

PERMIT NUMBER: B 21000989

DATE ACCEPTED:

LICENSES & PERMITS DIVISION

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov



BUILDING SITE ADDRESS REQUIRED

Street Address: 14109 Bison Ct
City: Glenelg
State: MD
Subdivision/Village/Complex Name: The Heritage
Lot: 19
Tax Map:
Parcel:
Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Open shed roof
Proposed Use: Sunroom
Estimated Cost: \$35,000.00
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None

Converting an open shed roof into a sunroom and adding a toolshed

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Richard T Hastings
Owner's Street Address: 14109 Bison Court
City: Glenelg
State: MD
Phone: (410) 442-2069
Email: hastings.geri@gmail.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Innovative Investors, Inc DBA 2 Griffins
Contact Name: Damien Griffin
Street Address: 27421 Clarksburg Rd
City: Damascus
State: MD
Phone: (240) 481-8870
Email: damien@2griffins.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Innovative Investors, Inc DBA 2 Griffins
Licensee's Name: Vernon Griffin
License #: 101176
Street Address: 27421 Clarksburg Rd
City: Damascus
State: MD
Phone: (240) 481-8870
Email: damien@2griffins.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:
Name: Todd Miller
Street Address: 5161 Mussetter Rd
City: Ijamsville
State: MD
Phone: (301) 788-8256
Email: miller_todd@comcast.net

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:
of Bedrooms (SF): # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
Rooms: # Full Baths: # Half Baths: # Fireplaces:
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 1st Fl Depth: 2nd Fl Width: 2nd Fl Depth: Bsmt Width: Bsmt Depth:
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: sq ft Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED

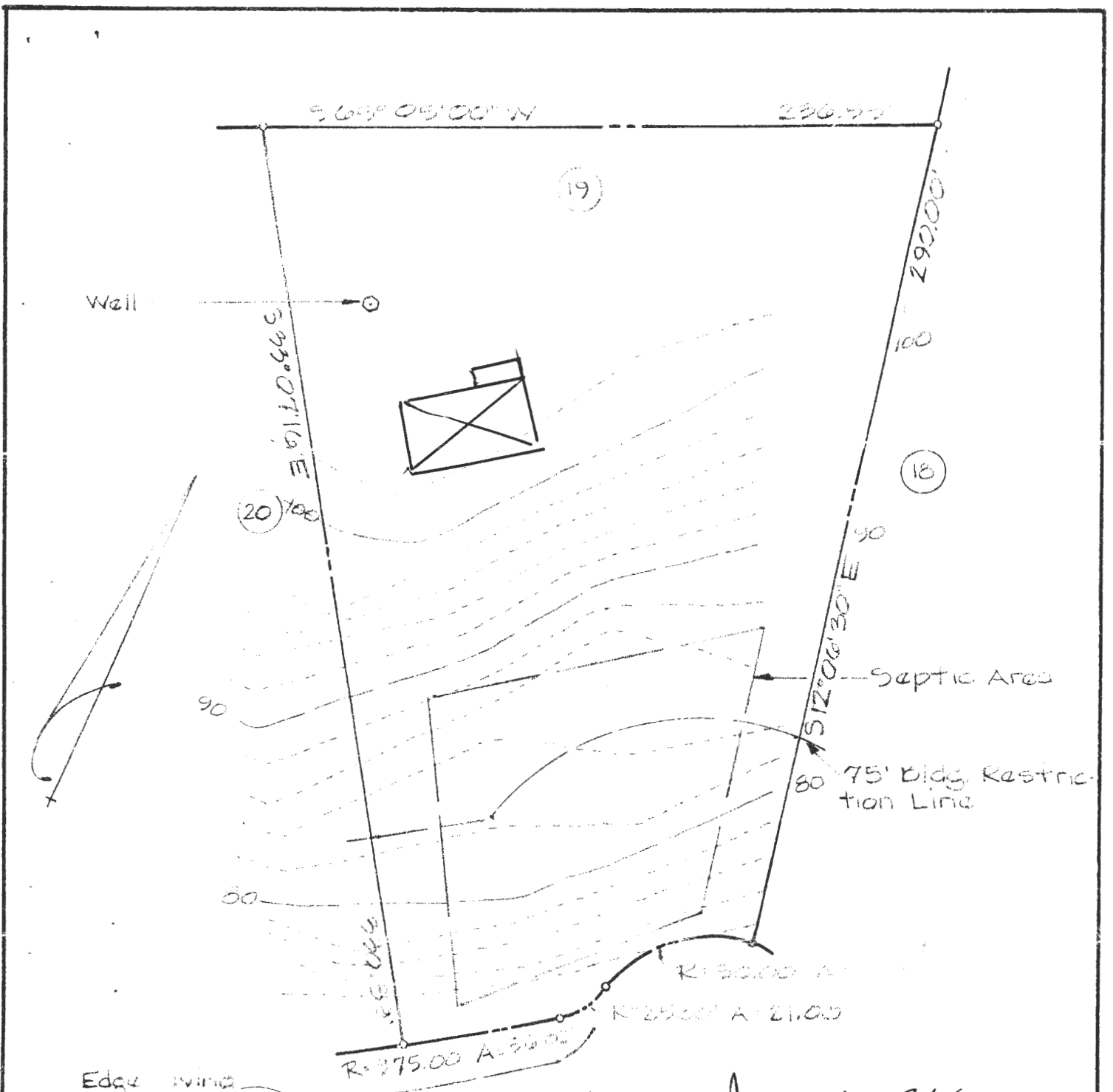
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: [Signature] DATE SIGNED: 3/15/2021

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID
SUBMITTAL FEES: PAYMENT: ACCEPTED BY:



BISON COURT
50' R/W

Approved JMC
1321000 989
5/20/2021

* Note
Contractor to Provide
Positive Drainage Away
From Foundation at all times.

