

NDV CB200731

PERMIT NUMBER: B

20005089

DATE ACCEPTED:

RECEIVED

SEP 15 2020

RESIDENTIAL BUILDING PERMIT APPLICATION 2020
 HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455
 www.howardcountymd.gov

BUILDING SITE ADDRESS *REQUIRED*

Street Address: **15049 Bushy Park Rd** Unit: _____
 City: **Woodbine** State: **MD** Zip Code: **21797**
 Subdivision/Village/Complex Name: **Country Springs** SDP/WP/BA #: _____
 Lot: **4** Tax Map: _____ Parcel: **04-351649** Grading Permit #: _____

DESCRIPTION OF WORK *REQUIRED*

Existing Use: **Outdoor Deck** Proposed Use: **Outdoor Deck** Estimated Cost: **\$ 7,000.00**
 Trade Work to Be Completed (*Separate Permits Required*): Mechanical (HVACR) Electrical Plumbing None
Replace wood surface decking and guard railings on existing deck and stairs with new PVC decking, trim, and composite guard railings. See Continuation Sheet for complete Description of Work.

PROPERTY OWNER INFORMATION *REQUIRED*

Owner(s) Name(s) (*As it appears on tax records*): **HUNT DENNIS H TR, HUNT LINDA O TR** Primary Residence: Yes No
 Owner's Street Address: **15049 Bushy Park Rd**
 City: **Woodbine** State: **MD** Zip Code: **21797**
 Phone: **(410) 489-7625** Email: **dhhunt49@gmail.com**

APPLICANT NAME *REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION*

Business Name: **Property owner. Not a business.** Contact Name: **Dennis H. Hunt**
 Street Address: **15049 Bushy Park Rd**
 City: **Woodbine** State: **MD** Zip Code: **21797**
 Phone: **(410) 489-7625** Email: **dhhunt49@gmail.com**

CONTRACTOR INFORMATION *REQUIRED*

Business Name: **Not applicable.**
 Licensee's Name: _____
 Street Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Email: _____

ARCHITECT/ENGINEER INFORMATION *INDIVIDUAL WHO SIGNED P. ANS. IF APPLICABLE*

Business Name: **Not applicable.** Name: _____
 Street Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Email: _____

BUILDING CHARACTERISTICS *REQUIRED*

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
 Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
 Heating System: Electric Natural Gas Propane Other: **Heating Oil** Roadside Tree Project: No Yes: # _____
 Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (*PLEASE SELECT/COMPLETE ALL THAT APPLY*)

Model Name & Options: **Custom floor plan.**
 # of Bedrooms (SF): **4** # of efficiency units (MF*): _____ # of 1 BR (MF*): _____ # of 2 BR (MF*): _____ # of 3 BR (MF*): _____
 # Rooms: **10** # Full Baths: **2** # Half Baths: **1** # Fireplaces: **0**
 Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
 Basement/Foundation Info: Slab on Grade Post & Pler Unfinished Basement Finished Basement: Full or Partial
 1st Fl Width: **50** 1st Fl Depth: **40** 2nd Fl Width: **36** 2nd Fl Depth: **36** Bsmt Width: **50** Bsmt Depth: **40**
 Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: **2,970** sq ft Occupiable Area: **2,970** sq ft

AGREEMENT/ DISCALIMER *REQUIRED*

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

[Signature] DATE SIGNED: **9-15-2020**

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:
 PR DPZ DED Health SHA CID
9/15/2020 R/E

SUBMITTAL FEES: _____ PAYMENT: _____ ACCEPTED BY: _____

Howard County, MD
Residential Building Permit Application - Continuation Sheet

Work Location: 15049 Bushy Park Road, Woodbine, MD 21797
Contact: Dennis H. Hunt

Description of Work

This is an existing outdoor deck. The old wood decking and railings are structurally sound, but they are weathered to the point of discomfort and bad appearance. The work is to replace the existing wood surface decking, stair treads and guard railings with new TimberTech AZEK PVC decking, PVC trim and composite guard railings. The existing deck design, size and footprint will be maintained. Modifications to stair stringers, guard posts and railings, and other components are required to install PVC and composite types of material vs. wood. The existing support posts, beams and joists are sound and are being reused, except for the end joists and front rim joist which will be replaced to provide solid material for attaching new guard posts. Two new joists will be added inside of the end joists to support guard posts and provide a surface for attaching perimeter deck boards.

