

APPLICATION

PERCOLATION TESTING

A 46639

P _____

HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH
P.O. BOX 476 ELLICOTT CITY, MARYLAND 21043
TELEPHONE: 461-9933

DISTRICT _____

DATE 11/23/90

TO: THE COUNTY HEALTH OFFICER
ELLICOTT CITY, MARYLAND

I, HEREBY, APPLY FOR THE NECESSARY TEST IN ORDER TO CONSTRUCT (OR RECONSTRUCT) A SEWAGE DISPOSAL SYSTEM.

PROPERTY OWNER Edward E. Day

ADDRESS 2133 Cedar Circle Dr. PHONE 744-6007

PROSPECTIVE BUYER Diane C. Read

ADDRESS 3 Disney Ct. Timonium 21093 PHONE 252-0988

PROPERTY LOCATION:

SUBDIVISION EE, Day Property LOT NO. 2

ROAD AND DESCRIPTION SHAFFERSVILLE RD

TAX MAP 6 PARCEL # 119

SIZE OF LOT 3.000 Acre TYPE BLDG Single Family Dwelling
(SINGLE FAMILY DWELLING OR COMMERCIAL)

THE SYSTEM INSTALLED UNDER THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC FACILITIES BECOME AVAILABLE. I FULLY UNDERSTAND THE FEE CONNECTED WITH THE FILING OF THIS PERC TEST APPLICATION IS NON-REFUNDABLE UNDER ANY CIRCUMSTANCES. I ALSO AGREE TO COMPLY WITH ALL M.O.S.H.A. REQUIREMENTS IN TESTING THIS LOT

Edward E. Day
(SIGNATURE OF APPLICANT)

APPROVED BY _____ FOR _____ DATE _____

REJECTED BY _____ FOR _____ DATE _____

HOLD PENDING FURTHER TESTS _____ DATE _____

REASONS FOR REJECTION OR HOLDING _____

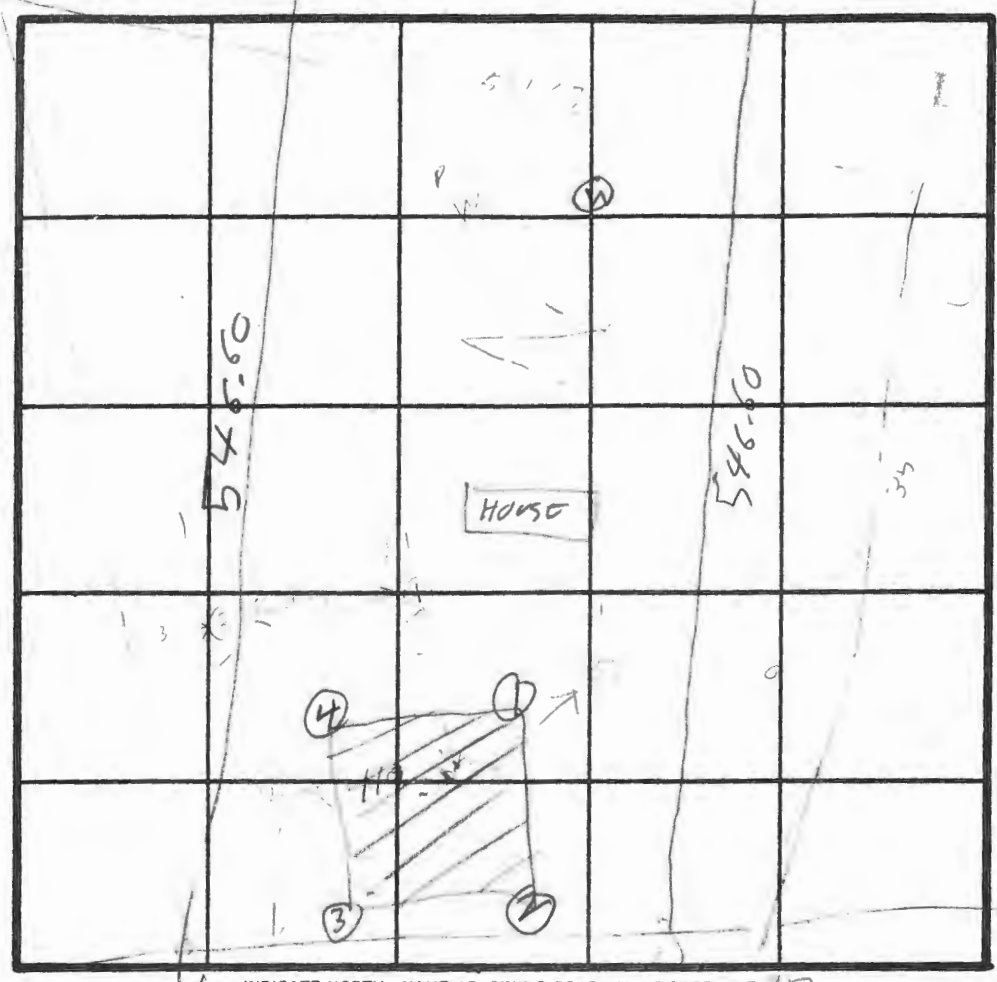
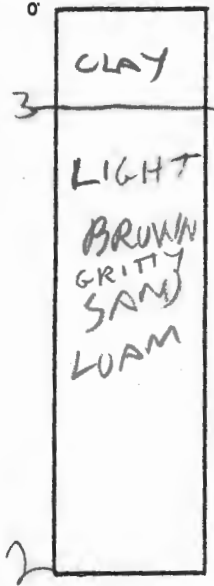
HD-216

THIS IS NOT A PERMIT

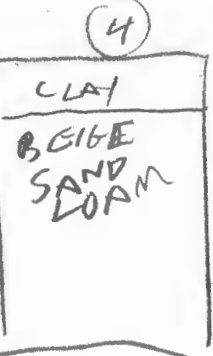
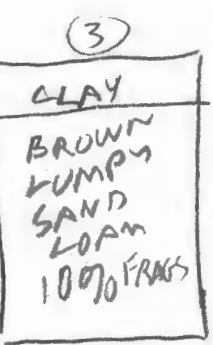
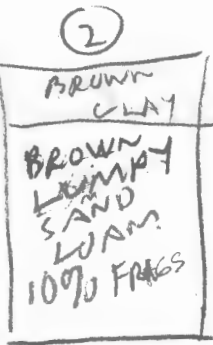
466.0
LTA

240.00

① SOIL PROFILE



INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE
SHAFERSVILLE RD



DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1" DROP		TIME
			START	STOP	START	STOP	
11/22/97	1 S	4.5	1029	1033	1033	1040	7
	1 D	3	1031	1039	1039	1051	12
	1 V	12	OK				
	2 S	4.5	1036	1042	1042	1058	16
	2 V	13	OK				
	3 S	5	1044	1050	1050	1055	5
	3 V	12					
	4 S	4	1058	1111	1111	1117	
	4 D	11.5					

REMARKS Holes dug Per Test Plat (Holes ①②③④ dug differently)

TYPE OF SOIL _____

TESTED BY R. HODGES ALSO PRESENT MR. DAY DAVE HOPKINS



HOWARD COUNTY HEALTH DEPARTMENT

Joyce M. Boyd, M.D., County Health Officer
December 17, 1990

Reply to:

Mr. Edward E. Day
2133 Cedar Circle
Baltimore, Maryland 21228

Re: PERCOLATION TEST RESULTS
A46638, A46639
Proposed Subdivision:
E. E. Day Property - Lots 1 & 2

Dear Mr. Day:


Percolation testing conducted December 11, 1990 on the above referenced property indicated satisfactory soil conditions. Copies of the test results are enclosed.

Further review is contingent upon submission by a registered engineer of a percolation certification plat showing actual locations and elevations of all excavated test holes and existing septic, house and well sites.

This should be submitted within sixty (60) days to allow field verification if necessary. If the proposal is for subdivision or for commercial use, a groundwater appropriations permit must be approved prior to approval of either the record plat or the site development plan.

If you have any questions regarding this matter, please feel free to contact me at the above address or by calling 461-9933.