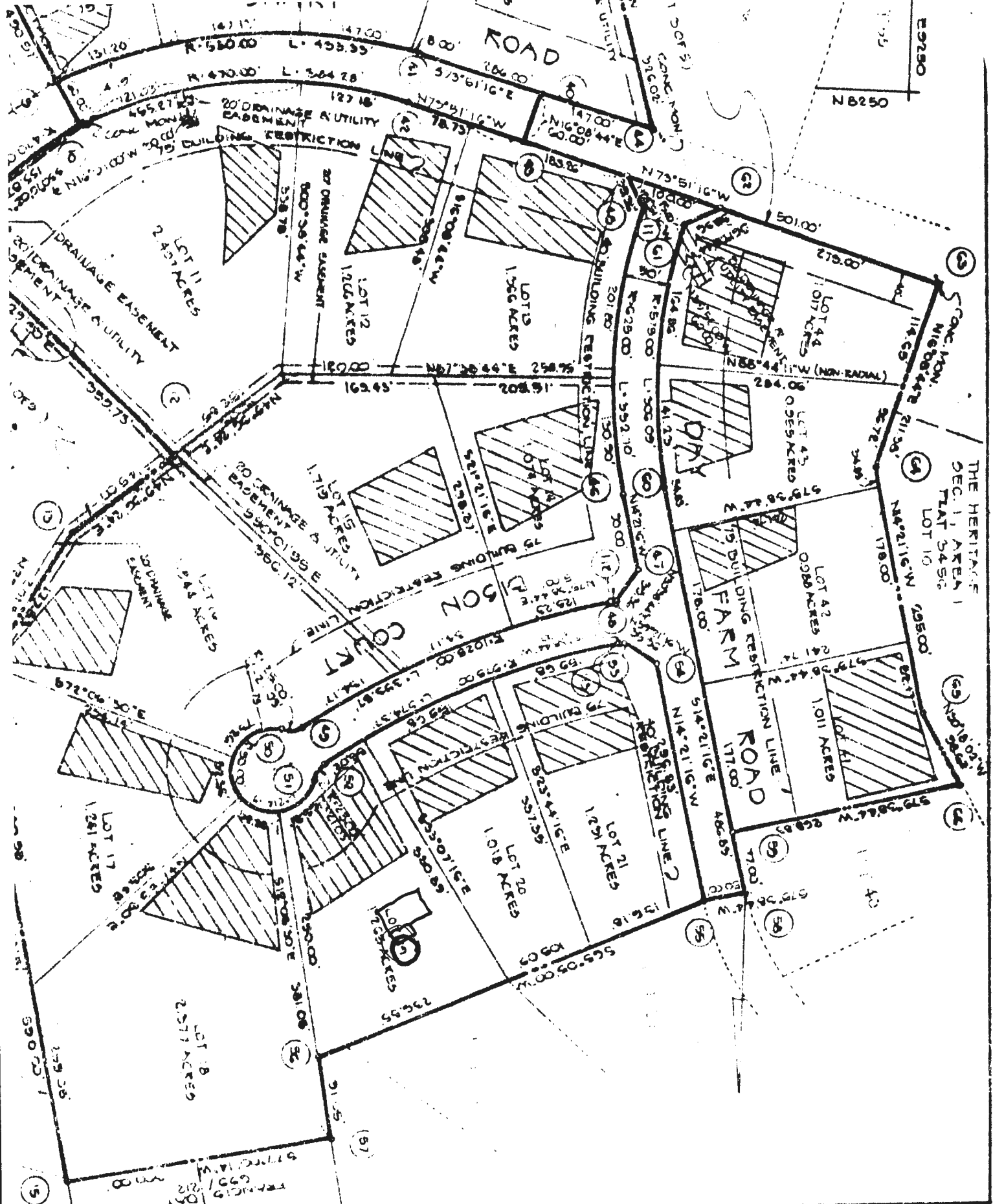
LOT 19

Section 1 Area 2.

THE HERITAGE Δ 3776
Howard Co., MD

James W. McKee
James W. McKee Reg. No. 9012 Date

	SITE PLAN BISON COURT	scale: 1" = 50'
	McKEE & ASSOCIATES, INC. CIVIL ENGINEERS ~ LAND SURVEYORS 1717 YORK RD. LUTHERVILLE, MD 21093 (301)-252-5820	date: 12/20/20
	drawn: D.F.D.	designed: D.F.D.



THE HERITAGE
DEVELOPMENT
TRACT 3456
LOT 10

CONC. MON.
ROAD

ROAD

LISON
COURT

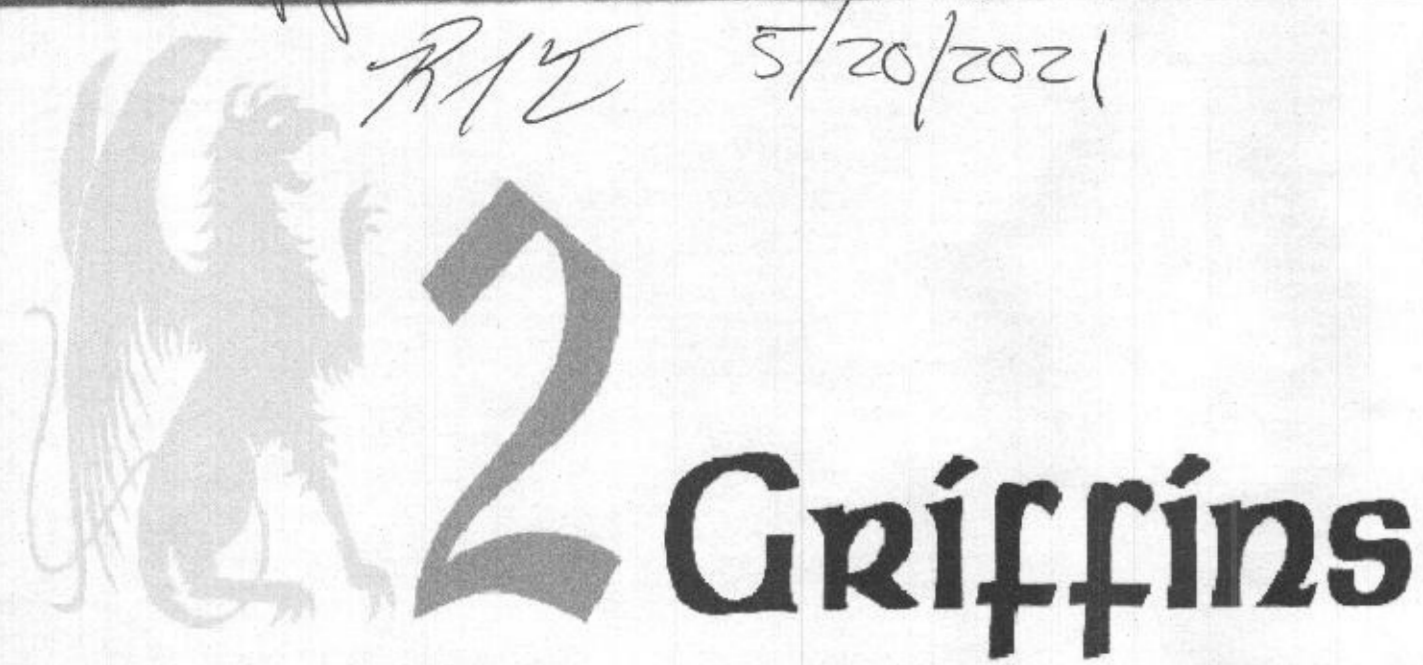
CONC. MON.
ROAD

FARM
BUILDING RESTRICTION LINE

LOT 11 2.45 ACRES
LOT 12 1.22 ACRES
LOT 13 1.56 ACRES
LOT 14 0.74 ACRES
LOT 15 1.71 ACRES
LOT 16 1.94 ACRES
LOT 17 1.24 ACRES
LOT 20 0.85 ACRES
LOT 21 1.21 ACRES
LOT 22 1.01 ACRES
LOT 23 1.01 ACRES
LOT 24 0.85 ACRES
LOT 25 0.85 ACRES
LOT 26 0.85 ACRES
LOT 27 2.57 ACRES
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LOT 99 2.57 ACRES
LOT 100 2.57 ACRES