The existing deck frame measures approximately 14' 9" along the house and 11' 11" from the house side to the front edge. The height of the deck is approximately 36" from the finished deck surface to the ground. There are two sets of stairs, one on each side of the deck, adjacent to the front. Stairs will require new stringers because five stringers are required to support the PVC stair treads whereas the old 2x6 wood stair treads required only three stringers.

Attached are:

1. Page 21 of the "Howard County, MD Typical Deck Details" deck guide with the deck dimensional and other information section filled-in.
2. Scale drawing of the framing.
3. Catalog Cut for the TimberTech AZEK Premier Railing that will be used on the main deck and stairs. The railing will be 36" high with composite infills, 4"x4" post sleeves, cap and skirt.

SECTION 17: COMPLETE YOUR DECK

Complete Your Deck: A framing plan shows a bird's-eye view of the joist and beam layout, the location of the ledger board, diagonal bracing or hold-down devices, posts, footings, and the type, size and spacing of the ledger board fasteners. Use the sample typical deck framing plan shown below and the requirements of this document to complete your deck.

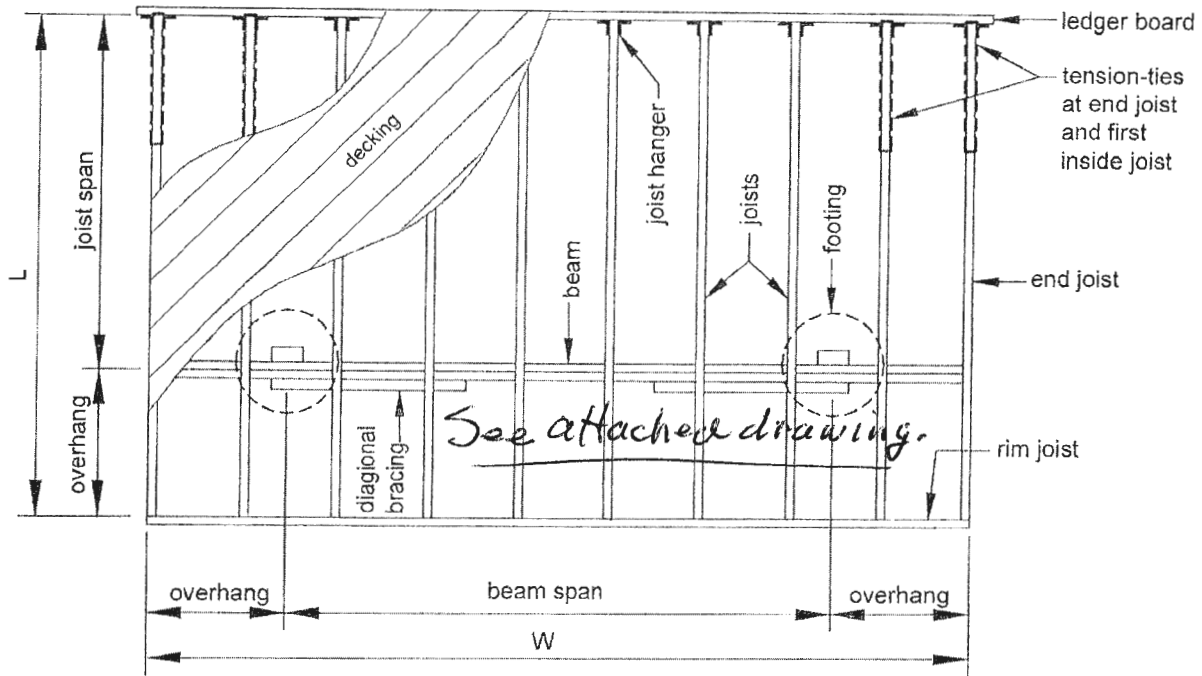


FIGURE 41: TYPICAL DECK FRAMING PLAN

INSPECTIONS REQUIRED:

- 1- Footing Inspection before placement of Concrete.
- 2- Framing Inspection is required after all Structural Members are in place.
- 3- A Final Inspection when the Deck is Complete.