Very truly yours,


Craig Williams, Director
Water and Sewerage Program

CW:cm

Enclosure (s)

cc: Vanmar Associates, Inc.
Gregory Day
File

APPLICATION FOR A PERMIT TO APPROPRIATE AND USE WATERS OF THE STATE

Water Resources Administration
Water Supply Section
Tawes Office Building
Annapolis, Maryland 21401

Surface Water Groundwater New Application Change In Existing Permit

Number _____

APPLICATION				
Edward E. Day <small>(Owner's Name)</small>			301-795-6527 <small>(Telephone Number)</small>	
880 Long Corner Road <small>(Owner's Address)</small>		Mt. Airy, <small>(Street)</small>	Maryland <small>(State)</small>	21771 <small>(Zip Code)</small>

<p>WITHDRAWAL</p> <p style="text-align: center;">GROUNDWATER</p> <p>Appropriate and use a yearly average of <u>400</u> gallons per day, <small>[total annual use - 365 days]</small> and <u>700</u> gallons <small>[highest total monthly use - days in month]</small> for the average day of the maximum month, from <u>2</u> well(s) having a diameter of <small>[number]</small> <u>6</u> inches, and a depth of <small>[estimate]</small> <u>200</u> ft. <small>[estimate]</small></p>	<p style="text-align: center;">SURFACE WATER</p> <p>Appropriate and use a yearly average of _____ gallons per <small>[total annual use - 365 days]</small> day, and a maximum use of _____ gallons in any one day, from: _____ <small>[name of stream]</small> _____ <small>[exact location of withdrawal]</small></p>
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PROJECT LOCATION		
Situated on East side of Schaffersville Rd 3000'± <small>[Location - be specific]</small> from Long Corner Road		
County <u>Howard</u>	Subdivision or town _____	Phone number <u>795-6527</u>
Name and type of business <u>Residential</u>		
ALL APPLICATIONS MUST INCLUDE A COPY OF LOCATION MAP SHOWING THE PROJECT SITE		

<p>PURPOSE</p> <p>The water will be used for:</p> <p><input type="checkbox"/> Community Water Supply</p> <p><input type="checkbox"/> Non-Potable supply (sanitary uses, not for drinking water)</p> <p><input checked="" type="checkbox"/> Potable Supply (drinking water, etc.)</p> <p><input type="checkbox"/> Cooling Water</p> <p><input type="checkbox"/> Irrigation</p> <p><input type="checkbox"/> Process Water</p> <p><input type="checkbox"/> Other _____ <small>[explain]</small></p>	<p>WASTEWATER TREATMENT AND DISPOSAL</p> <p><input type="checkbox"/> Public Sewer _____ <small>[name of system]</small></p> <p><input type="checkbox"/> Groundwater</p> <p><input checked="" type="checkbox"/> Subsurface (tilefield, seepage pit, etc.)</p> <p><input type="checkbox"/> Spray Irrigation</p> <p><input type="checkbox"/> Other, explain _____</p> <p><input type="checkbox"/> Surface Water _____ <small>[name of stream]</small></p> <p>Discharge Permit # _____ or applied for _____</p>
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<p>SIGNATURE</p> <p>Please sign here <u>Edward E. Day</u> <small>[signature]</small></p> <p><u>Edward E. Day, Owner,</u> <small>[please print name, title, and date here]</small></p>	<p>THIS APPLICATION WILL NOT BE PROCESSED WITHOUT A SIGNATURE AND A LOCATION MAP</p>
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REVIEW BY COUNTY HEALTH DEPARTMENT OR DESIGNATED AGENCY	
<p>THIS SECTION NOT TO BE COMPLETED BY APPLICANT</p> <p>Is this Project consistent with the County Water and Sewerage Plan and local planning and zoning?</p> <p><input type="checkbox"/> YES <input type="checkbox"/> NO, explain _____</p> <p>Signature of county representative _____</p>	



HOWARD COUNTY HEALTH DEPARTMENT

Joyce M. Boyd, M.D., County Health Officer

November 23, 1990

Reply to:

Mr. Gregory E. Day
880 Long Corner Road
Mt. Airy, Maryland 21771

RE: Percolation Testing
Edward E. Day Property
Lots 1 and 2
Shaffersville Road

Dear Mr. Day:

A percolation test date has been reserved for 10:00 a.m., Tuesday, December 11, 1990.

You will be responsible for having a contractor on-site to excavate test holes in the corners of the proposed percolation areas.

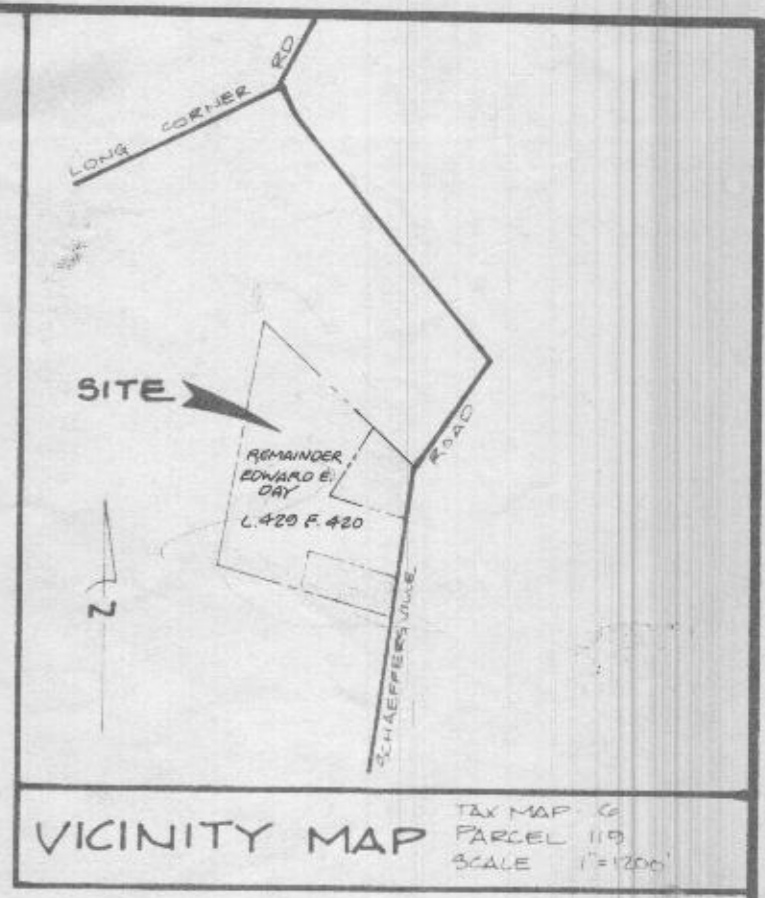
Please call this office between 8:30 a.m. and 4:30 p.m., Monday through Friday, to confirm your acceptance of this percolation test date.

Thank you for your cooperation in this matter.