Approved B21000989

R/E 5/20/2021



2 GRIFFINS DESIGN & BUILD, INC.
27421 CLARKSBURG RD
DAMASCUS, MD 20872

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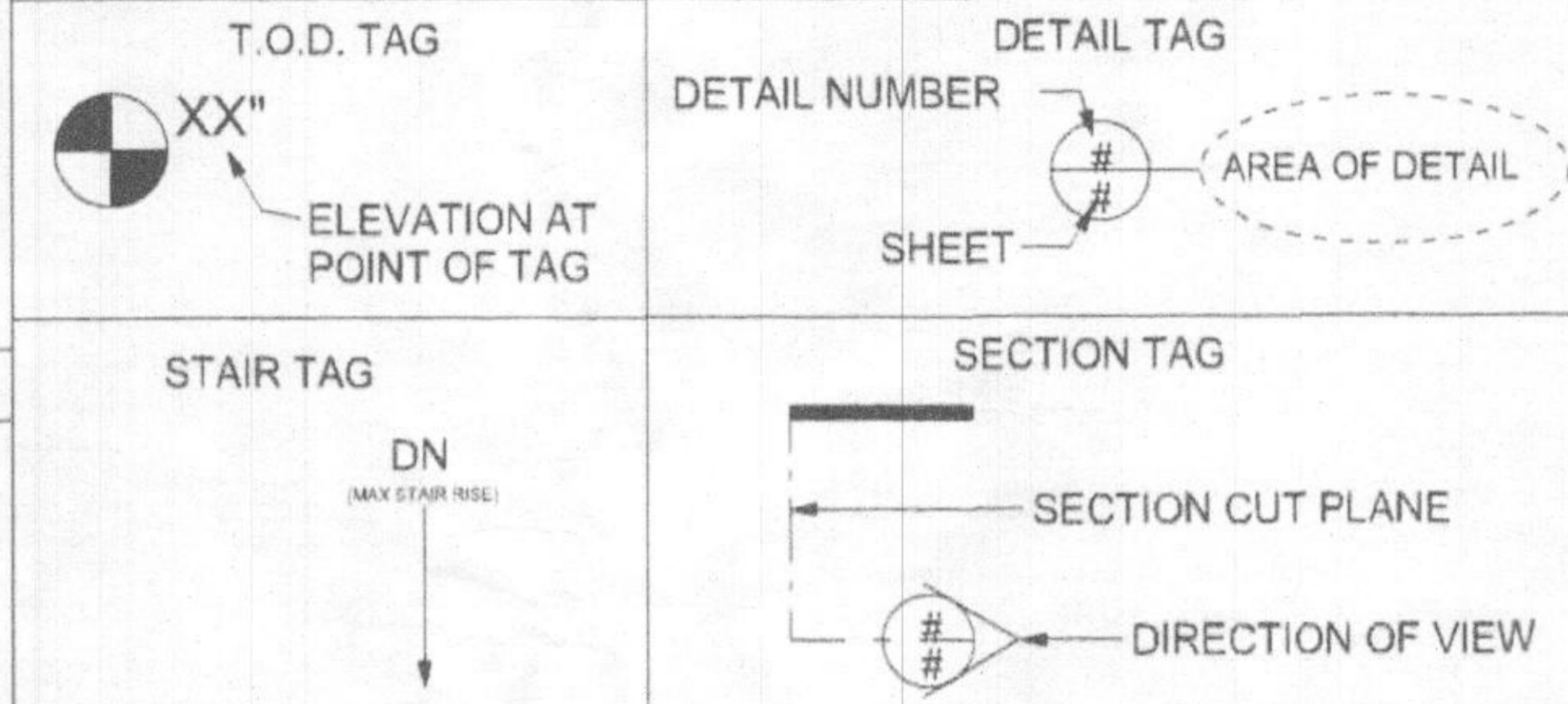
REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION
	Original	2/1/21	Damien	Construction Drawings

DESIGN LOAD CRITERIA

DECK LOADS (L/240)	P.S.F.	FLOOR LOADS (L/360)	P.S.F.
DECK FRAMING			
FRAMING DESIGN LIVE LOAD	60	LIVE LOAD (LIVING)	40
FRAMING DESIGN DEAD LOAD	10	(SLEEPING)	30
TOTAL FRAMING DESIGN LOAD	70	DEAD LOAD	10
FOOTING/FOUNDATION LOADS			
LIVE LOAD	50	CEILING	P.S.F.
DEAD LOAD	10	WITH STORAGE (L/240)	20
TOTAL DESIGN LOAD	60	WITHOUT STORAGE (L/240)	10
ROOF LOADS (L/240)			
SNOW LOAD	30	WITH STORAGE (L/360)	20
DEAD LOAD	10	WITHOUT STORAGE (L/360)	10
TOTAL DESIGN LOAD	40	DEAD LOAD	10

Gerri and Rich Hastings
14109 Bison Ct
Glenelg, MD 21737

SYMBOL LEGEND



ABBREVIATIONS:

A-E	- ARTISTIC ENCLOSURES	HDR.	- HEADER
#B	- BEAM	INT.	- INTERIOR
#BB	- BAND BOARD	IN.	- INCH
#C	- RAIL CAP LENGTH	JST.	- JOIST
#DB	- DOUBLE BAND	KB.	- KING BEAM
#DJ	- DOUBLE JOIST	LB.	- POUNDS
#DR	- DOUBLE RAFTER	L.L.	- LIVE LOAD
#F	- FENCE CAP LENGTH	L.V.L.	- LAMINATED VENEER LUMBER
#HB	- HOUSE BAND	MANUF.	- MANUFACTURER
#HBE	- HOUSE BAND EXTENSION	MAX.	- MAXIMUM
#RB	- RIDGE BEAM	MIN.	- MINIMUM
#RP	- ROOF PLATE	N.T.S.	- NOT TO SCALE
#TB	- TRIPLE BAND	O.C.	- ON CENTER
#TJ	- TRIPLE JOIST	OPT.	- OPTIONAL
ALT.	- ALTERNATE	O.S.B.	- ORIENTED STRAND BOARD
ALUMN.	- ALUMINUM	P.L.	- POINT LOAD
APX.	- APPROXIMATE	P.L.F.	- POUNDS PER LINEAR FOOT
BD.	- BOARD	P.S.F.	- POUNDS PER SQUARE FOOT
C/L	- CENTER LINE	P.S.I.	- POUNDS PER SQUARE INCH
CJ	- CEILING JOIST	P.S.L.	- PARALLEL STRAND LUMBER
CLG.	- CEILING	P.T.	- PRESSURE TREATED
C.M.U.	- CONCRETE MASONRY UNIT	P.T.T.	- POUR TO TOP
CONC.	- CONCRETE	P.V.C.	- POLY VINYL CHLORIDE
CONT.	- CONTINUOUS	RB.	- RIDGE BEAM
DBL.	- DOUBLE	RBD.	- RIDGE BOARD
DIA.	- DIAMETER	REQD.	- REQUIRED
DIM.	- DIMENSION	R.O.	- ROUGH OPENING
D.L.	- DEAD LOAD	RSW	- RIDGE SUPPORT WALL
DN.	- DOWN	STRUCT.	- STRUCTURAL
DTL.	- DETAIL	S.F.	- SQUARE FOOT/FEET
ELEC.	- ELECTRICAL	SQ.	- SQUARE
ELEV.	- ELEVATION (SEE T.O.D.)	T&G	- TONGUE & GROOVE
EQ.	- EQUAL	T.L.	- TOTAL LOAD
EXT.	- EXTERIOR	T.O.D.	- TOP OF DECK
FIN.	- FINISH	TYP.	- TYPICAL
FLR.	- FLOOR	UNFIN.	- UNFINISHED
FND.	- FOUNDATION	U.N.O.	- UNLESS NOTED OTHERWISE
FT.	- FOOT/FEET	W/	- WITH
F.V.	- FOUNDATION VENT	W/O	- WITHOUT
GLU.	- GLUELAM		

