

RECEIVED

PERMIT NUMBER: B 20003387

DATE ACCEPTED:

SEP 29 2020

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 18411 Hidden Creek Way
City: Mount Airy
State: MD
Subdivision/Village/Complex Name: Windsor Forest Knolls
Lot: 13
Tax Map: 6, Grid 16
Parcel: 57

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant unimproved lot
Proposed Use: SFD
Estimated Cost: \$325,425.00
Residential New Single Family Dwelling (Detached)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): Sonshine MD, LP
Owner's Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Keystone Custom Homes
Contact Name: Gregg Reinsmith
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601

CONTRACTOR INFORMATION REQUIRED

Business Name: Keystone Custom Homes
Licensee's Name:
License #: MHBR# 2937 (exp 12/01/2021)
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Paul B. Elser, P.E.
Name: Paul Elser
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling
Utilities: Electric, Gas
Heating System: Propane
Sprinkler System: NFPA 13

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Ethan Manor
# of Bedrooms (SF): 4
# of efficiency units (MF\*):
# of 1 BR (MF\*):
# of 2 BR (MF\*):
# of 3 BR (MF\*):

AGREEMENT / DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

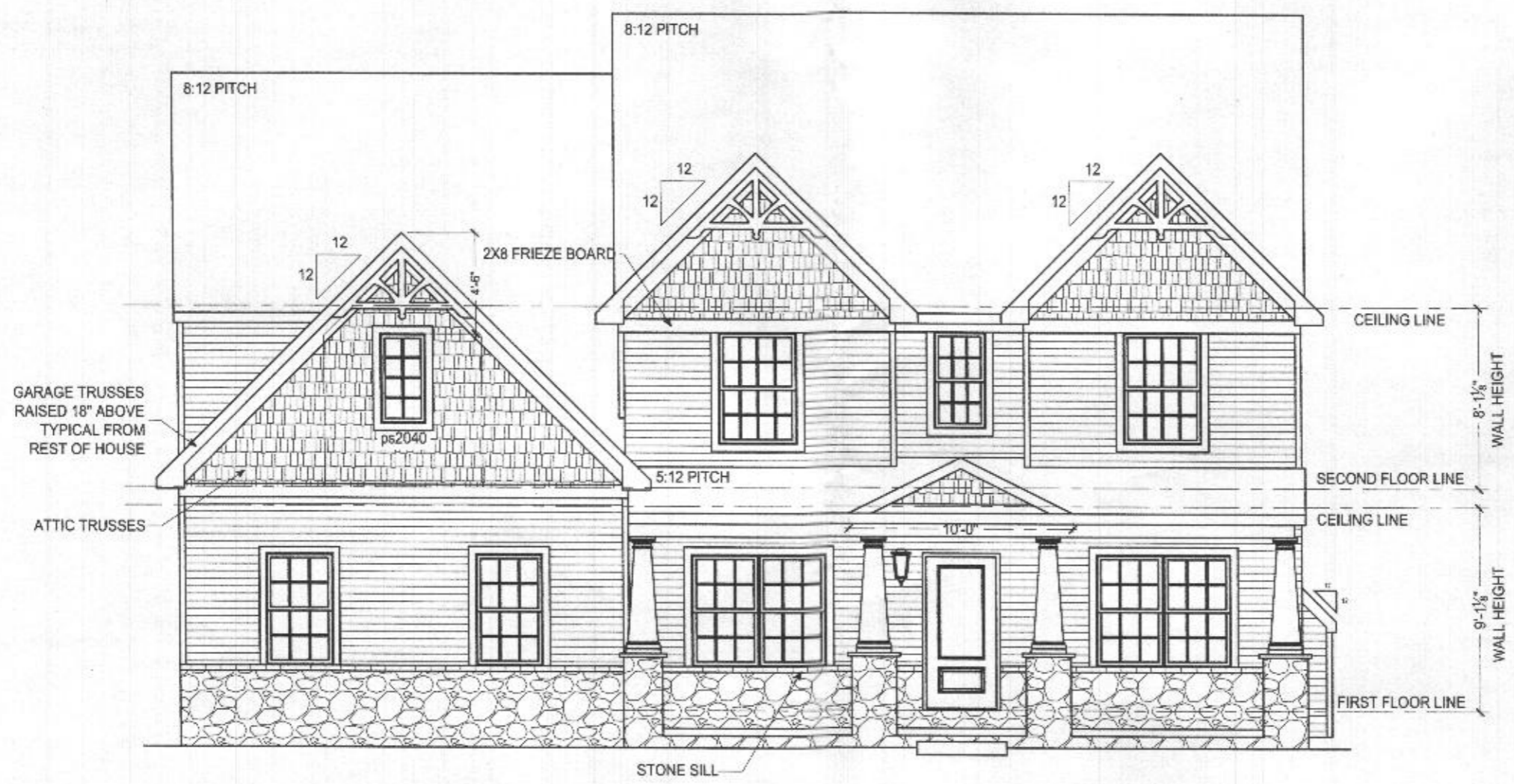
APPLICANT'S ORIGINAL SIGNATURE: Gregg Reinsmith
DATE SIGNED: 9/24/2020