Very truly yours,

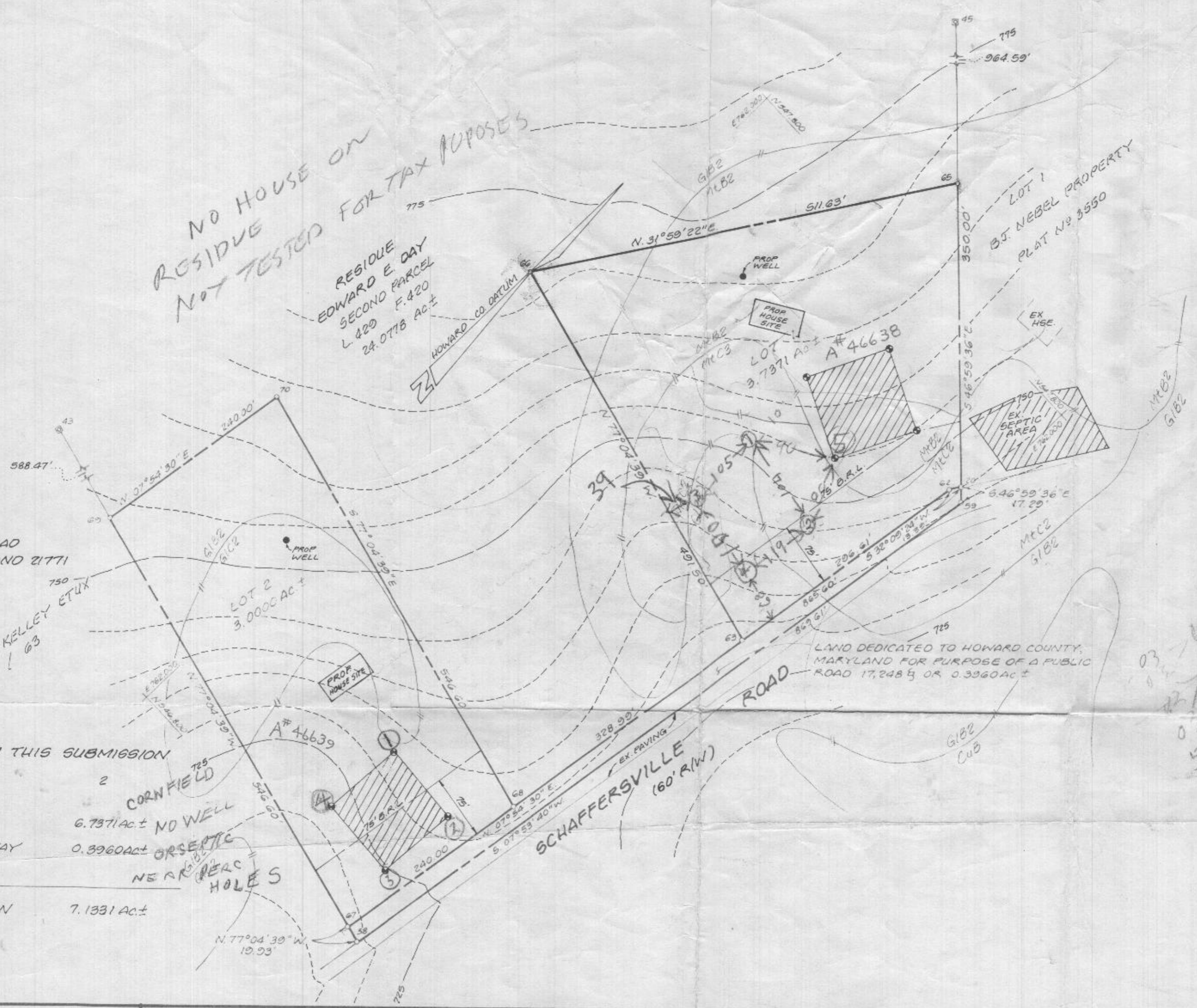
Jane E. Nadeau
Jane Nadeau, Sanitarian
Water and Sewerage Program

JN:jr



NOTE:

THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWERAGE EASEMENTS. RECORDATION OF A MODIFIED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.



OWNER:
EDWARD E. DAY
880 LONG CORNER ROAD
MOUNT AIRY, MARYLAND 21771
(301) 795-6527

TOTAL TABULATION THIS SUBMISSION	
TOTAL NO LOTS TO BE RECORDED	2
TOTAL AREA OF LOTS	6.7371 AC ±
TOTAL AREA OF ROADWAY TO BE RECORDED	0.3960 AC ±
TOTAL AREA SUBDIVISION TO BE RECORDED	7.1331 AC ±

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

PLANNING DIRECTOR DATE

APPROVED: FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR DATE

OWNERS DEDICATION

I, EDWARD EMORY DAY, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS PLAN BY THE OFFICE OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT, AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHT OF WAYS AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOOD PLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE AND SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOOD PLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION REPAIR AND MAINTENANCE (4) THAT NO BUILDINGS OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS OF WAY

WITNESS OUR HANDS THIS 26th DAY OF October 1990.

10/26/90 Edward Emory Day
DATE EDWARD EMORY DAY, OWNER

10/24/90 Deborah Parris
DATE WITNESS

SURVEYORS CERTIFICATION

I CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF PART OF THE LAND CONVEYED BY WILLIAM DORSEY DAY AND GENEVIEVE M. DAY, TO EDWARD EMORY DAY, BY DEED DATED DECEMBER 15th 1964 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 429 AT FOLIO 420 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED.