NOTES:

DESIGN CRITERIA:

- THIS PROJECT HAS BEEN DESIGNED FOLLOWING THE REGULATIONS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE).
- WORK TO MEET LOCAL, STATE AND APPLICABLE RULES AND REGULATIONS.
- IN-GRADE DESIGN VALUES BASED ON AF&PA.
- PROVIDE JOIST HANGERS @ ALL FLUSH FRAME CONDITIONS.
- PRESUMPTIVE SAFE SOIL BEARING CAPACITY IS 2000 PSF.
- FROST LINE 24"
- CONNECTIONS TO EXISTING STRUCTURE FLASHED PER LOCAL CODE

LUMBER:

- ALL FRAMING LUMBER TO BE #2 S.Y.P. OR BETTER, TREATED FOR EXTERIOR USE, PER LOCAL CODE U.N.O.

CONCRETE:

- MINIMUM 28 DAY COMPRESSIVE STRENGTH = 2500 PSI.

SHEET INDEX

NOTE THAT NOT ALL JOBS REQUIRE ALL SHEETS

ST	-SITE
PL-#	-PLAN
EV-#	-ELEVATION
FD-#	-FOUNDATION/FOOTINGS
FF-#	-FLOOR FRAMING
FP-#	-FLOOR PLAN
CF-#	-CEILING FRAMING
RF-#	-ROOF FRAMING
SD-#	-SECTION/DETAIL
SP-	-SPECIFICATION SHEET

DRAWINGS PREPARED BY: DAMIEN GRIFFIN
PROFESSIONAL CONSTRUCTION DRAFTING SERVICES

5302 RIDGE RD.
MOUNT AIRY, MD 21771
(c) 2015 2 GRIFFINS, INC.

UNAUTHORIZED DUPLICATION IS A VIOLATION OF ALL APPLICABLE LAWS

SOLD BY: 2 GRIFFINS DESIGN & BUILD, INC.
DRAWN BY: DAMIEN GRIFFIN

- RAIL POST
- FENCE POST
- ROOF POST/ PERGOLA POST
- STUD LOCATION
- X - X BRACING
- PB - PARTING BOARD LOCATION AND CENTER LINE
- EXTENTS

CONTACT

FOR ANY QUESTIONS OR CONCERNS PLEASE CONTACT:

2 GRIFFINS, INC
27421 CLARKSBURG RD
DAMASCUS, MD 20872

PHONE: (301) 414-0080
WEB: WWW.2GRIFFINS.COM
EMAIL: SALES@2GRIFFINS.COM

ENGINEER OF RECORD
(AS APPLICABLE)



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License Number 22809, Expires 08/21/2022.

Gerri and Rich Hastings
14109 Bison Ct
Glenelg, MD 21737

Sunroom
Cover Page

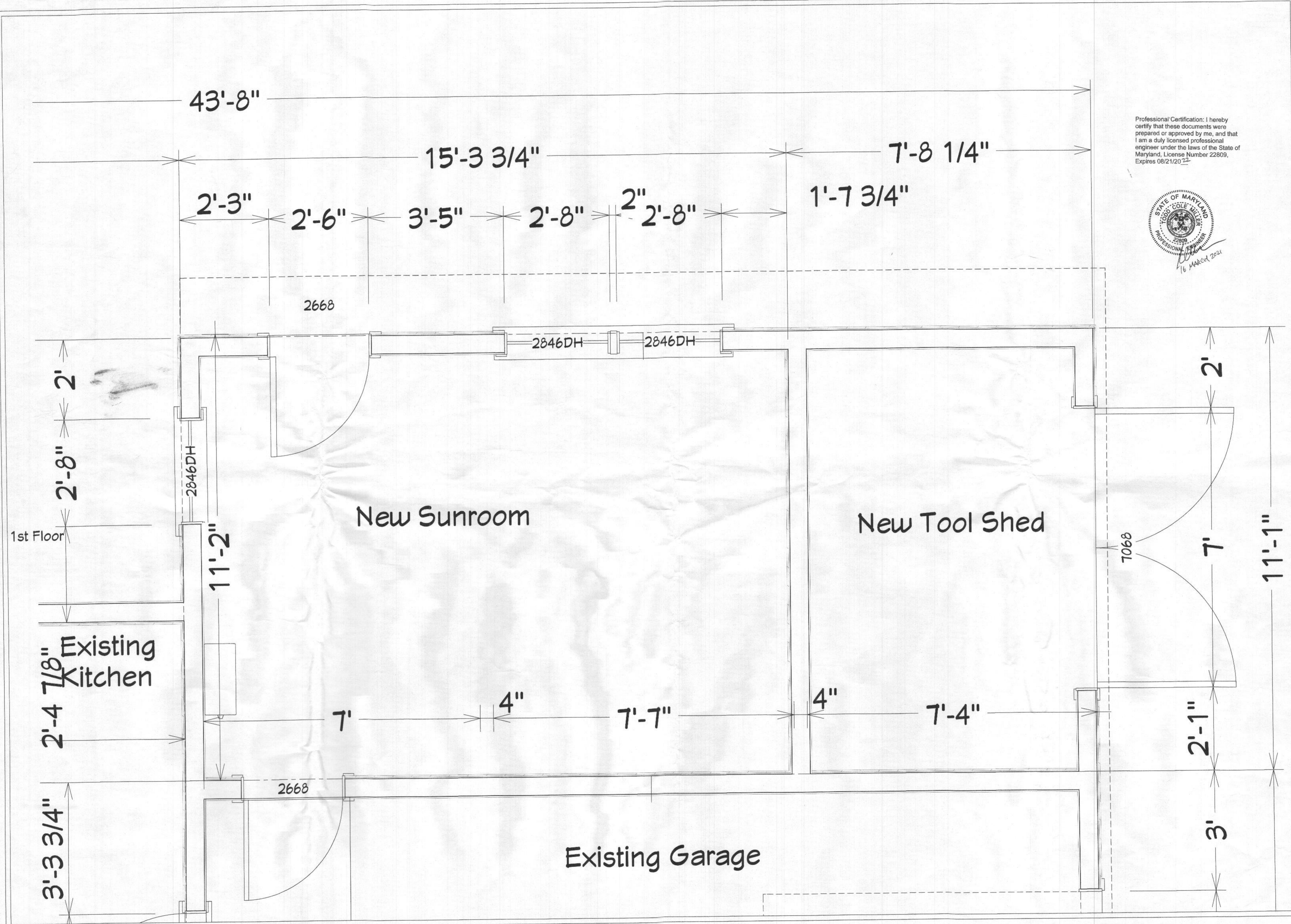
DRAWINGS PROVIDED BY:
2 Griffins Design & Build
27421 Clarksburg Rd
Damascus, MD 20872