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR, DPZ, DED, Health, SHA, CID
SUBMITTAL FEES: \$150.00
PAYMENT: # 1684
ACCEPTED BY: Maul



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**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

**KEYSTONE**  
CUSTOM HOMES



227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601  
PHONE: (717) 464-9060 • FAX: (717) 735-2034 • [KeystoneCustomHome.com](http://KeystoneCustomHome.com)

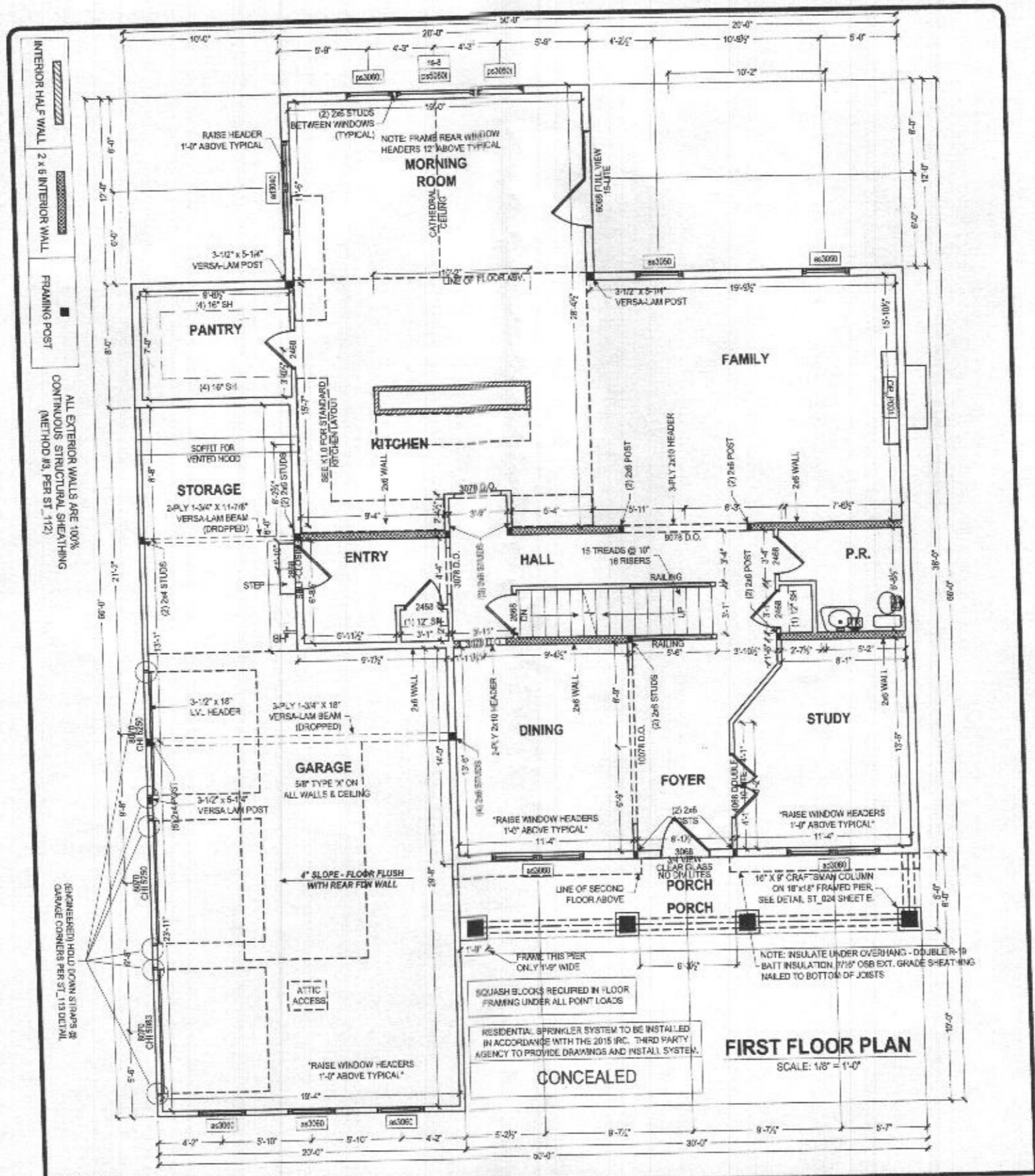
SHEET DESCRIPTION:	FRONT ELEVATION
MODEL:	EAs013 ORTANEZ/BOWLINGS

ISSUED:	JUL 20 2020
SCALE:	AS NOTED
DRAWN BY:	N.DEFEO

SHEET NO.	A1.0
PLAN ID:	aet10

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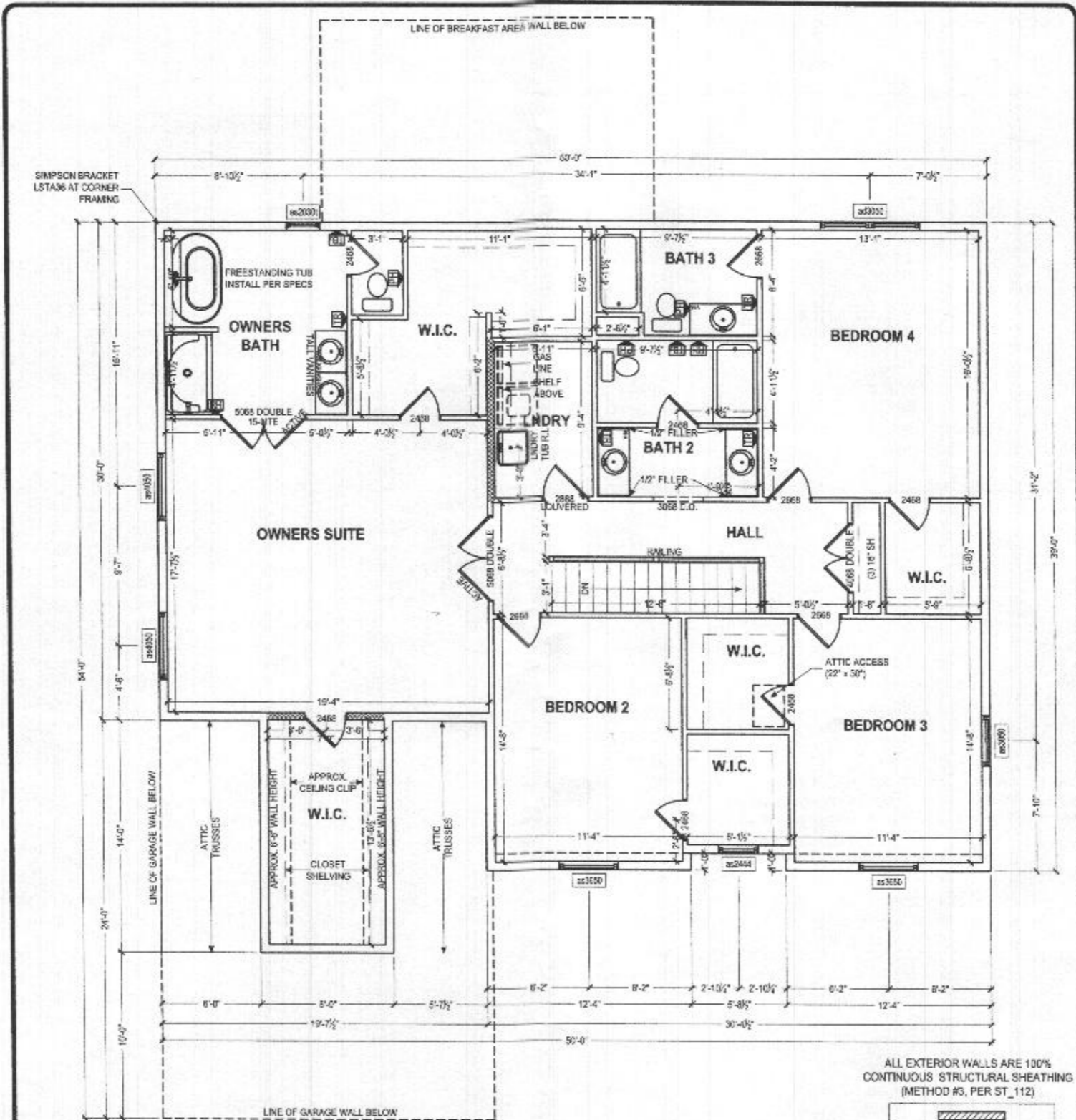
ISSUED: JULI 20 2020  
 SCALE: AS NOTED  
 DRAWN BY: NDEREBO  
 SHEET NO. P1.0  
 PLANT: aet10

