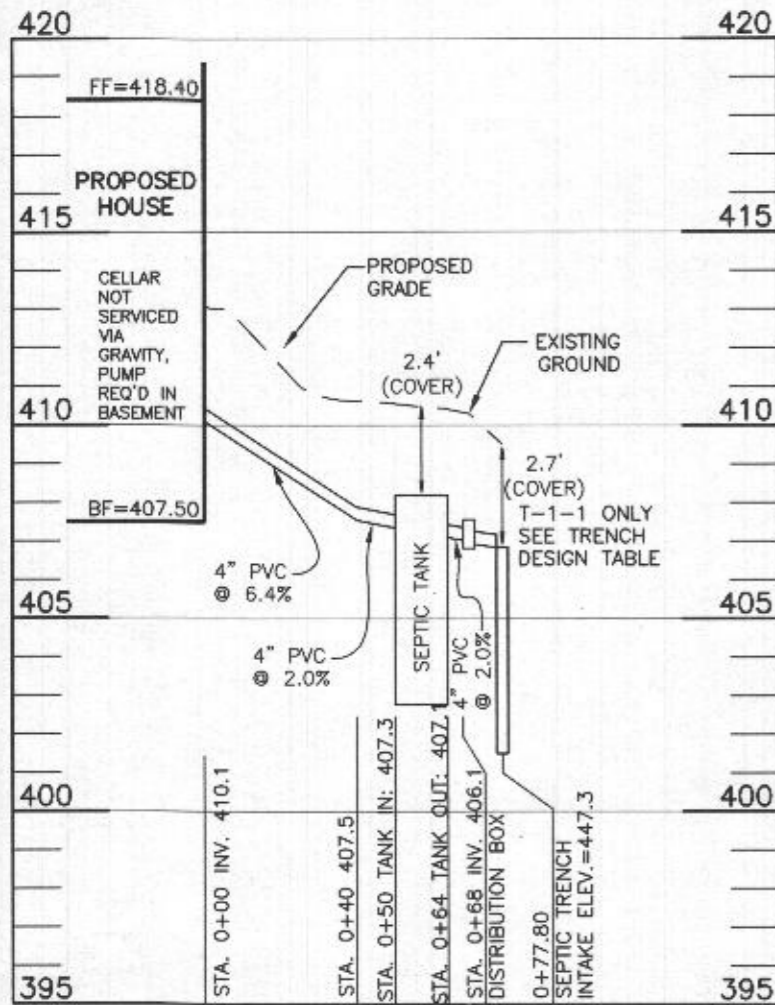
PLAN VIEW
 1" = 50'



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HOUSE TYPE: CUSTOM - KEYSTONE HOMES	
DATE: JANUARY, 2021	PROJECT NO. 2099
SCALE: AS SHOWN	DRAWING 2 OF 3



INITIAL SYSTEM		
Number of Bedrooms	6	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	5.5	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	750	sf
Sidewall Reduction Credit	0.56	
Trench width	3	ft
Effective Area Depth	2.5	ft
Trench Spacing	10	ft
Linear Length of trench Required	139	lf

1ST REPLACEMENT SYSTEM		
Number of Bedrooms	6	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	5.5	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	750	sf
Sidewall Reduction Credit	0.56	
Trench width	3	ft
Effective Area Depth	2.5	ft
Trench Spacing	10	ft
Linear Length of trench Required	139	lf

2ND REPLACEMENT SYSTEM		
Number of Bedrooms	6	
Application Rate	0.8	gpd/sf
Effective Area Beginning Depth	5.0	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	1125	sf
Sidewall Reduction Credit	0.50	
Trench width	3	ft
Effective Area Depth	3	ft
Trench Spacing	10	ft
Linear Length of trench Required	188	lf

SEPTIC INVERT CHART - LOT 17	
INV @ HOUSE	410.1
GROUND @ HOUSE	413.1
INV IN SEPTIC TANK	407.3
INV OUT SEPTIC TANK	407.1
TOP OF SEPTIC TANK	408.2
GROUND OVER SEPTIC TANK	410.6
INV IN DIST BOX	406.1
INV OUT DIST BOX	406.0
GROUND AT DIST BOX	410.3