DATE:

3/15/2021

SCALE:

SHEET:



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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION
	Original	2/1/21		Permitted Construction Drawings

Gerri and Rich Hastings
 14109 Bison Ct
 Glenelg, MD 21737

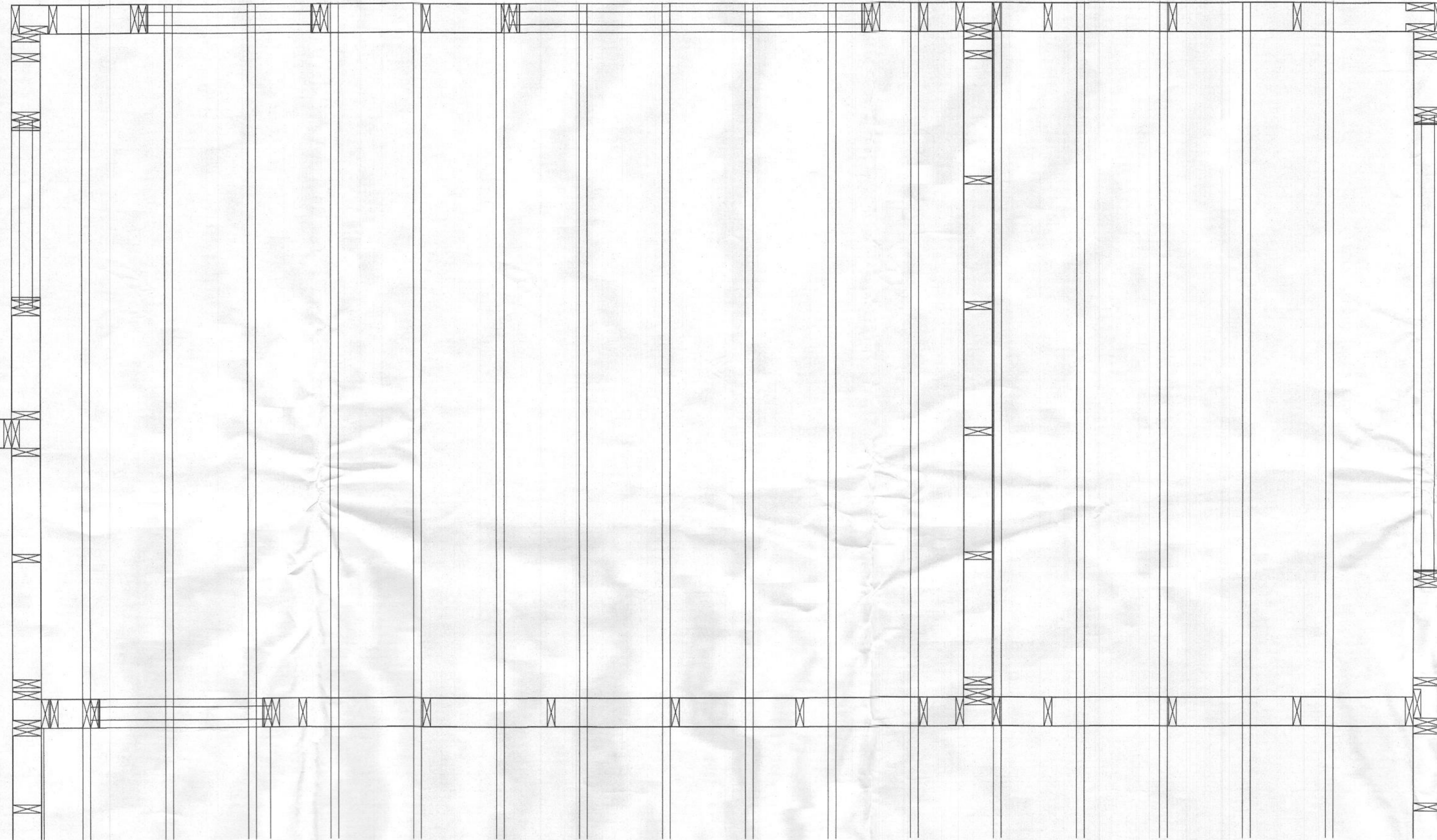
Sunroom
 PL-1

DRAWINGS PROVIDED BY:
 2 Griffins Design & Build
 27421 Clarksburg Rd
 Damascus, MD 20872

DATE:
 3/15/2021

SCALE:
 1" = 1"

SHEET:
 P-1



M.C.D.P.S. TABLE - 2
LAG SCREWS INSTALLED IN SINGLE BAND

NUMBER IN A ROW	SIZE	LENGTH IN.	MAX. SPACING S - IN.	MAX. JOIST SPAN - FEET
	1/2"	AS REQUIRED	12	8
			9	10
			7	12
			6	14
			5	16
			5	18
			4	20

M.C.D.P.S. TABLE - 3
THROUGH - BOLTS INSTALLED IN SINGLE BAND JOIST
MASONRY OR CONCRETE FOUNDATION WALL

NUMBER IN A ROW	SIZE	LENGTH IN.	MAX. SPACING S - IN.	MAX. JOIST SPAN - FEET
	1/2"	AS REQUIRED	14	8
			13	10
			11	12
			9	14
			8	16
			8	18
			7	20

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License Number 22809, Expires 08/21/2012.



NUMBER	DATE	REVISION	TABLE	DESCRIPTION
Original	2/1/21			Damien Construction Drawings