Decking: 2x4 2x6 five-quarter board wood-plastic composite (per ASTM D 7032)
 Other/plastic decking, evaluation report number: CCRR-0101 (TimberTech-AZEKPLC)

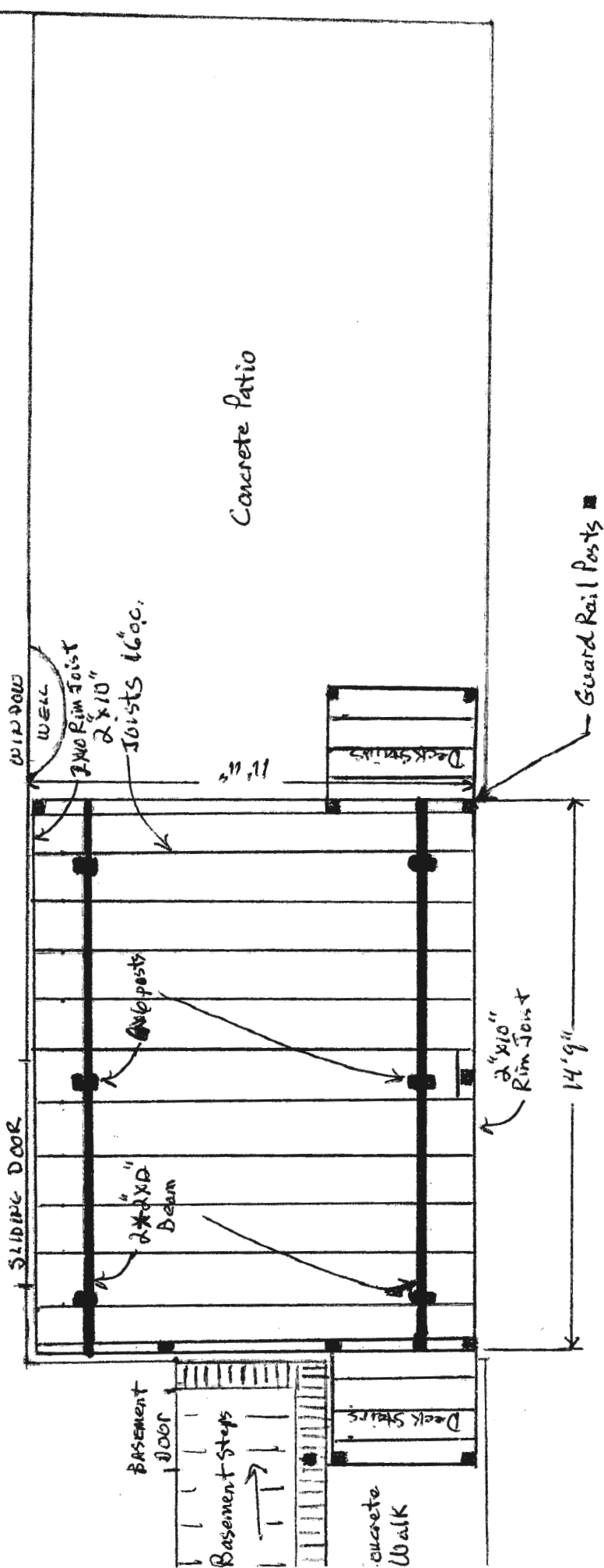
Joists: size: 2x6 2x8 2x10 2x12 spacing: 12 in. 16 in. 24 in.
 joist span dimension: 9 ft. - 5 in.
 overhang: Yes No overhang dimension: 0 ft. - 15 in.
 rim joist: 2x6 2x8 2x10 2x12

Beam(s): number of plies: 2 3 size: 2x6 2x8 2x10 2x12
 overhang: Yes No overhang dimension: 1' ft. - 6" in. East End
3" West End

Posts: size: 4x4 4x6 6x6 height: 0 ft. - 14 in. 1'

Footings: size: 16 in. square round thickness: 8 in.

Ledger: ledger board size: 2x8 2x10 2x12 Not applicable (free-standing deck)
 fastener: Through bolt Lag screw
 Expansion anchor Adhesive anchor
 Wood screw



DECK FRAMING PLAN
 9-12-2020
 15049 Bushy Park Rd
 Woodbine, MD 21797

NOTES:

- 1/4" ← = 1 Foot
- North ↑
- Decking to run perpendicular to joists.



Premier Railing®



Premier Railing offers the beauty and feel of real wood railing coupled with the added strength of performance materials. This line has a classic flat-topped Victorian profile, and is available in five colors. 3.5" x 2.7"

PREMIER RAILING PRODUCT CHOICES

COLORS	INFILLS		POST EYES	POST CAPS AND SKIRTS			
	Aluminum 	Composite 		4"x4" Cap 	5"x5" Cap 	4"x4" Island 	5.5"x5.5" Island
	Glass 	CableRail 		5.5"x5.5" Pyramid 	4"x4" Skirt 	5"x5" Skirt 	5.5"x5.5" Skirt
For product measurements see pages 3-4							

*A 5.5"x5.5" post sleeve is required for applications with 45° or other angled cuts.