DATE 10/18/90

Sourabh G. Munshi
SOURABH G. MUNSHI
PROF. L.S. NO. 10,770

RECORDED AS PLAT _____ ON _____
AMONG THE LAND RECORDS OF HOWARD COUNTY

PERCOLATION TEST PLAT

LOTS 1 AND 2 SECTION ONE

EDWARD E. DAY

SUBDIVISION

SITUATED ON SCHAFFERSVILLE ROAD

TAX MAP G PARCEL 119

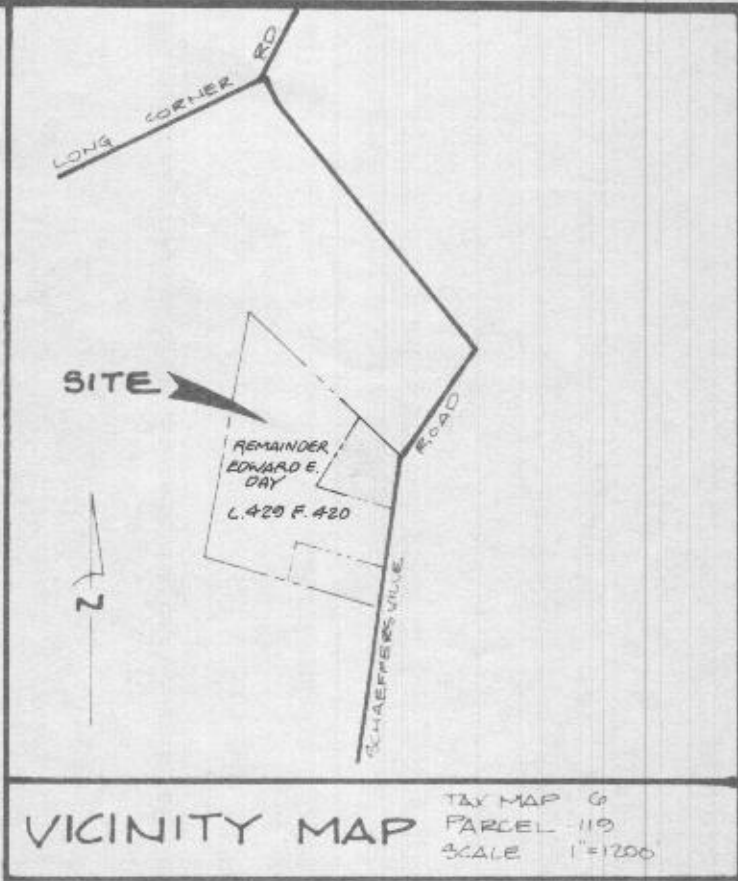
FOURTH ELECTION DISTRICT

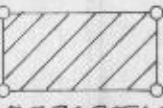
HOWARD COUNTY, MARYLAND

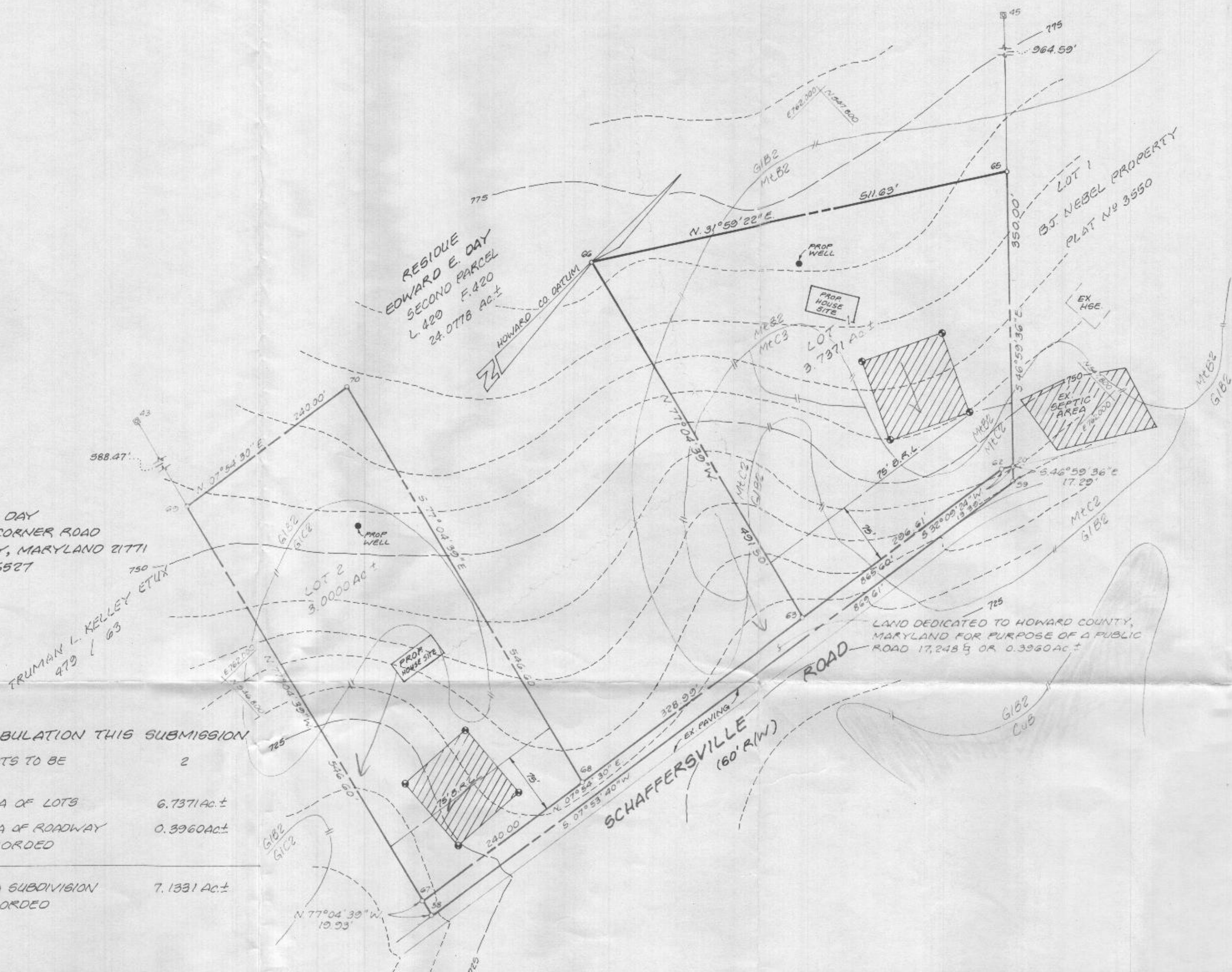
SCALE 1"=100' SEPTEMBER, 1990

VANMAR ASSOCIATES INC.
Engineers - Surveyors - Planners
310 South Main Street, Mount Airy, Maryland 21771
(301) 829-2890 (301) 831-5015 (301) 549-2751

field notes



NOTE:  THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWERAGE EASEMENTS. RECORDATION OF A MODIFIED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.



OWNER:
EDWARD E. DAY
880 LONG CORNER ROAD
MOUNT AIRY, MARYLAND 21771
(301) 795-6527

TOTAL TABULATION THIS SUBMISSION	
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TOTAL AREA OF ROADWAY TO BE RECORDED	0.3960 AC ±
TOTAL AREA SUBDIVISION TO BE RECORDED	7.1331 AC ±

*initial proposal
full tests changed S.D.A.*

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

APPROVED: FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

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WITNESS OUR HANDS THIS 26th DAY OF October 1990.
 10/26/90 Edward Emory Day OWNER
 EDWARD EMORY DAY,
 10/26/90 Deborah Puisse WITNESS
 DEBORAH PUISSIE

SURVEYORS CERTIFICATION
I CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT, THAT IT IS A SUBDIVISION OF PART OF THE LAND CONVEYED BY WILLIAM DORSEY DAY AND GENEVIEVE M. DAY, TO EDWARD EMORY DAY, BY DEED DATED DECEMBER 15TH 1964 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 429 AT FOLIO 420 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED.

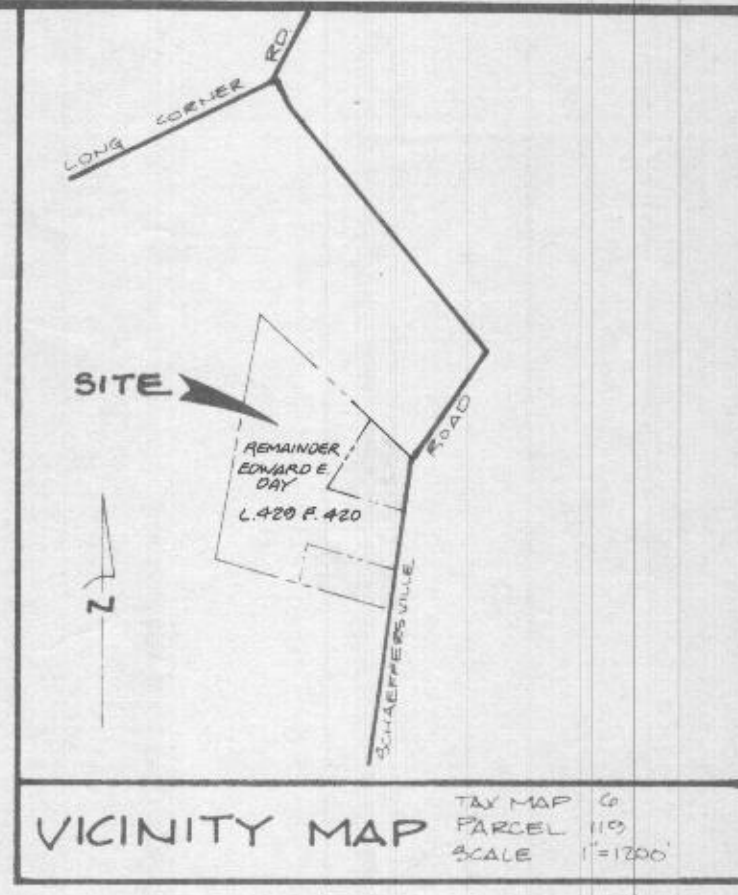


DATE 10/18/90
Sourabh G. Munshi
 SOURABH G. MUNSHI
 PROF. L.S. NO. 10,710


RECORDED AS PLAT _____ ON _____ AMONG THE LAND RECORDS OF HOWARD COUNTY

PERCOLATION TEST PLAT
 LOTS 1 AND 2 SECTION ONE
EDWARD E. DAY
SUBDIVISION
 SITUATED ON SCHAFFERSVILLE ROAD
 TAX MAP G PARCEL 119
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE 1"=100' SEPTEMBER, 1990

 **VANMAR ASSOCIATES INC.**
 Engineers • Surveyors • Planners
 310 South Main Street, Mount Airy, Maryland 21771
 (301) 829-2890 (301) 831-5015 (301) 549-2751

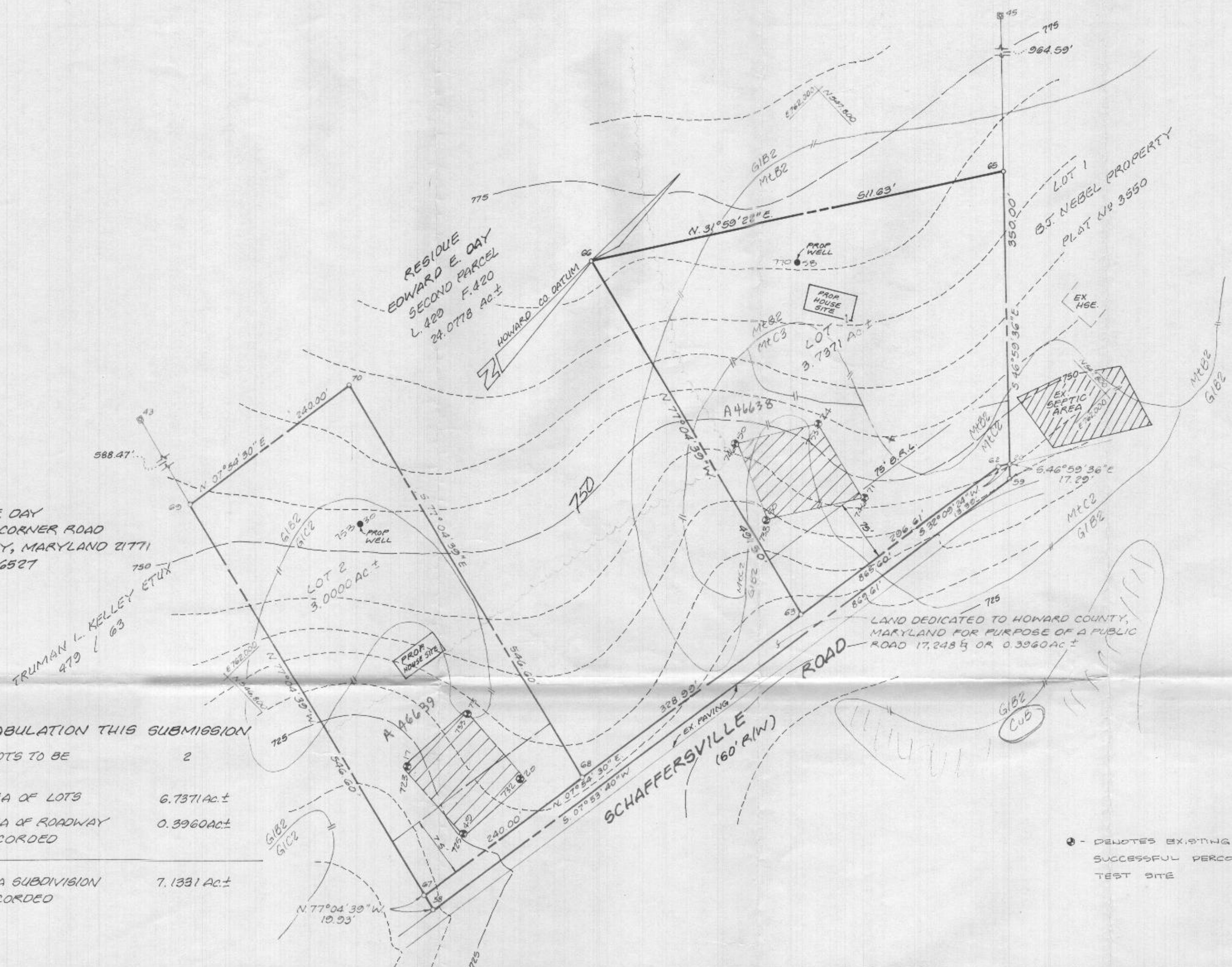


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OWNER:
 EDWARD E. DAY
 880 LONG CORNER ROAD
 MOUNT AIRY, MARYLAND 21771
 (301) 795-6527

TOTAL TABULATION THIS SUBMISSION	
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TOTAL AREA OF LOTS	6.7371 AC ±
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• - DENOTES EXISTING SUCCESSFUL PERCOLATION TEST SITE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

APPROVED: FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

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WITNESS OUR HANDS THIS 26th DAY OF October 1990.

10-26-90 Edward Emory Day OWNER
 DATE EDWARD EMORY DAY,
10/26/90 Shondy Parris WITNESS
 DATE SHONDY PARRIS

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Sourabh G. Munshi
 SOURABH G. MUNSHI
 PROF. L.S. NO. 10,770



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EDWARD E. DAY
SUBDIVISION
 SITUATED ON Schaffersville ROAD
 TAX MAP 6 PARCEL 119
 FOURTH SECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: 1"=100' SEPTEMBER, 1990

 **VANMAR ASSOCIATES INC.**
 Engineers-Surveyors-Planners
 310 South Main Street, Mount Airy, Maryland 21771
 (301) 829-2890 (301) 831-5015 (301) 549-2751

File No. F-91-112

Sept

Edward E. Day
(Name) Subdivision

DEPARTMENT OF PLANNING AND ZONING
FINAL PLAT ORIGINAL
SIGNATURE APPROVAL

This form is for the processing of final plat originals for signature approvals. If it is found necessary for any corrections or addition to be made on the original, the owner and consultant should be notified, along with the Division of Community Planning and Land Development and other County/State agencies that would be affected by the changes. A notation should be added to this form if the originals are changed.