Gerri and Rich Hastings
14109 Bison Ct
Glenelg, MD 21737

Sunroom

FF-1

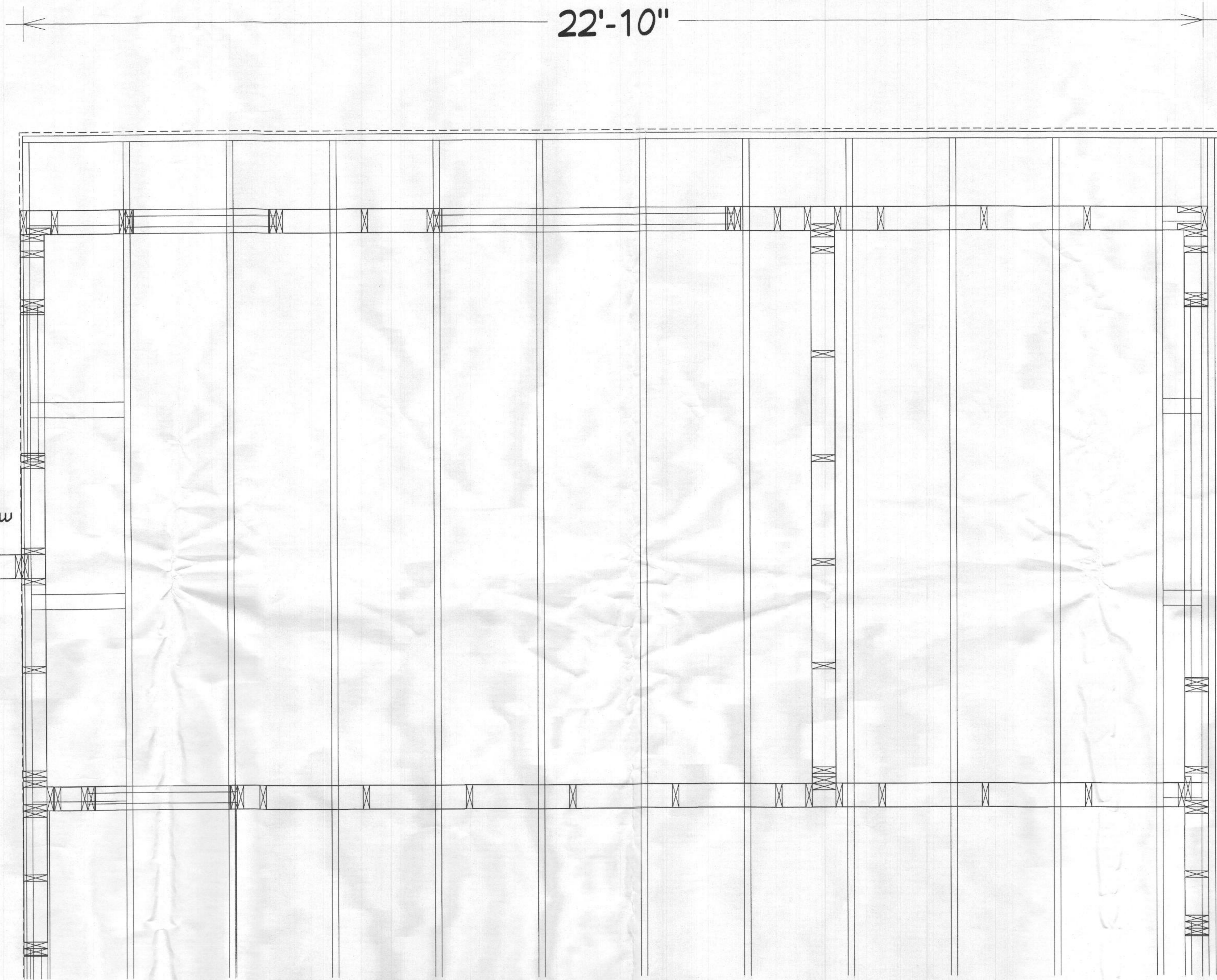
DRAWINGS PROVIDED BY:
Z Griffin Design & Build
27421 Clarksburg Rd
Damascus, MD 20872

DATE:
3/15/2021

SCALE:
1" = 1"

SHEET:

Framing, Roof Plan View



22'-10"

1'-6"

11'

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27421 Clarksburg Rd
Damascus, MD 20872

Sunroom

RF-1

Gerri and Rich Hastings
14109 Bison Ct
Glenelg, MD 21737

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION
	Original	2/17/21	Damien	Construction Drawings

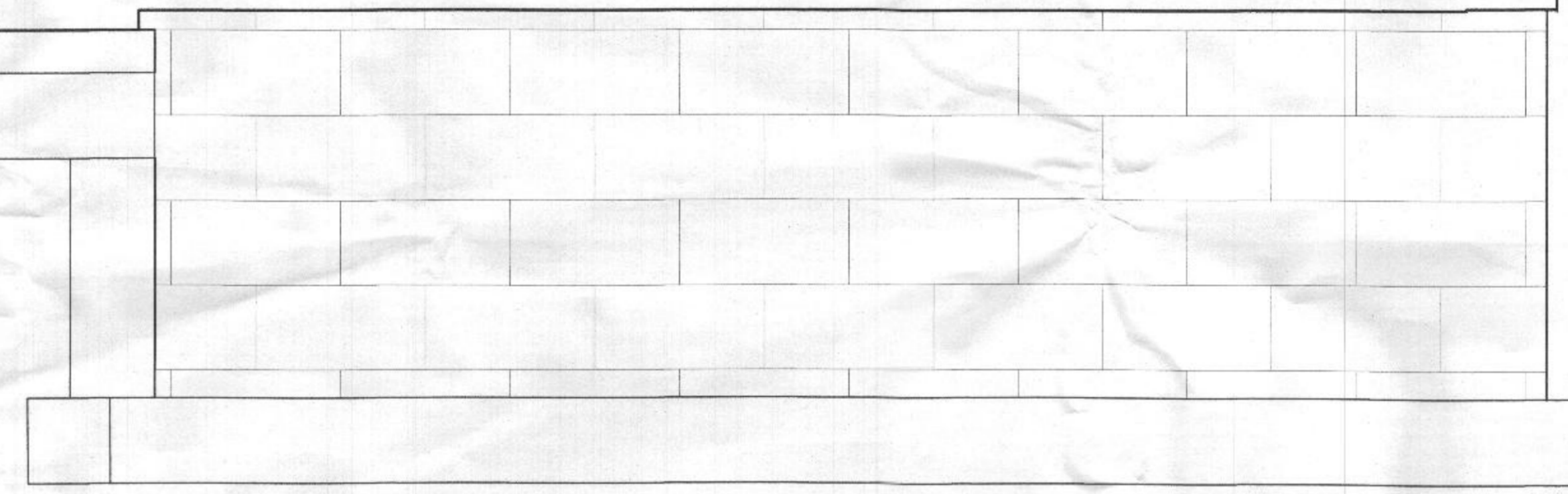
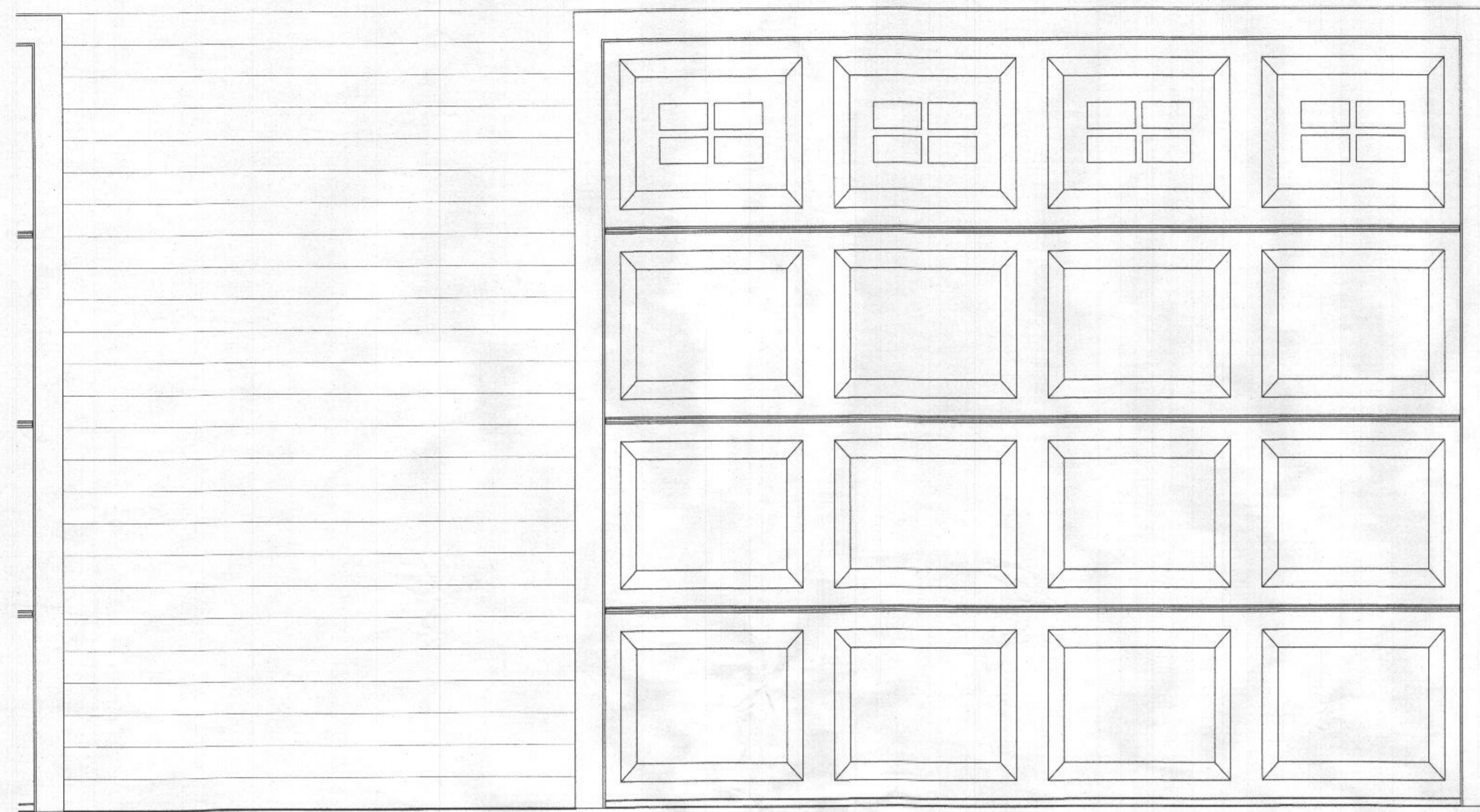
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3/15/2021