TRENCH DESIGN - LOT 21					
INITIAL SYSTEM					
T-1-1	LENGTH	69.5 ft	T-1-2	LENGTH	69.5 ft
	GROUND ELEVATION	409.5		GROUND ELEVATION	407.9
	INVERT ELEVATION	406.8		INVERT ELEVATION	405.9
	MAX BOTTOM ELEVATION	401.5		MAX BOTTOM ELEVATION	399.9
1ST REPLACEMENT SYSTEM					
T-2-1	LENGTH	69.5 ft	T-2-2	LENGTH	69.5 ft
	GROUND ELEVATION	406.0		GROUND ELEVATION	405.2
	INVERT ELEVATION	404.0		INVERT ELEVATION	403.2
	MAX BOTTOM ELEVATION	398.0		MAX BOTTOM ELEVATION	397.2
2ND REPLACEMENT SYSTEM					
T-3-1	LENGTH	62.5 ft	T-3-2	LENGTH	62.5 ft
	GROUND ELEVATION	403.7		GROUND ELEVATION	403.2
	INVERT ELEVATION	401.7		INVERT ELEVATION	401.2
	MAX BOTTOM ELEVATION	395.7		MAX BOTTOM ELEVATION	395.2
T-3-3	LENGTH	62.5 ft			
	GROUND ELEVATION	400.9			
	INVERT ELEVATION	398.9			
	MAX BOTTOM ELEVATION	392.9			

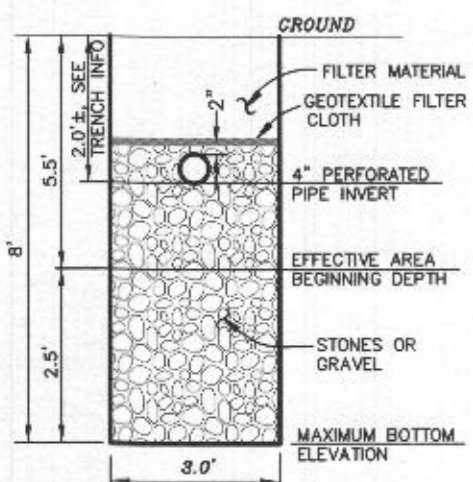
Approved Septic System Plan
Howard County Health Department
R. Buckner 3/5/2021
Signature Date
as described

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2023.



Feb 10 2021 2:37 PM DocuSign

LOT 21 OSDS
SCALE: 1"=50' HORIZ., 1"=5' VERT.



HEALTH DEPARTMENT SPEC SHEET INFORMATION - LOT 21			
System	Application Rate	Effective Depth	Bottom Depth
1st Replacement	1.2	5.5	8.0
2nd Replacement	1.2	5.5	8.0
3rd Replacement	0.8	5.0	8.0

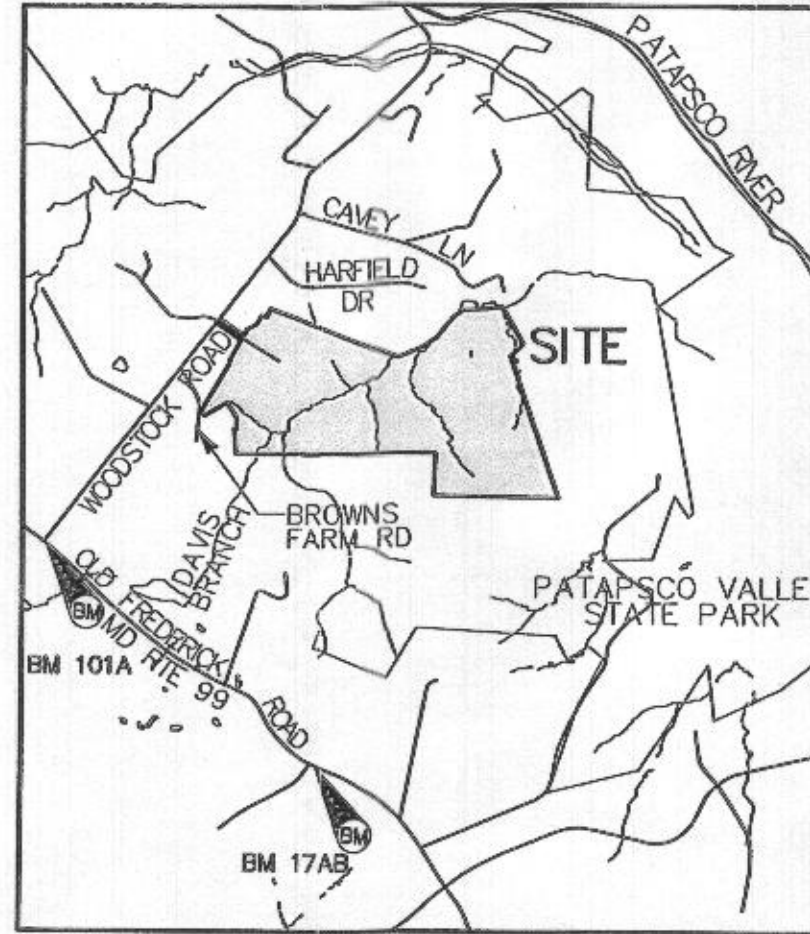
OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-9060

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
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8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315
ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 ▲ (F) 410-465-6644
WWW.BEI-CIVLENGINEERING.COM

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TITLE:	REVISED ONSITE SEWAGE DISPOSAL PLAN		
HOUSE TYPE:	CUSTOM - KEYSTONE HOMES		
DATE:	JANUARY, 2021	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	3 OF 3

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VICINITY MAP

SCALE: 1" = 2000'



BENCHMARK INFORMATION NAD83

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EASTING: 1319266.269'	EASTING: 1318257.375'
ELEVATION: 588.708'	ELEVATION: 561.105'

Approved Septic System Plan
 Howard County Health Department
 2000-gallon Septic Tank
 to Gravity Sewer
 Redlined 6-8-20 to revise driveway
 locations + grading.
 Signature: [Handwritten Signature]
 Date: 3/16/20

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2021.

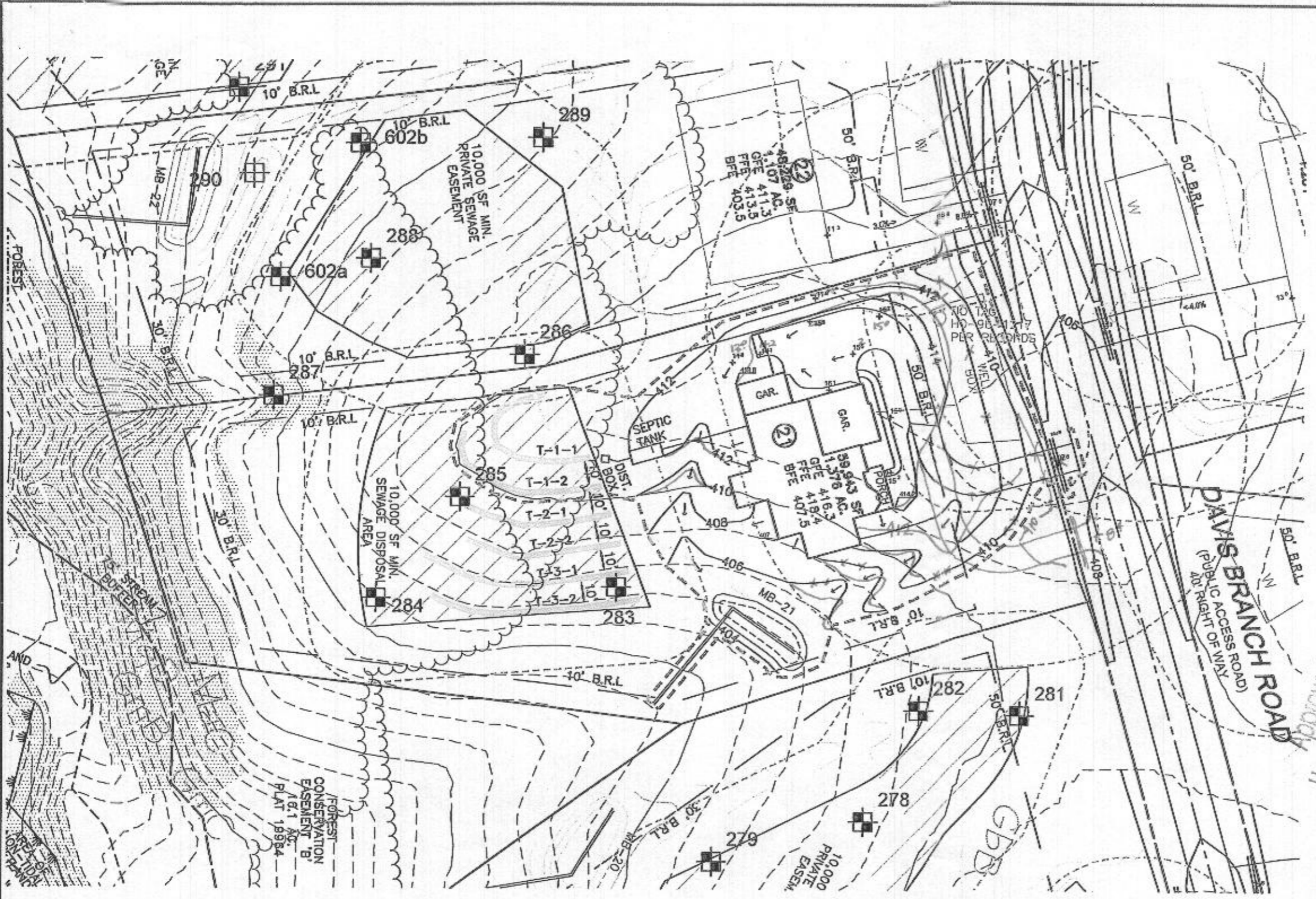


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TITLE: ONSITE SEWAGE DISPOSAL PLAN	
HOUSE TYPE: CUSTOM - KEYSTONE HOMES	
DATE: MARCH, 2020	PROJECT NO. 2099
SCALE: AS SHOWN	DRAWING 1 OF 3

OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-9060

BENCHMARK
ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.
8490 BALTIMORE NATIONAL PIKE & SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-465-6105 & (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Redlined 6-8-20 to revise driveway locations + grading.



- LEGEND**
- 400 PROPOSED CONTOURS
 - 398 EXISTING CONTOURS
 - EXISTING PRIVATE SEWAGE AREA
 - PROPOSED PRIVATE SEWAGE AREA
 - EXISTING WELL BOX
 - PROPOSED TREELINE
 - EXISTING TREELINE
 - MaC SOILS MAP SYMBOL
 - SOILS DELINEATION LINE
 - PERC TEST PASSED
 - PERC TEST FAILED

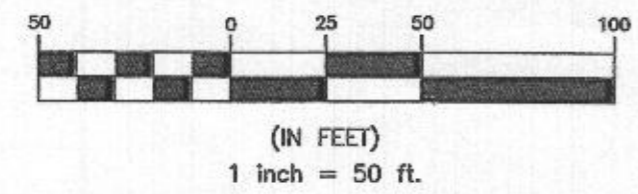
Approved Onsite Sewage System Plan
 Howard County Health Department
 2000 Gallon 5 Day Tank
 To Gravity Flow System
 Signature

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3/16/20

PLAN VIEW
1" = 50'

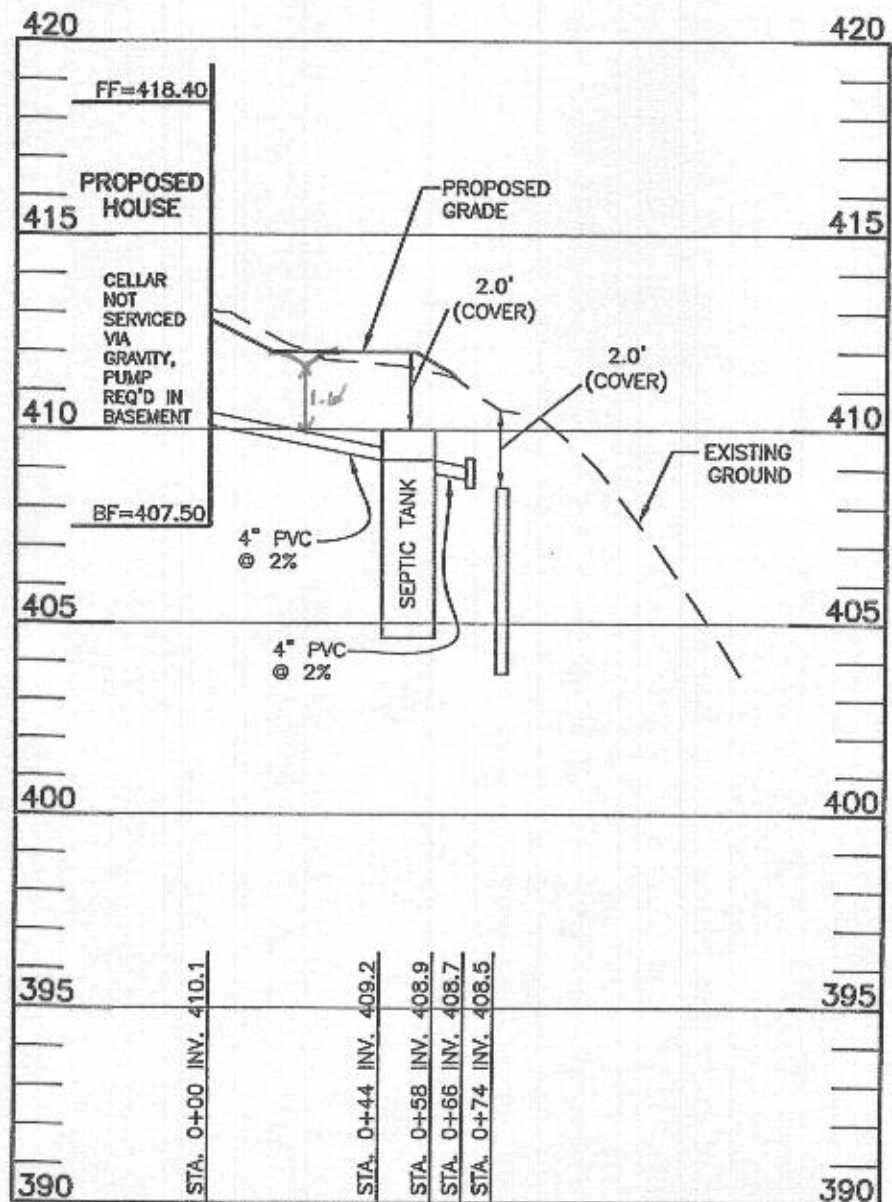


Revised 6-8-20 to revise driveway location + grading

OWNER/BUILDER:
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227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
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DATE:	MARCH, 2020	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	2 OF 3



LOT 21 OSDS
SCALE: 1"=50' HORIZ., 1"=5' VERT.

HEALTH DEPARTMENT SPEC SHEET INFORMATION - LOT 21			
System	Application Rate	Effective Depth	Bottom Depth
Initial System	1.2	6.0	8.0
1st Replacement	1.2	5.5	8.0
2nd Replacement	0.8	5.0	8.0

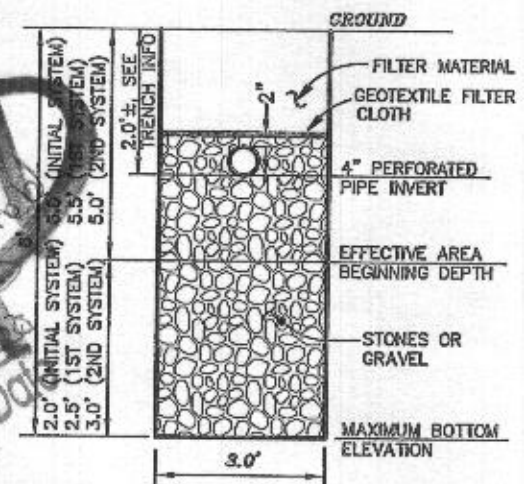
SEPTIC INVERT CHART - LOT 21	
INV @ HOUSE	410.1
GROUND @ HOUSE	412.7
INV IN SEPTIC TANK	409.2
INV OUT SEPTIC TANK	408.9
TOP OF SEPTIC TANK	410.0
GROUND OVER SEPTIC TANK	412.0

INITIAL SYSTEM		
Number of Bedrooms	6	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	6.0	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	750	sf
Sidewall Reduction Credit	0.63	
Trench width	3	ft
Effective Area Depth	2	ft
Trench Spacing	10	ft
Linear Length of trench Required	156	lf

TRENCH DESIGN - LOT 21					
INITIAL SYSTEM					
T-1-1	LENGTH	78.2 ft	T-1-2	LENGTH	78.2 ft
	GROUND ELEVATION	411.2		GROUND ELEVATION	410.6
	INVERT ELEVATION	409.2		INVERT ELEVATION	408.6
	MAX BOTTOM ELEVATION	403.2		MAX BOTTOM ELEVATION	402.6
1ST REPLACEMENT SYSTEM					
T-2-1	LENGTH	69.5 ft	T-2-2	LENGTH	69.5 ft
	GROUND ELEVATION	409.2		GROUND ELEVATION	407.5
	INVERT ELEVATION	407.2		INVERT ELEVATION	405.5
	MAX BOTTOM ELEVATION	401.2		MAX BOTTOM ELEVATION	399.5
2ND REPLACEMENT SYSTEM					
T-3-1	LENGTH	93.8 ft	T-3-2	LENGTH	93.8 ft
	GROUND ELEVATION	405.7		GROUND ELEVATION	403.6
	INVERT ELEVATION	403.7		INVERT ELEVATION	401.6
	MAX BOTTOM ELEVATION	397.7		MAX BOTTOM ELEVATION	395.6

1ST REPLACEMENT SYSTEM		
Number of Bedrooms	6	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	5.5	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	750	sf
Sidewall Reduction Credit	0.56	
Trench width	3	ft
Effective Area Depth	2.5	ft
Trench Spacing	10	ft
Linear Length of trench Required	139	lf

2ND REPLACEMENT SYSTEM		
Number of Bedrooms	6	
Application Rate	0.8	gpd/sf
Effective Area Beginning Depth	5.0	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	1125	sf
Sidewall Reduction Credit	0.50	
Trench width	3	ft
Effective Area Depth	3	ft
Trench Spacing	10	ft
Linear Length of trench Required	188	lf



TYPICAL TRENCH DETAIL
NOT TO SCALE

Approved Septic System Plan
Howard County Health Department
2000 Gallon Septic Tank
To be installed by Davis Branch
4/2/20
Signature

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2021.



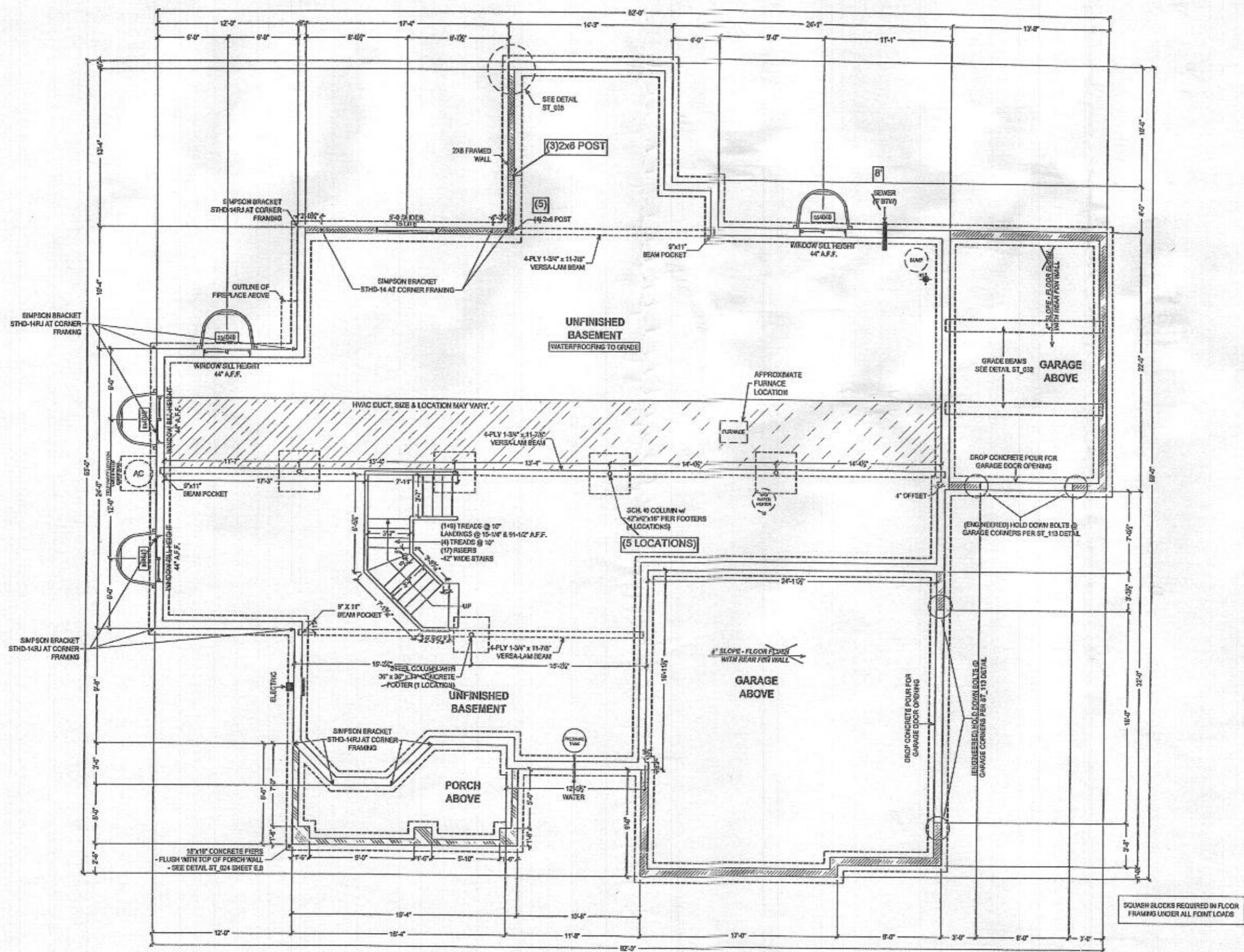
Revised 6-8-20 to correct
Grade over pipe.

SEE MANUFACTURERS SPECIFICATIONS FOR DETAILS. EQUIVALENT FROM OTHER MANUFACTURERS CAN BE SUBSTITUTED.

OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-9060

BENCHMARK
ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE & SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-465-8105 & (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

PROJECT:	MYRTUE PROPERTY LOT 21		
LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1939 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404		
TITLE:	ONSITE SEWAGE DISPOSAL PLAN		
HOUSE TYPE:	CUSTOM - KEYSTONE HOMES		
DATE:	MARCH, 2020	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	3 OF 3



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227 GRANITE RUN DRIVE, SUITE 100
 LANCASTER, PENNSYLVANIA 17601
 PH: (717) 464-9060 • FAX: (717) 464-9046
 www.keystonecustomhomes.com



KEYSTONE CUSTOM HOMES, INC.

FOUNDATION PLAN
 MRS021
 SKLAR
 DATE: FEB 14 2020
 SCALE: AS NOTED
 DRAWN BY: M. HERSHEY
 SHEET: P1.2
 OF: 20

FOUNDATION PLAN
 SCALE: 3/8" = 1'-0"

10" THICK POLISHED CONCRETE WALLS
 12" THICK POLISHED CONCRETE WALLS
 14" THICK POLISHED CONCRETE WALLS
 16" THICK POLISHED CONCRETE WALLS

NOTE TO HOMEOWNER:
 LOCATIONS SHOWN FOR SEWER, PLUMBING, AND OTHER MECHANICAL
 ITEMS WILL BE IDEAL IF POSSIBLE. ACTUAL PLACEMENT OF FURNACE, WATER
 HEATER, ETC. MAY VARY FROM THIS PLAN. REFER TO THE CONTRACT DOCUMENTS.

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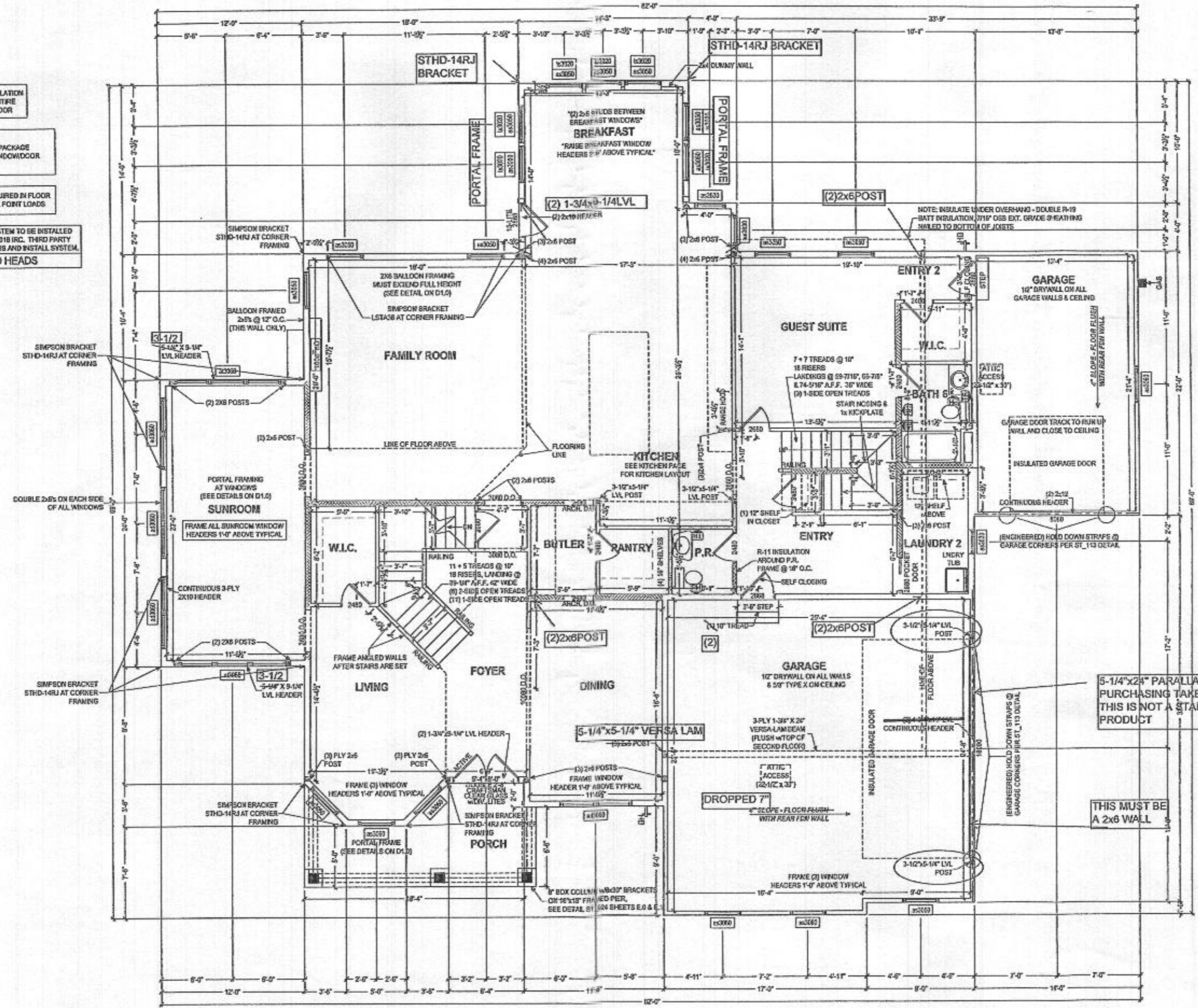
PROJECT: FIRST FLOOR PLAN
DRAWN BY: MRS021 SKLAR
DATE: FEB 14 2020
SCALE: AS NOTED
DESIGNED BY: MHERSHEY
DATE: 2/14/20

R-11 BATT INSULATION BETWEEN 1st & 2nd FLOOR

NOTE: WIDE INTERIOR TRIM PACKAGE ALLOW 4" FOR ALL WINDOW/DOOR HEADER TRIM

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2018 IBC. THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM. CONCEALED HEADS



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

5-1/4"x24" PARALLAM HEADER
PURCHASING TAKE NOTE:
THIS IS NOT A STANDARD
PRODUCT

THIS MUST BE
A 2x6 WALL