DPZ

S. Anders

Date Received

26 June 91

Date Forwarded

26 June 91

Reviewing Agent

Rejected for: _____

DPW/HEALTH

F. Loomis P

Date In

6-27

Date Forwarded

6-27-91

Reviewing Agent

Rejected for: any

HEALTH/DPW

Date In

Date Forwarded

Reviewing Agent

Rejected for: _____

DPZ

Dated Received

Owner/Engineer Notified

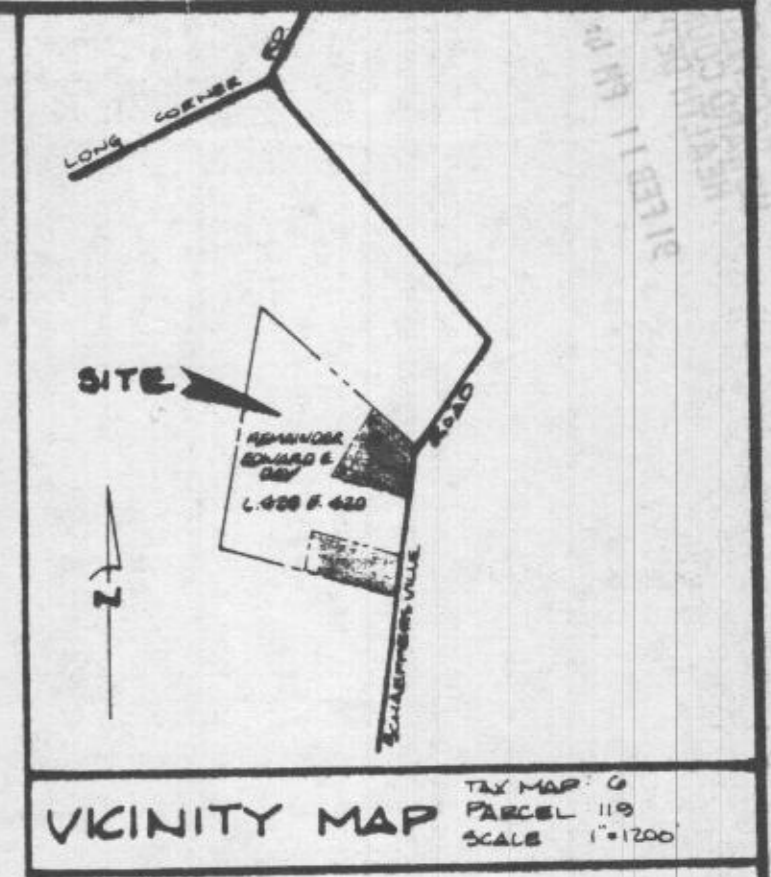
Reviewing Agent

Actions or Revisions Needed: _____

DPZ-DOLD & ZA _____

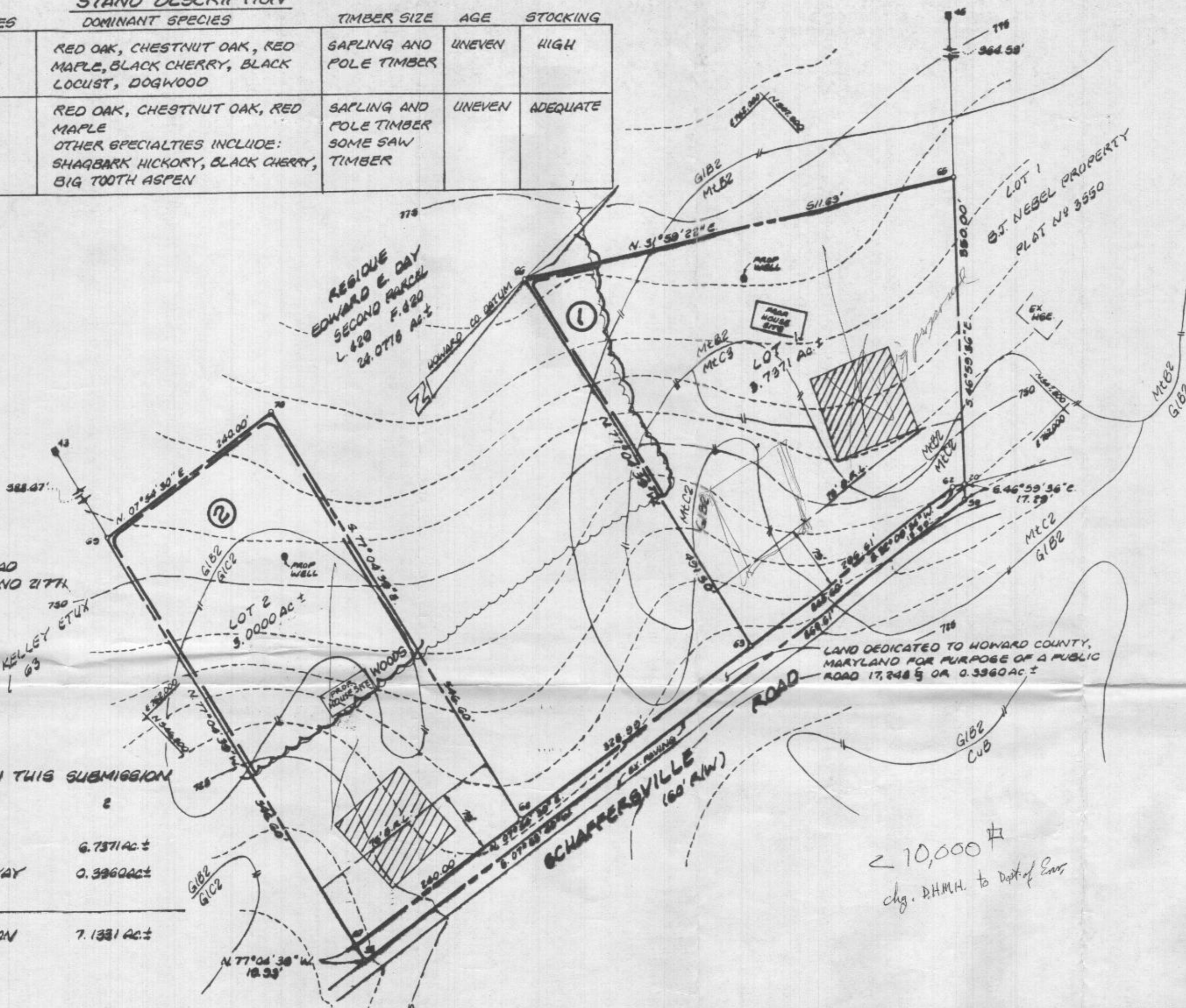
STAND DESCRIPTION

STAND NO.	AREA ACRES	DOMINANT SPECIES	TIMBER SIZE	AGE	STOCKING
①	0.29±	RED OAK, CHESTNUT OAK, RED MAPLE, BLACK CHERRY, BLACK LOCUST, DOGWOOD	SAPLING AND POLE TIMBER	UNEVEN	HIGH
②	1.82±	RED OAK, CHESTNUT OAK, RED MAPLE OTHER SPECIALTIES INCLUDE: SHAGBARK HICKORY, BLACK CHERRY, BIG TOOTH ASPEN	SAPLING AND POLE TIMBER SOME SAW TIMBER	UNEVEN	ADEQUATE



OWNER:
EDWARD E. DAY
880 LONG CORNER ROAD
MOUNT GARY, MARYLAND 21771
(301) 795-6527

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~ 10,000 \$
chg. D.H.M.H. to Dept of Env.

SOIL CHART / SLOPE ANALYSIS

GIB2	3% TO 8% SLOPE, MODERATELY ERODED
GIC2	8% TO 15% SLOPE, MODERATELY ERODED
MtB2	3% TO 8% SLOPE, MODERATELY ERODED
MtC3	8% TO 15% SLOPE, MODERATELY ERODED

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

APPROVED: FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR DATE

OWNERS DEDICATION

I, EDWARD EMORY DAY, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS PLAN BY THE OFFICE OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT, AND MAINTAIN SEWER, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHT OF WAYS AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOOD PLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE AND SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOOD PLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION REPAIR AND MAINTENANCE (4) THAT NO BUILDINGS OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS OF WAY.

WITNESS OUR HANDS THIS 26th DAY OF October 1990.

10-26-90 Edward Emory Day OWNER
DATE EDWARD EMORY DAY
10/26/90 Souresh Munshi WITNESS
DATE

SURVEYORS CERTIFICATION

I CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF PART OF THE LAND CONVEYED BY WILLIAM DORSEY DAY, AND GENEVIEVE M. DAY, TO EDWARD EMORY DAY, BY DEED DATED DECEMBER 15th 1984 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 429 AT FOLIO 420 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED.



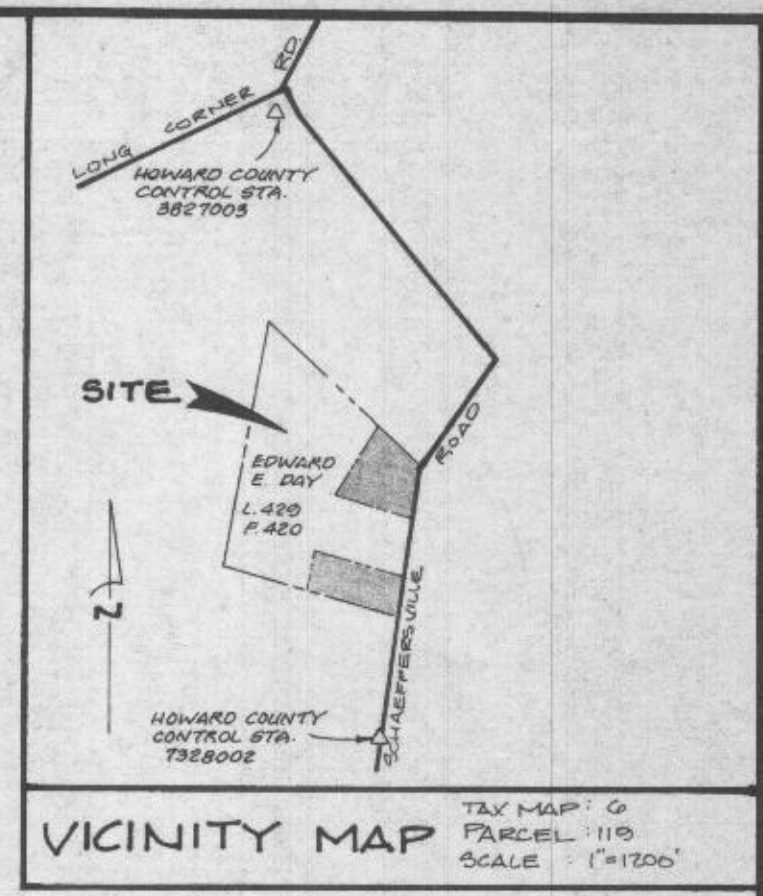
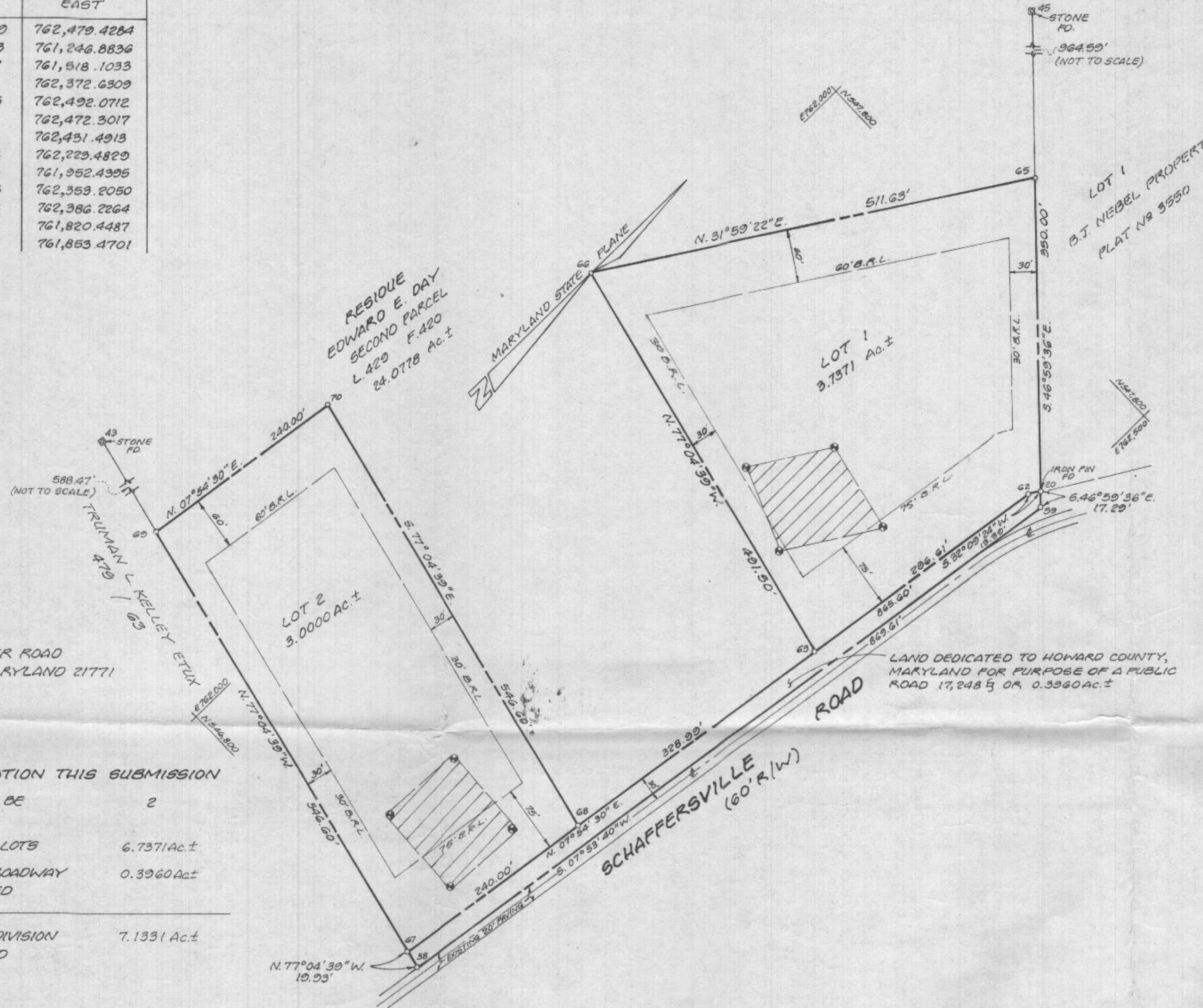
DATE 10/18/90
Souresh Munshi
SOURASH & MUNSHI
PROP. L.S. NO. 19,710

RECORDED AS PLAT _____ ON _____ AMONG THE LAND RECORDS OF HOWARD COUNTY

SOIL/SLOPE MAP AND WOODLAND ANALYSIS
LOTS 1 AND 2 SECTION ONE
EDWARD E. DAY SUBDIVISION
SITUATED ON SCHAFERSVILLE ROAD
TAX MAP G PARCEL 119
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: 1" = 100' SEPTEMBER, 1990

VANMAR ASSOCIATES INC.
Engineers-Surveyors-Planners
310 South Main Street, Mount Airy, Maryland 21771
(301) 829-2889 (301) 831-6225 (301) 548-2751

COORDINATES		
STA.	NORTH	EAST
20	547,657.6479	762,479.4284
43	547,042.7893	761,246.8836
45	548,554.3107	761,518.1033
58	546,784.4911	762,372.6309
59	547,645.8555	762,492.0712
62	547,646.3118	762,472.3017
63	547,352.5228	762,431.4913
65	547,896.3776	762,223.4829
66	547,462.4393	761,952.4395
67	546,788.0483	762,353.2050
68	547,026.6658	762,386.2264
69	546,911.1871	761,820.4487
70	547,148.9045	761,863.4701



- NOTES:**
- THE LOTS SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
 - COORDINATES ARE BASED ON MARYLAND STATE PLANE AS PROTECTED BY HOWARD COUNTY GEODETIC CONTROL STA. NO. 3827003 AND NO. 7328002.
 - THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWERAGE EASEMENTS. RECORDATION OF A MODIFIED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.
 - B.R.L. - REPRESENTS BUILDING RESTRICTION LINES
 - CONC. MON. SET (UNLESS OTHERWISE NOTED)
 - PERCOLATION TEST HOLES SHOWN HEREON HAVE BEEN FIELD LOCATED AND SHOWN - 5
 - SUBJECT PROPERTY ZONED R - RURAL
 - SUBJECT TO WP-90-151, A WAIVER FROM SECTION 16.102.B.3. TO ALLOW NOT PLATTING THE RESIDUE PARCEL, APPROVED AUGUST 16, 1990.
 - DEVELOPMENT OF THE RESIDUE WILL REQUIRE WETLANDS DELINEATION AND FLOODPLAIN STUDY AS PER WP-90-151.
 - LOTS 1 AND 2 CONTAIN NO WETLANDS, STREAMS, FLOODPLAINING OR STEEP SLOPES OF 25% OR GREATER.
 - ACCESS POINTS OF LOTS 1 AND 2 SHOULD CONFORM WITH THE SIGHT DISTANCE REQUIREMENTS OF HOWARD COUNTY DESIGN CRITERIA.

OWNER:
 EDWARD E. DAY
 880 LONG CORNER ROAD
 MOUNT AIRY, MARYLAND 21771
 (301) 795-6527

TOTAL TABULATION THIS SUBMISSION	
TOTAL NO. LOTS TO BE RECORDED	2
TOTAL AREA OF LOTS	6.7371 Ac ±
TOTAL AREA OF ROADWAY TO BE RECORDED	0.3360 Ac ±
TOTAL AREA SUBDIVISION TO BE RECORDED	7.1331 Ac ±

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

James M. Ford 7-1-91
 HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

James D. Smith 8/14/91
 PLANNING DIRECTOR DATE

APPROVED: FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James D. Smith 8/14/91
 DIRECTOR DATE

OWNERS DEDICATION

I, EDWARD EMORY DAY, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT, AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHT OF WAYS AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOOD PLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE AND SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOOD PLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION REPAIR AND MAINTENANCE (4) THAT NO BUILDINGS OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS OF WAY.

WITNESS OUR HANDS THIS 26th DAY OF October 1990.

10-26-90 *Edward Emory Day* OWNER
 EDWARD EMORY DAY
 10/26/90 *Richard J. Parris* WITNESS
 RICHARD J. PARRIS

SURVEYORS CERTIFICATION

I CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF PART OF THE LAND CONVEYED BY WILLIAM DORSEY DAY AND GENEVIEVE M. DAY, TO EDWARD EMORY DAY, BY DEED DATED DECEMBER 15th 1964 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 429 AT FOLIO 420 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED.

DATE 10/18/90

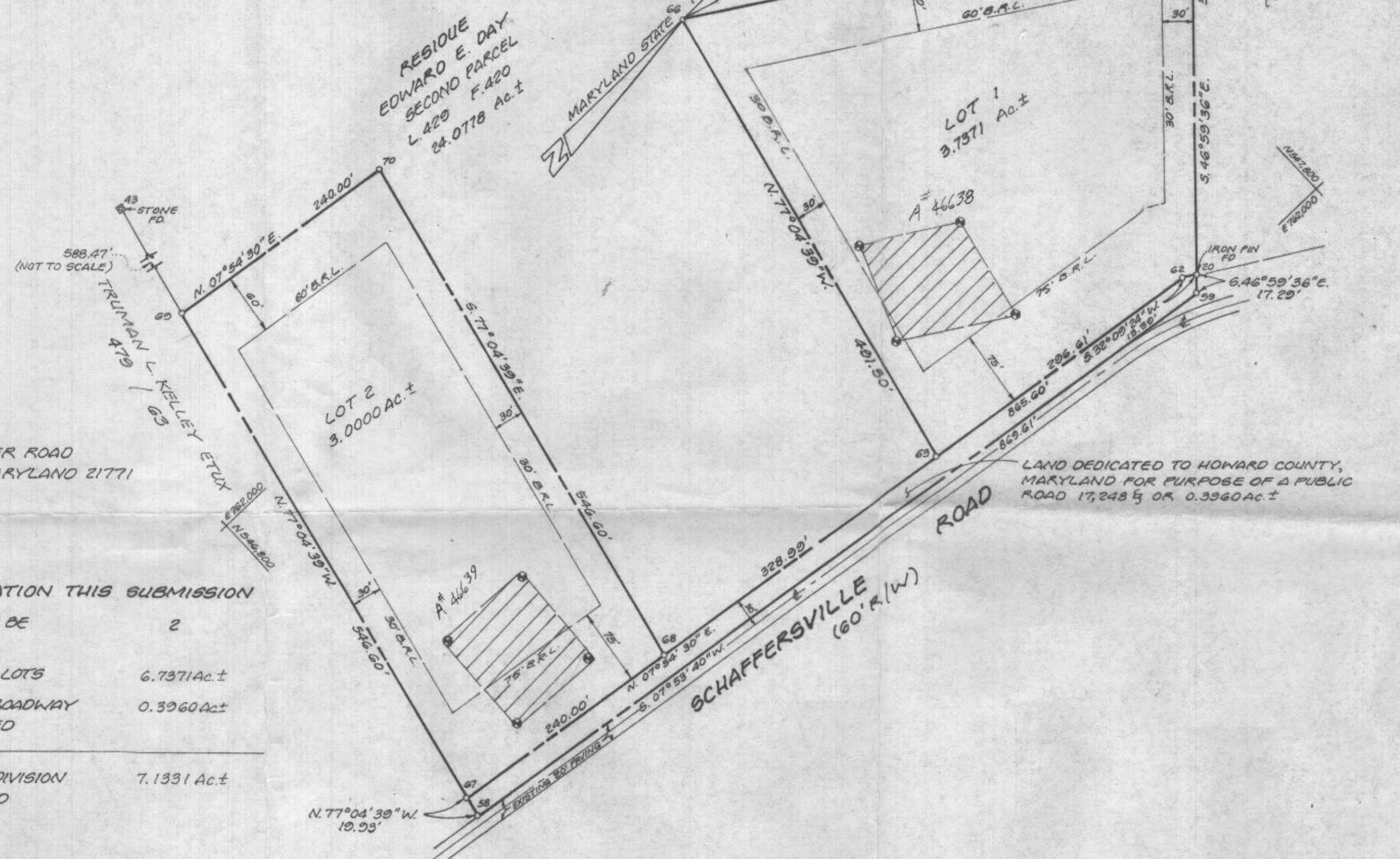
Sourabh G. Mungshi
 SOURABH G. MUNSHI
 PROF. L.S. NO. 10,770

RECORDED AS PLAT 10033 ON August 20, 1991 AMONG THE LAND RECORDS OF HOWARD COUNTY

MINOR SUBDIVISION PLAT
 LOTS 1 AND 2 SECTION ONE
 EDWARD E. DAY
 SUBDIVISION
 SITUATED ON SCHAFFERSVILLE ROAD
 TAX MAP 6 PARCEL 119
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: 1"=100' SEPTEMBER, 1990

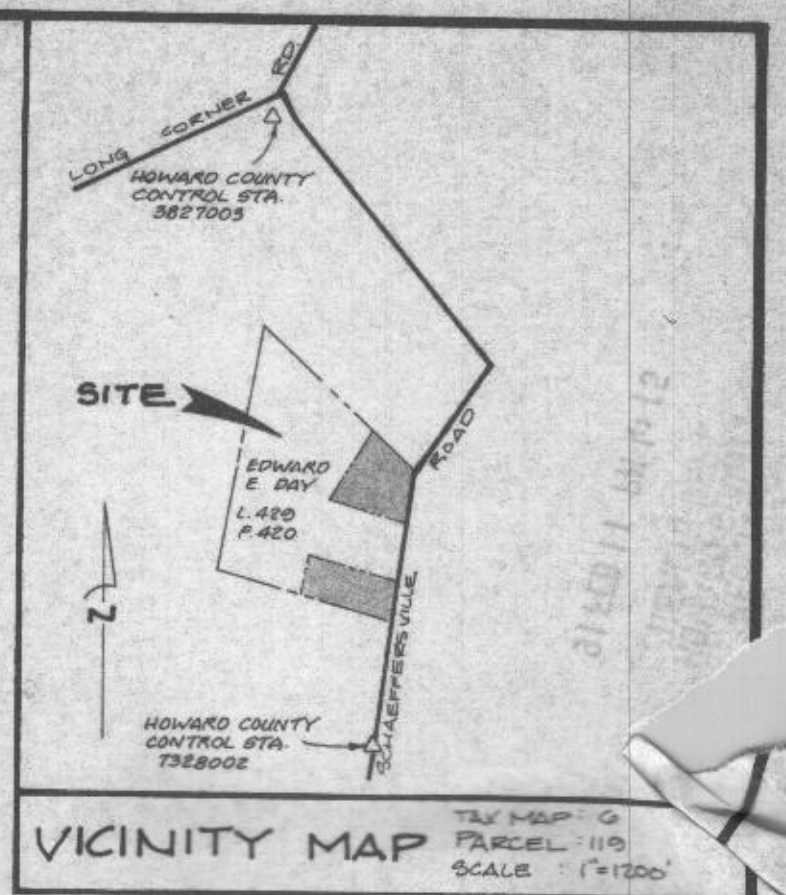
VANMAR ASSOCIATES INC.
 Engineers - Surveyors - Planners
 310 South Main Street, Mount Airy, Maryland 21771
 (301) 829-2890 (301) 831-5015 (301) 549-2751

COORDINATES		
STA.	NORTH	EAST
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68	547,026.6658	762,386.2264
69	546,911.1871	761,820.4487
70	547,148.9045	761,853.4701



OWNER:
EDWARD E. DAY
880 LONG CORNER ROAD
MOUNT AIRY, MARYLAND 21771
(301) 795-6527

TOTAL TABULATION THIS SUBMISSION	
TOTAL NO. LOTS TO BE RECORDED	2
TOTAL AREA OF LOTS	6.7371 Ac.±
TOTAL AREA OF ROADWAY TO BE RECORDED	0.3960 Ac.±
TOTAL AREA SUBDIVISION TO BE RECORDED	7.1331 Ac.±



- NOTES:
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE REGULATIONS.
 - COORDINATES ARE BASED ON MARYLAND STATE PLANE AS PROTECTED BY HOWARD COUNTY GEODETIC CONTROL STA. NO. 3827003 AND NO. 7328002.
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 - CONC. MON. SET (UNLESS OTHERWISE NOTED)
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 - SUBJECT PROPERTY ZONED R-RURAL
 - SUBJECT TO WP-90-151, A WAIVER FROM SECTION 16.102.B.3. TO ALLOW NOT PLATTING THE RESIDUE PARCEL.

5-25-91
app. @ note with 16 P.O.
11
6-27-91
orig. of this P.C. sent
for signature

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

APPROVED: FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

OWNERS DEDICATION

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WITNESS OUR HANDS THIS 26th DAY OF October 1990.

10-26-90 Edward Emory Day OWNER
EDWARD EMORY DAY

10/26/90 Richard Parris WITNESS
RICHARD PARRIS

SURVEYORS CERTIFICATION

I CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF PART OF THE LAND CONVEYED BY WILLIAM DORSEY DAY AND GENEVIEVE M. DAY, TO EDWARD EMORY DAY, BY DEED DATED DECEMBER 15th, 1984 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 429 AT FOLIO 420 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED.

DATE 10/18/90

Sourabh G. Munshi
SOURABH G. MUNSHI
PROF. L.S. No. 10,770

RECORDED AS PLAT _____ ON _____
AMONG THE LAND RECORDS OF HOWARD COUNTY

MINOR SUBDIVISION PLAT

LOTS 1 AND 2 SECTION ONE

EDWARD E. DAY
SUBDIVISION

SITUATED ON SCHAFERSVILLE ROAD
TAX MAP 6 PARCEL 119
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: 1" = 100' SEPTEMBER, 1990

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