SCALE:

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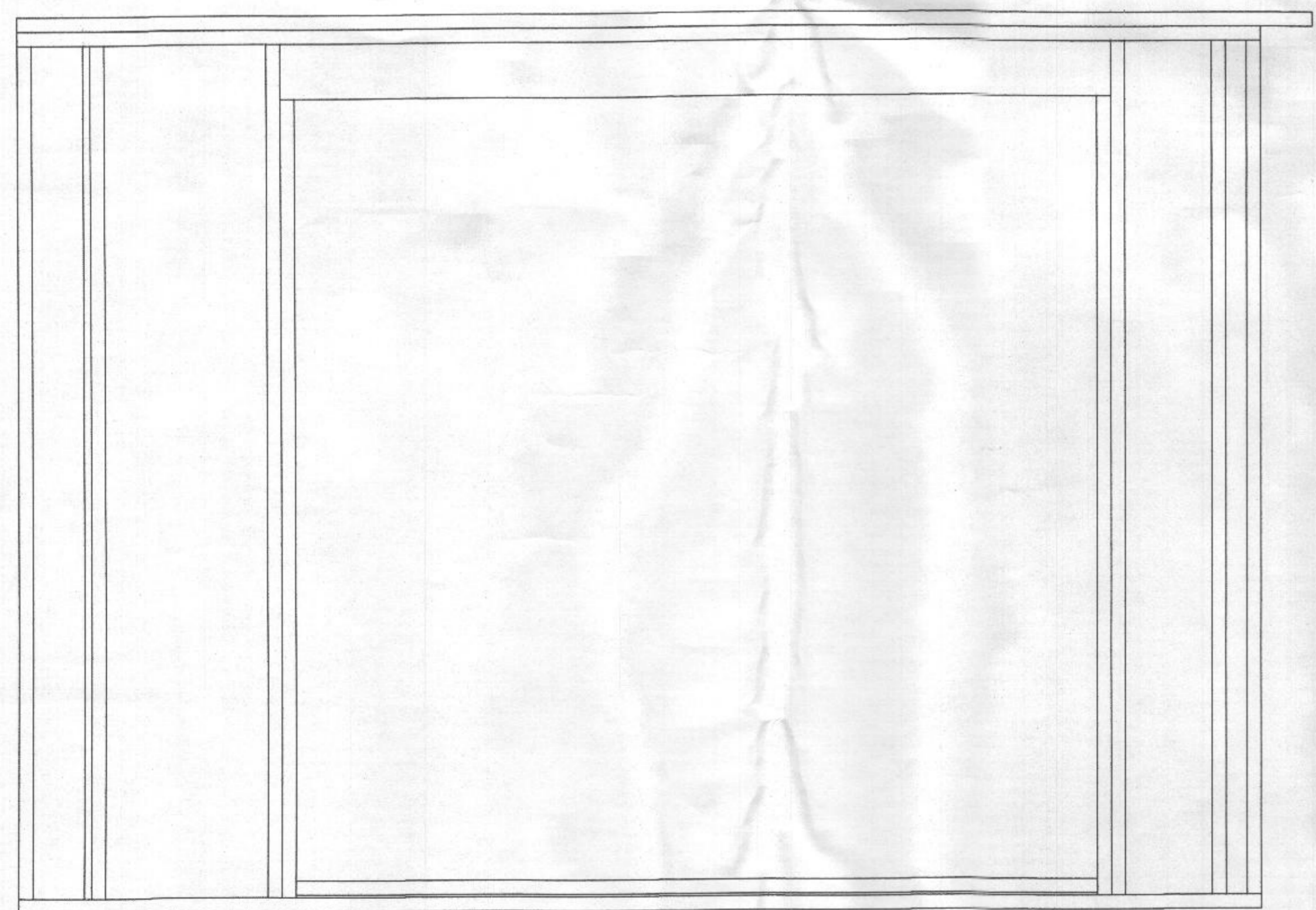
SHEET:



8'-10"
7"
2'-6"
8"

2' 7' 2'

Exterior Elevation Back



Front Framing
Elevation Detail



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REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION
	Original	1/21/21	Damien	Construction Drawings

Gerri and Rich Hastings
14109 Bison Ct
Glenelg, MD 21737

Sunroom

EV-1

DRAWINGS PROVIDED BY:
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Damascus, MD 20872