Rail Kits are available for a traditional white system with matching balusters, or Rail Packs allow for more customization of colors and infill styles. Post sleeve options include the preferred 5.5"x5.5", the smaller 4"x4", or the color matched 5"x5".

ORDERING BALUSTERS

Required number of Balusters for Composite: 23 per 10' section, 18 per 8' section, 13 per 6' section.
 Required number of Balusters for Aluminum: 25 per 10' section, 20 per 8' section, 15 per 6' section.

1. PREMIER RAIL KITS AND PACKS

PREMIER RAIL KITS Kits include Top & Bottom Rail, 2 Support Rails, Hardware, Footblocks, and Balusters	WHITE	BLACK	KONA	BROWNSTONE	SLATE GRAY
36" 6' PREMIER RAIL KIT 13 Composite Balusters included	APR36KIT6W	-	-	-	-
36" 8' PREMIER RAIL KIT 18 Composite Balusters included	APR36KIT8W	-	-	-	-
PREMIER RAIL PACKS Packs include Top & Bottom Rail, 2 Support Rails, Hardware, and Footblocks	WHITE	BLACK	KONA	BROWNSTONE	SLATE GRAY
6' PREMIER RAIL PACK	APRP6W	APRP6B	APRP6K	APRP6BS	APRP6SG
8' PREMIER RAIL PACK	APRP8W	APRP8B	APRP8K	APRP8BS	APRP8SG
10' PREMIER RAIL PACK	APRP10W	APRP10B	-	-	-
PREMIER CUSTOM RAIL PACKS Packs include Top & Bottom Rail, 2 Support Rails, Hardware and Footblocks	WHITE	BLACK	KONA	BROWNSTONE	SLATE GRAY
6' PREMIER CUSTOM RAIL PACK Use with Custom Infill: Glass Channels, CableRail, or Aluminum Balusters	APCUST6W	APCUST6B	APCUST6K	APCUST6BS	APCUST6SG
8' PREMIER CUSTOM RAIL PACK Use with Custom Infill: CableRail, or Aluminum Balusters	APCUST8W	APCUST8B	APCUST8K	APCUST8BS	APCUST8SG
10' PREMIER CUSTOM RAIL PACK Use with Custom Infill: CableRail, or Aluminum Balusters	APCUST10W	APCUST10B	-	-	-

Page 5 of 5

COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

Date: 9/16/2020 Health
To: DEBBIE WHALEN, PLAN REVIEW
(Person's Name and Division)
From: DENNIS H HUNT ()
(Your Name, Company Name and Telephone Number)
Subject: Project name HUNT RESIDENCE
Project site address 15049 BUSHY PARK RD
Permit # B20003089 SDP # _____
Other information pertinent to this project _____

*NO
TRANSMITTAL
SUBMITTED
Z

✓ Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of PLOT PLAN (be specific). LOCATION OF DECK
SHOWN (PER LTR?)
- Health Department Request DPZ/ DED Request Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- Other _____

Contact Person Information: (Required)

Dennis Hunt
Please Print Name

Telephone No: (410) 489-7625

E-Mail Address: DHunt49@gmail.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

cc: DPZ
DED
Health

RECEIVED

SEP 16 2020

LICENSES & PERMITS
DIVISION

Received by DROPBOX

15049 Bushy Park Road
Woodbine, MD 21797
September 16, 2020

Howard County
Department of Inspections, Licenses and Permits
Attn: Debbie Whalen
3430 Court House Drive
Ellicott City, MD 21043

Dear Ms. Whalen,

Per your email to me on September 15, 2020 enclosed are four copies of the development plan drawing for Lot 4 Country Springs (15049 Bushy Park Rd). I have drawn the location of my existing deck on this drawing.

I very much appreciate your prompt attention to my permit application.

Sincerely,


Dennis H. Hunt

RECEIVED

SEP 16 2020

LICENSES & PERMITS
DIVISION

GENERAL NOTES

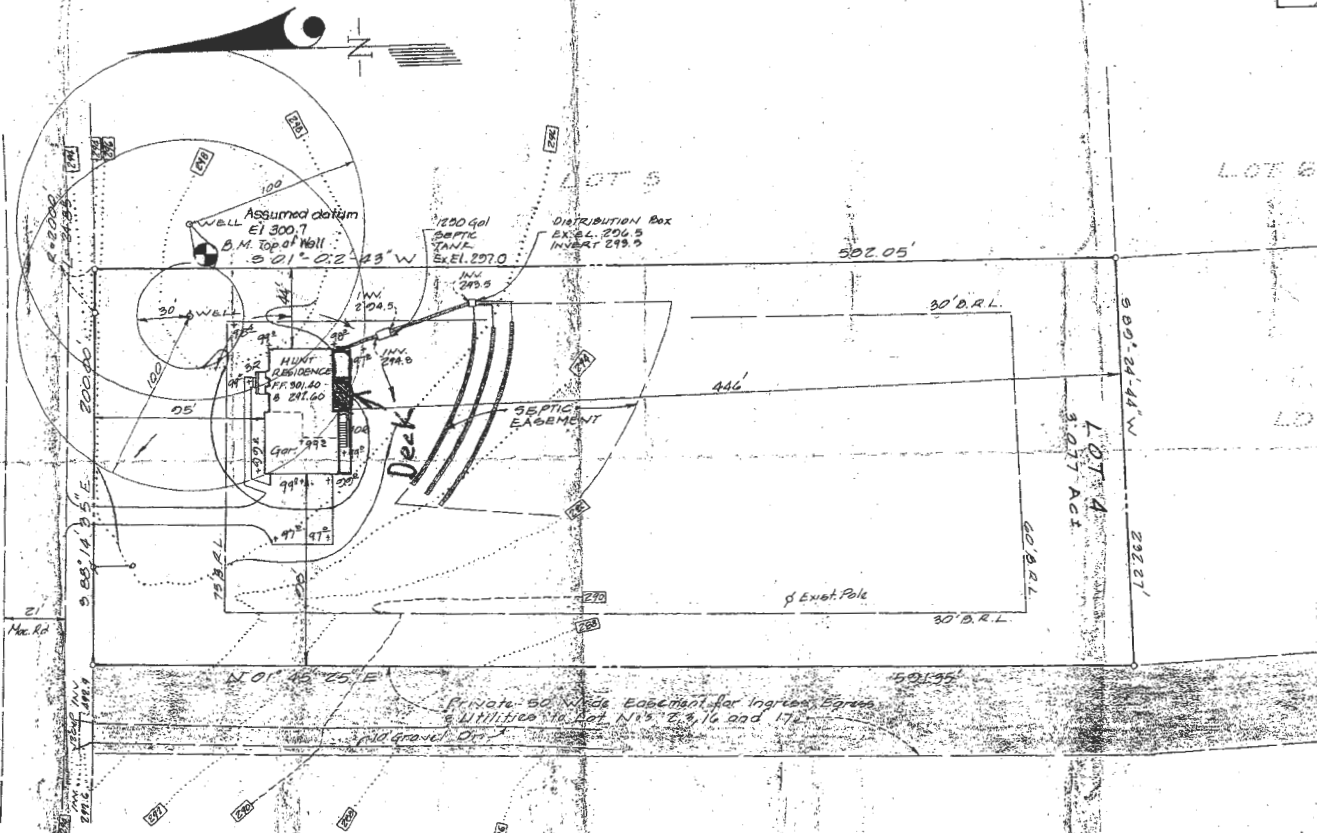
1. Existing topography was field run by CLARK FINEFROCK & BACKETT, INC. on
2. Reference record plot Number
3. Length of trenches to be determined at time of permit issuance.
4. Bench Mark (B.M.) Top Well Assumed Elev. 300.00
5. Basement will not eaver by Gravity.
6. Topography is field run by C.F.S. on 2-3-94

LEGEND

- Contour Interval 2 FT
- Existing Contour 790
- Proposed Contour 790
- Spot Elevation +195'
- Direction of Drainage →



BUSHY PARK ROAD



REVISED
Date: 9/16/20

Comments: B00003089.

Existing Deck location

Approved 9/30/20

JAE

CLARK • FINEFROCK & ENGINEERS • PLANNERS •	
<small>7125 MINSTREL WAY • COLUMBIA MD 21045 • (410) 3</small>	
DESIGNED JME	SITE DEVELOPMENT LOT 4
DRAWN C.A.F	COUNTRY
CHECKED JME	4 TH ELECTION HOWARD COUNTY
DATE	FOR TRINITY BUILDER 6212 Devon Drive Columbia, Md. 210

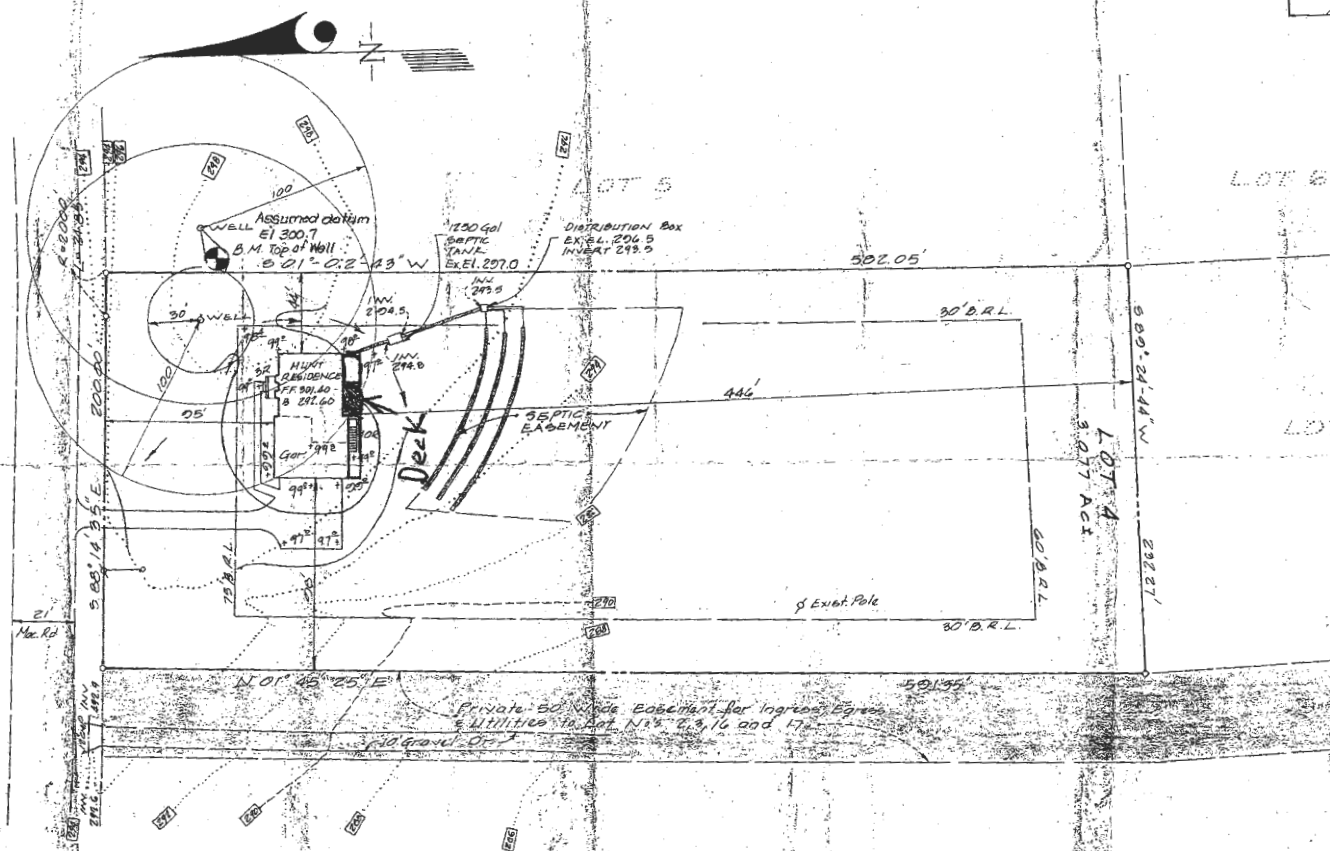
GENERAL NOTES

1. Existing topography was field run by CLARK FINEFROCK & BACLET, INC. on
2. Reference record plot Number
3. Length of trenches to be determined at time of permit issuance.
4. Bench Mark (B.M.) Top Well Assumed Elev: 300.00
5. Basement will not sewer by Gravity.
6. Topography is field run by C.F.S. on 2-3-94


LEGEND

- Contour Interval
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage

BUSHY PARK ROAD



REVISED
 Date: 9/16/20
 Comments: 62003089
 Existing Deck location

 CLARK • FINEFROCK & ENGINEERS • PLANNERS •	
7135 MINSTREL WAY • COLUMBIA MD 21045 • (410) 3	
DESIGNED	JME
DRAWN	C.A.F
CHECKED	JME.
DATE	
SITE DEVELOPMENT LOT 4 COUNTRY 4TH ELECTION 1 HOWARD COUNTY 1 FOR TRINITY BUILDING 6213 Devon Drive Columbia, Md. 210	

GENERAL NOTES

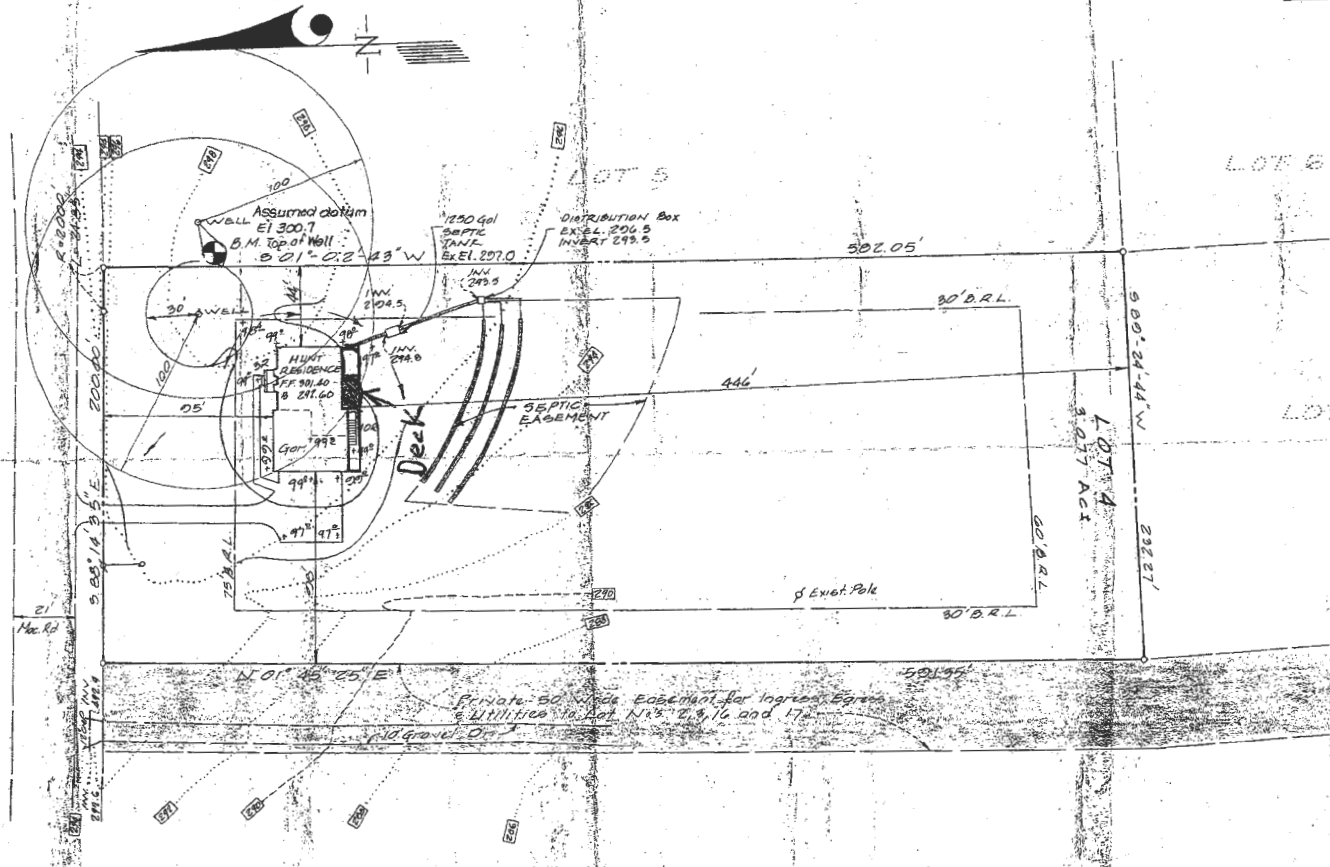
- Existing topography was field run by CLARK • FINEFROCK & BACKETT, INC. on
- Reference record plot Number
- Length of trenches to be determined at time of permit issuance.
- Bench Mark (B.M.) Top Well Assumed Elev: 300.00
- Basement will not eaver by gravity.
- Topography is field run by C.F.S. on 2-3-84

LEGEND

- Contour Interval
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage



BUSHY PARK ROAD



REVISED
Date: 9/16/20

Comments: B20003089
Existing Dec location

CLARK • FINEFROCK & ENGINEERS • PLANNERS • 7135 MINISTREL WAY • COLUMBIA MD 21045 • (410) 3	
DESIGNED JME	SITE DEVELOPMENT LOT 4
DRAWN C.A.F.	COUNTRY
CHECKED JME.	4 TH ELECTION HOWARD COUNTY
DATE	FOR TRINITY BUILDER 6218 Devon Drive Columbia, Md. 216

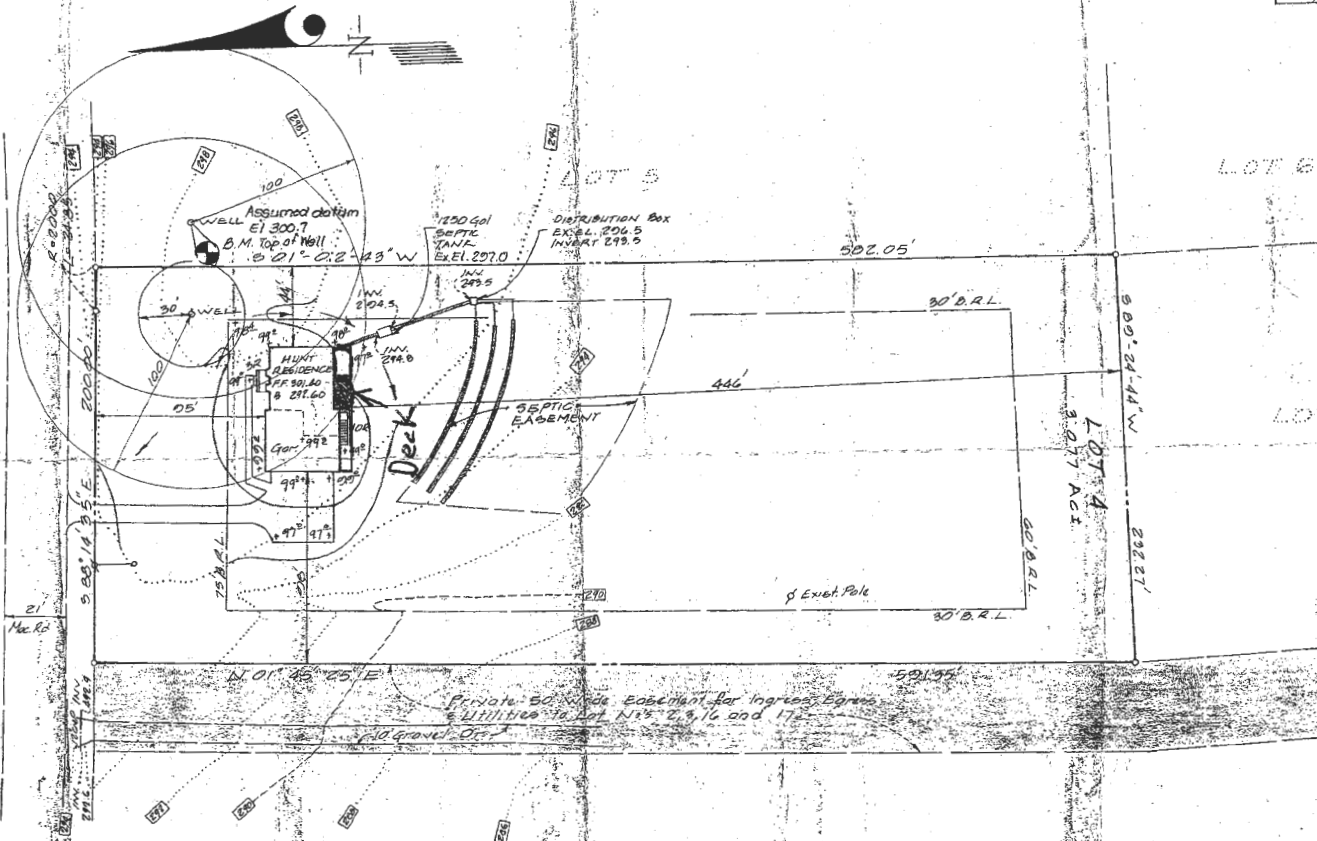
GENERAL NOTES

1. Existing topography was field run by CLARK • FINEFROCK & SACKETT, INC. on
2. Reference record plot Number
3. Length of trenches to be determined at time of permit issuance.
4. Bench Mark (B.M.) Top Well Assumed Elev. 300.00
5. Basement will not sewer by gravity.
6. Topography is field run by C.F.S. on 2-3-84

LEGEND

- Contour Interval 2 FT.
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage

BUSHY PARK ROAD



REVISED
Date: 9/16/82

Comments: B0003089
Existing Deck location

CLARK • FINEFROCK & ENGINEERS • PLANNERS •	
<small>7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 3</small>	
DESIGNED JME	SITE DEVELOPMENT LOT 4
DRAWN C.A.F.	COUNTRY
CHECKED J.M.E.	4 TH ELECTION I HOWARD COUNTY I
DATE	FOR TRINITY BUILDER 6212 Devon Drive Columbia, Md. 210