SHEET DESCRIPTION  
 FIRST FLOOR PLAN  
 MODEL: EAs013  
 ORTANEZ/BOWLINGS

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**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

ALL EXTERIOR WALLS ARE 100% CONTINUOUS STRUCTURAL SHEATHING (METHOD #3, PER ST\_112)

	INTERIOR HALF WALL
	2 x 6 INTERIOR WALL
	FRAMING POST

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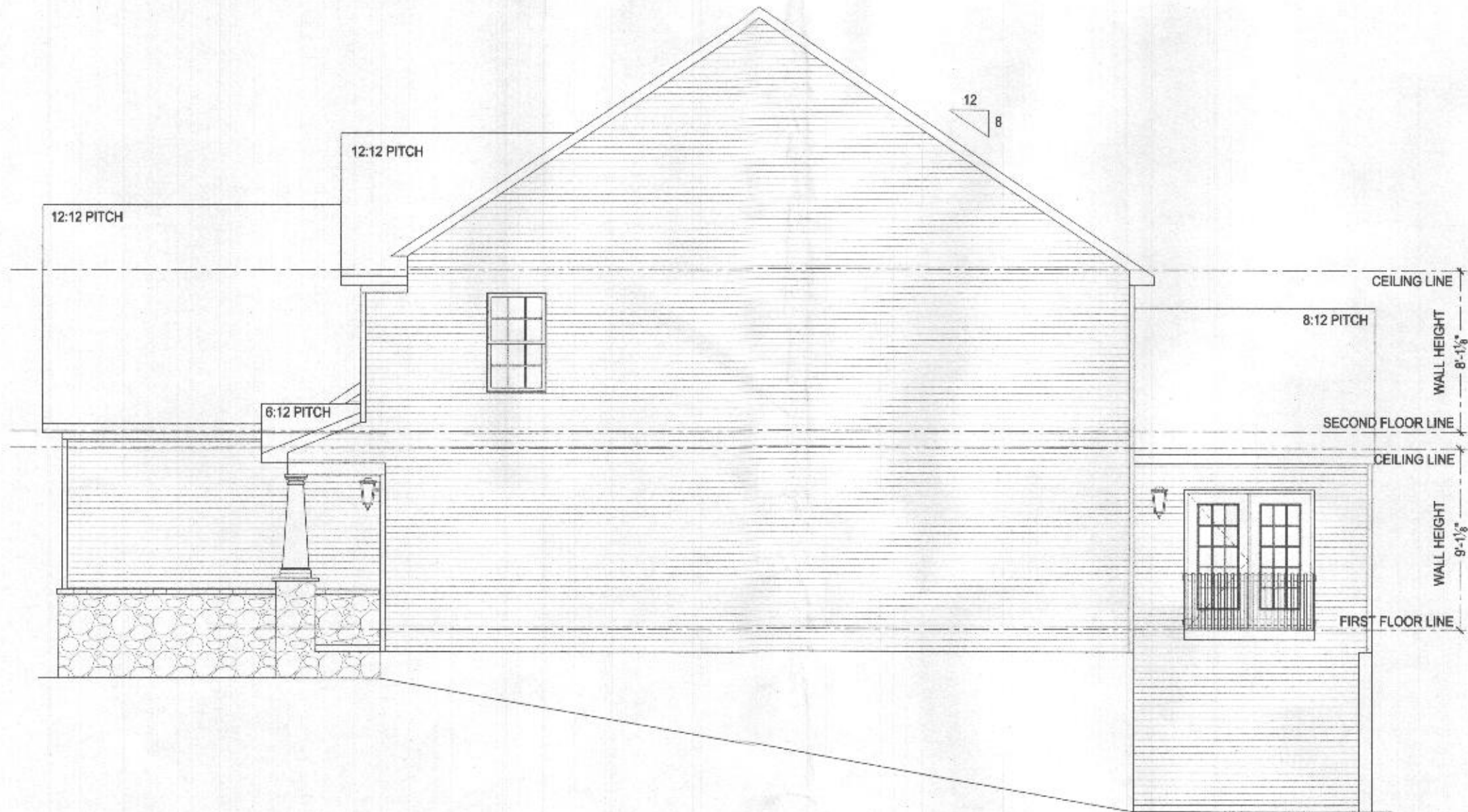
SHEET NO. <b>P1.1</b> PRINTED BY <b>alt10</b>	ISSUED: JUL 20 2020	SHEET DESCRIPTION: SECOND FLOOR PLAN
	SCALE: AS NOTED	MODEL: EAs013 ORTANEZ/BOWLINGS
DRAWN BY: N.DEFFO		

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LIVING SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



I, Professional Engineer, hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 33478, Expiration Date 09/11/2022

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www.keystonecustomhomes.com



KEYSTONE CUSTOM HOMES, INC.

SHEET DESCRIPTION	LIVING SIDE ELEVATION
MODEL	EA#013
	ORTIAÑEZ/BOWLINGS
DATE	AUG 19 2020
SCALE	AS NOTED
DRAWN BY	N.DEFEO
SHEET NO.	A1.1
PLAN NO.	ahw40

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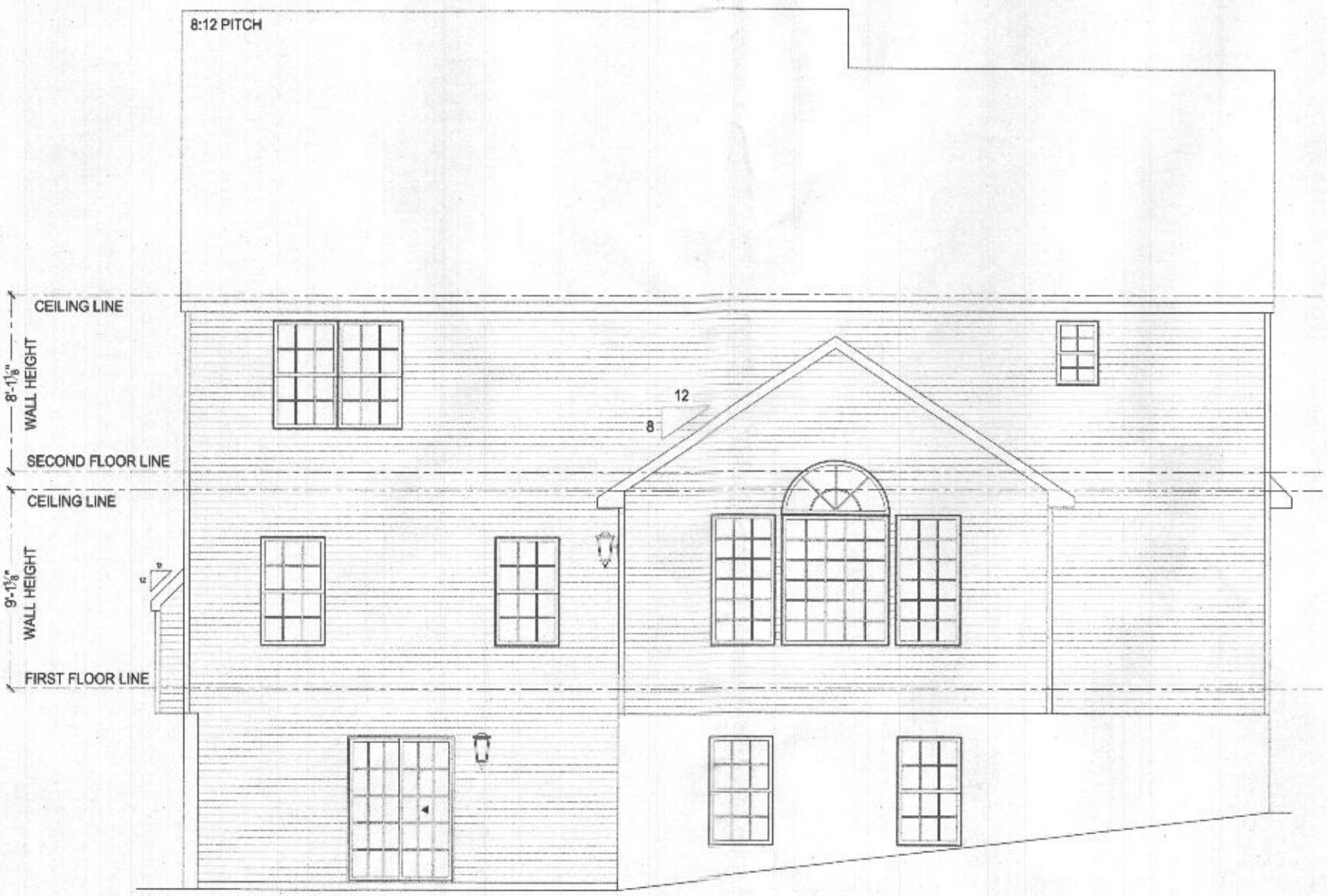
KEYSTONE CUSTOM HOMES, INC.

PROJECT: REAR ELEVATION  
 MODEL: EA#013  
 DRAWN BY: ORTANEZ/BOWLINGS

DATE: AUG 19 2020  
 SCALE: AS NOTED  
 SHEET NO: A1.2  
 DRAWN BY: a h w 40



I, Paul B. Elser, hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 35478, Expiration Date 05-16-2022.



REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



**GARAGE SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



"Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the law of the State of Maryland. License No. 38478, Expiration Date: 06-30-2027."

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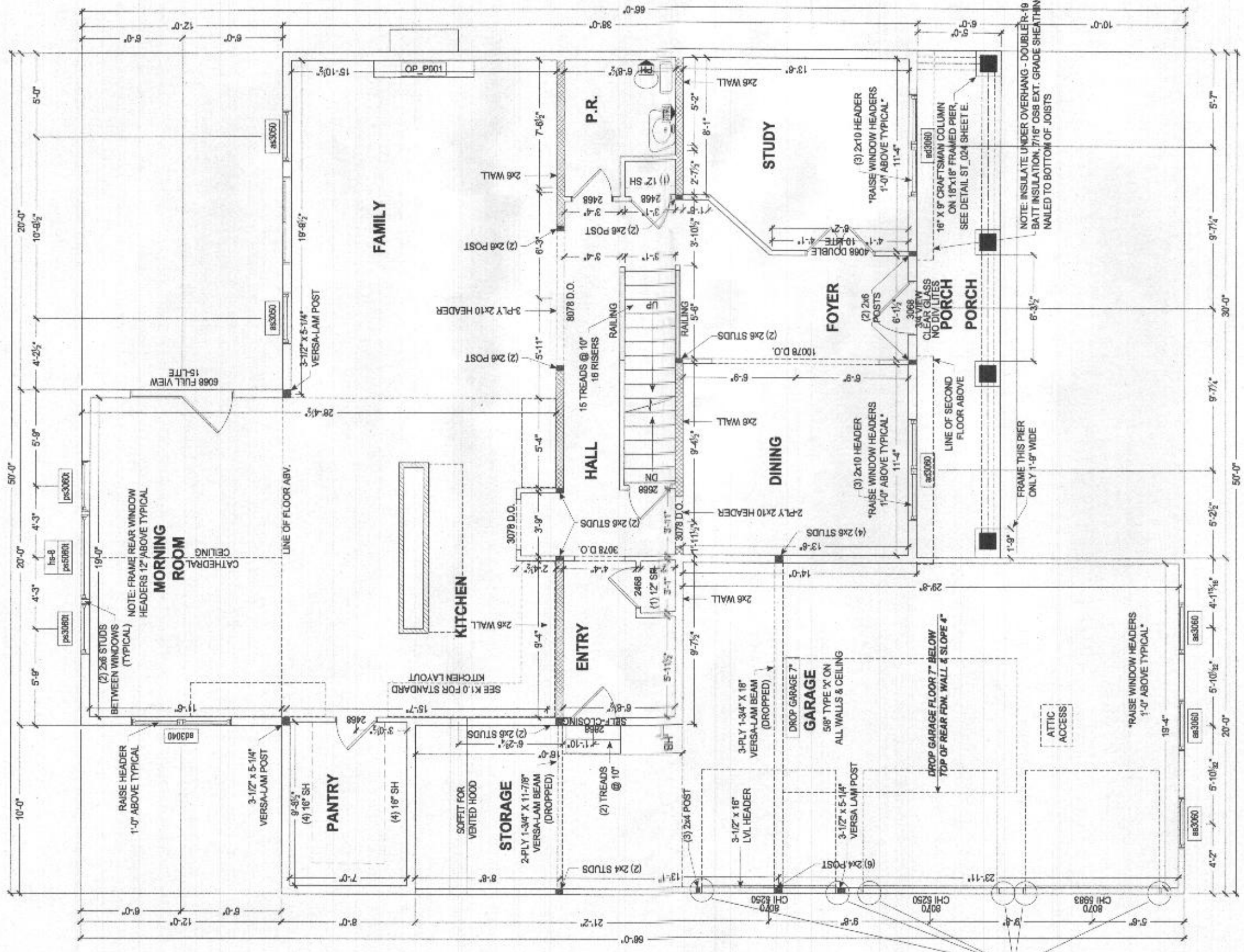
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**KEYSTONE CUSTOM HOMES, INC.**

SHEET DESCRIPTION: GARAGE SIDE ELEVATION  
DATE: AUG 19 2020  
SCALE: AS NOTED  
DRAWN BY: N.DEFED  
PROJECT: RA-4013  
CLIENT: ORTANIEZ/BOWLINGS

SHEET NO: **AL3**  
FROM: ahw 40



**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

ALL EXTERIOR WALLS ARE 10% DWT. STRUCTURAL BRACING METHOD AS PER I.C.I. LTD.  
 EXTERIOR WALLS: 2x6 EXTERIOR WALL  
 INTERIOR WALLS: 2x4 INTERIOR WALL  
 FINISHING POST: FINISHING POST

RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2015 IRC. THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM.

**CONCEALED**

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

(ENGINEERED) HOLD DOWN STRAPS @ GARAGE CORNERS PER ST\_113 DETAIL



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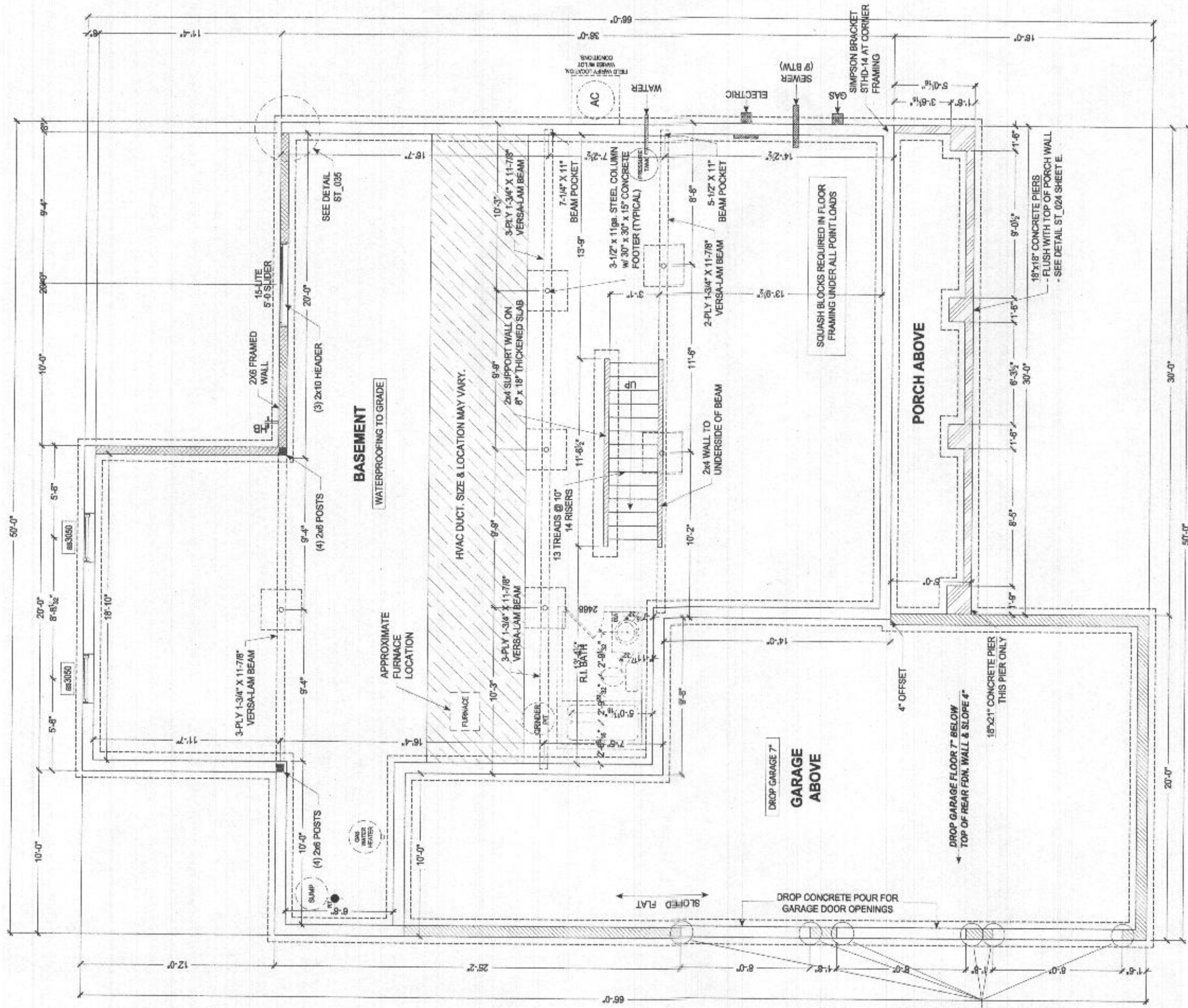


**KEYSTONE CUSTOM HOMES, INC.**

DRAWING NO: EAS013  
 PROJECT: ORTANEZ/BOWLINGS

DATE: AUG 19 2020  
 SCALE: AS NOTED  
 DRAWN BY: N. DEFO  
 CHECKED BY: P1.0  
 PLANT: ahw40





4" THICK POLISHED CONCRETE WALLS  
 6" FROM UNFINISHED MASONRY WALLS 5" MINIMUM  
 4" THICK POLISHED CONCRETE WALLS  
 CHECKED FOR WALL HEIGHT OF DOWN SPACES AND FINISH WALLS  
 4" THICK POLISHED CONCRETE WALLS  
 CHECKED FOR WALL HEIGHT OF FRONT PORCH WALLS

Professional Contributor, I hereby certify that the design and construction of the foundation shown on this plan was prepared by me or under my direct supervision and approval by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland.  
 License No. 35767, Expiration Date 10/15/2027



FOUNDATION PLAN  
 SCALE 1/4" = 1'-0"

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KEYSTONE CUSTOM HOMES, INC.

NOTE TO HOMEOWNER: THIS PLAN IS FOR INFORMATION ONLY. MECHANICAL AND ELECTRICAL ITEMS WILL BE LAYOUT BY OTHER PROFESSIONALS. ACTUAL PLACEMENT OF FURNACE, WATER HEATER, SUMP PUMP, ETC. MAY VARY DUE TO INDIVIDUAL SITE REQUIREMENTS.

PROJECT DESCRIPTION	FOUNDATION PLAN
DATE	AUG 19 2020
SCALE	AS NOTED
DRAWN BY	N. DEFED
SHEET NO.	P1.2
PLANT	ahw 40

(ENGINEERED) HOLD DOWN STRAPS @ GARAGE CORNERS PER ST. 113 DETAIL