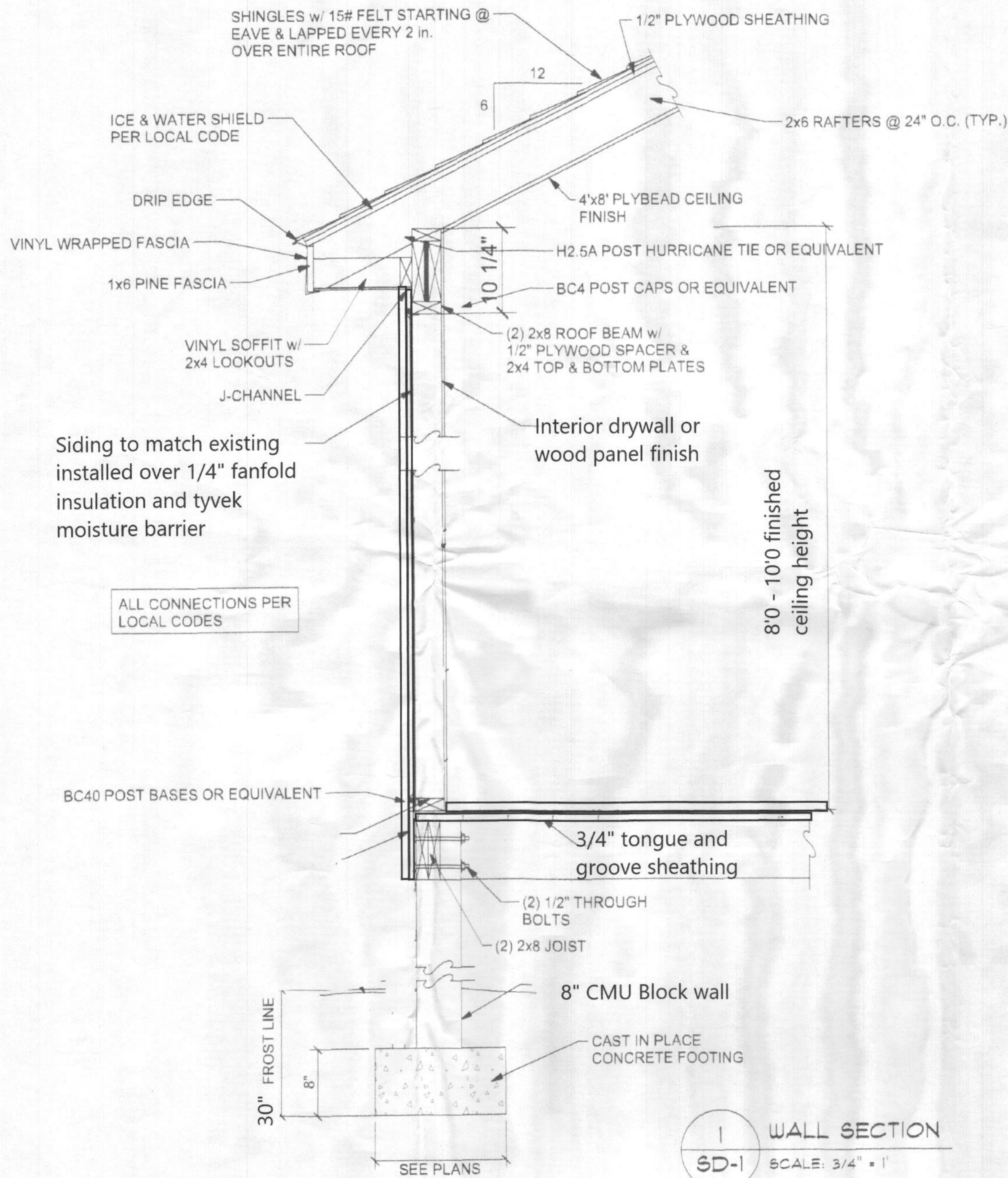
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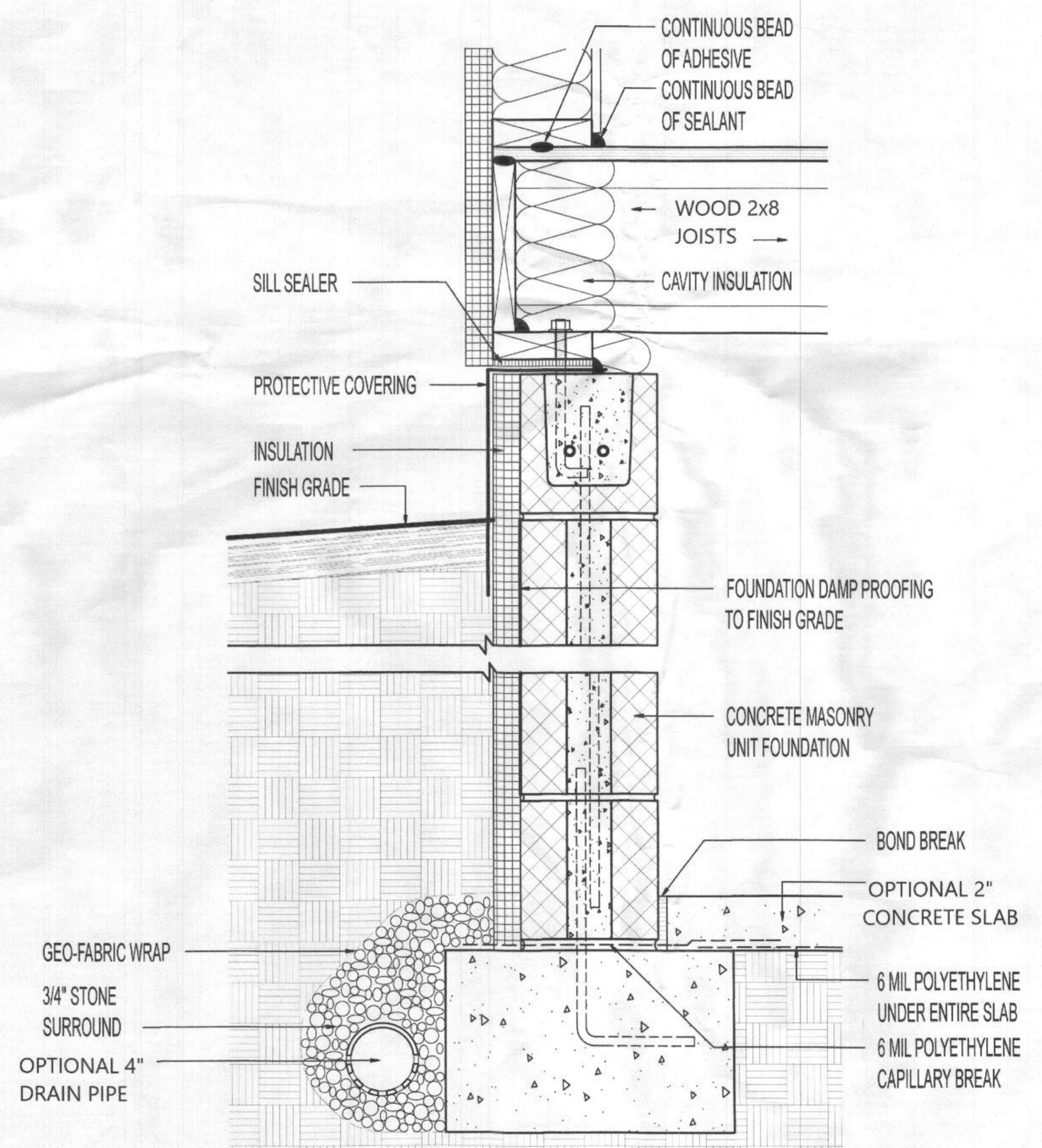
SCALE:

1" = 1"

SHEET:



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1 WALL SECTION
SD-1 SCALE: 3/4" = 1'

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION
	Original	1/21/21	Parment	Construction Drawings

Gerri and Rich Hastings
14109 Bison Ct
Glenelg, MD 21737

Sunroom SD-1

DRAWINGS PROVIDED BY:
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Damascus, MD 20872

DATE:
3/15/2021

SCALE:

SHEET: