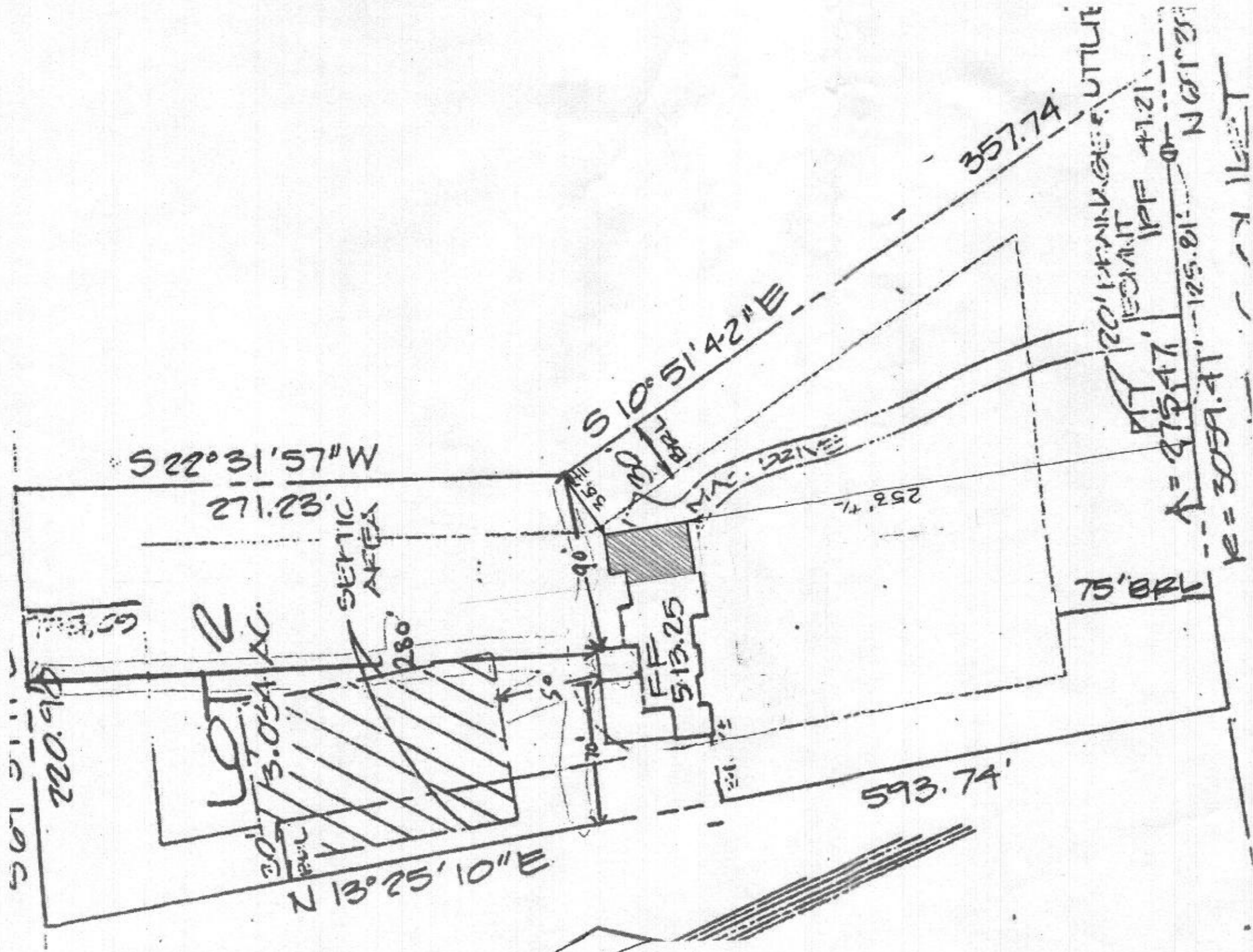


PERMIT NUMBER: B 21001528

DATE ACCEPTED:

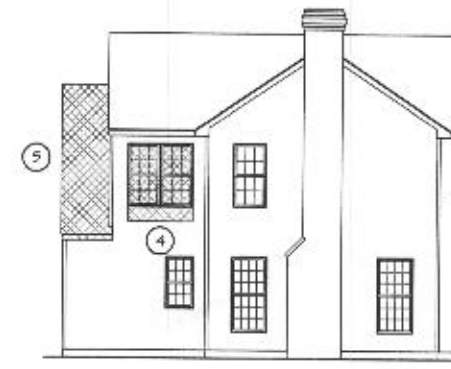
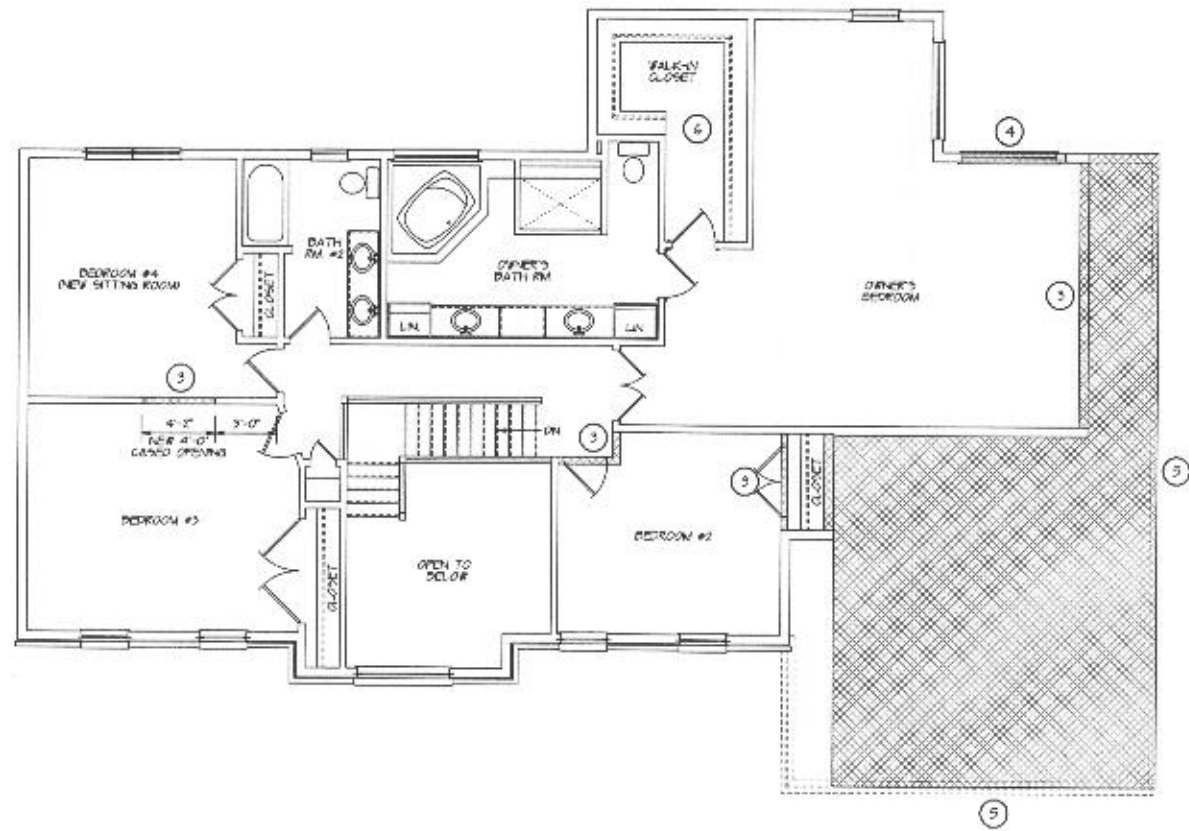
RESIDENTIAL BUILDING PERMIT APPLICATION					
HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS					
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4					
www.howardcountymd.gov					
BUILDING SITE ADDRESS REQUIRED					
Street Address: 3106 Ellerslie Ct.					Unit:
City: Glenwood			State: MD		Zip Code: 21738
Subdivision/Village/Complex Name: 1004				SDP/WP/BA #:	
Lot: 2	Tax Map: 0014	Parcel: 0235	Grading Permit #:		
DESCRIPTION OF WORK REQUIRED					
Existing Use:		Proposed Use:		Estimated Cost: \$ 546,000.00	
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> None					
Construct a 3 Car Garage 1039 sq ft w/ Master Closet above 400 sq ft./Convert existing 442 sq ft Garage into an In-Law Suite/1st Fl Laundry will become a Mudroom/Construct a new 2nd Story Bedrm 340 sq ft over the existing garage to expand Bedroom, add a Full Bathroom. Remodel MBedrm & MBath Rm, add Laundry Rm/140 sq ft Balcony/New Fr. Porch					
PROPERTY OWNER INFORMATION REQUIRED					
Owner(s) Name(s) (As it appears on tax records): Allen D Haight				Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Owner's Street Address: 3106 Ellerslie Ct.					
City: Glenwood			State: MD		Zip Code: 21738
Phone: 501-680-7862		Email: haightad@yahoo.com or michelle.haight519@gmail.com			
APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION					
Business Name: Design Build Remodeling Group of MD			Contact Name: Kristy Loftice		
Street Address: 1299 Judges Ct.					
City: Eldersburg			State: MD		Zip Code: 21784
Phone: 443-300-2268		Email: info@dbrgmaryland.com			
CONTRACTOR INFORMATION REQUIRED					
Business Name: Design Build Remodeling Group of MD					
Licensee's Name: Eric Swanson			License #: 129933		
Street Address: 1299 Judges Ct.					
City: Eldersburg			State: MD		Zip Code: 21784
Phone: 443-300-2268		Email: info@dbrgmaryland.com			
ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE					
Business Name: Creative Outlooks			Name: Phil Gugliuzza		
Street Address: 228 Stem Rd					
City: Union Bridge			State: MD		Zip Code: 21791
Phone: 410-596-1062		Email: pgcreativeoutlooks@gmail.com			
BUILDING CHARACTERISTICS REQUIRED					
Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*) Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas		Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)		Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)	
Heating System: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input checked="" type="checkbox"/> Other: Oil			Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #		
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input checked="" type="checkbox"/> None			Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac		
ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)					
Model Name & Options: Colonial					
# of Bedrooms (SF): 3	# of efficiency units (MF*):	# of 1 BR (MF*): 485	# of 2 BR (MF*): 328sf	# of 3 BR (MF*): 376sf	
# Rooms: 15	# Full Baths: 3	# Half Baths: 1	# Fireplaces: 1		
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None					
Basement/Foundation Info: <input checked="" type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input checked="" type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input checked="" type="checkbox"/> Partial					
1 st Fl Width: 109'	1 st Fl Depth: 45'	2 nd Fl Width: 109'	2 nd Fl Depth: 45'	Bsmt Width: 83'	Bsmt Depth: 40'
Energy Method: <input checked="" type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 7988 sq ft Occupiable Area: 8388 sq ft			
AGREEMENT/ DISCALIMER REQUIRED					
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.					
Kristy Loftice APPLICANT'S ORIGINAL SIGNATURE			4/20/21 DATE SIGNED		
FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY					
AGENCIES REQUIRED/APPROVALS:					
<input type="checkbox"/> PR	<input type="checkbox"/> DPZ	<input type="checkbox"/> DED	<input checked="" type="checkbox"/> Health W. Oswald 6/17/21	<input type="checkbox"/> SHA	<input type="checkbox"/> CID
SUBMITTAL FEES: 25 ⁰⁰		PAYMENT: 1500		ACCEPTED BY: [Signature]	



Ellerslie Court

MICHELLE & ALLEN HAIGHT
 3106 ELLERSLIE COURT
 GLENWOOD, MARYLAND 22738

SCALE 1" = 50'-0"



REVIEWED FOR STRUCTURAL SUPPORT, FOUNDATION, STEEL BEAMS, MICRO-LAMPS, HEADERS & WALL BRACING ONLY. Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland. License No. 9862, Expiration Date: 5-17-22. TMM CONSULTING SERVICES, LLC 7941 HOLLOW RD MIDDLETOWN, MD 21769 240-434-9516

EXISTING FIRST & SECOND LEVEL FLOOR PLAN - DEMO. EXISTING ELEVATIONS
 NEW ADDITION FOR: MICHELLE & ALLEN HAIGHT 306 ELLERSALE COURT GLENWOOD, MARYLAND 22738
 DATE: APRIL 14, 2021 DRAWN BY: PFG SCALE: AS NOTED

PARTIAL REAR ELEVATION

SCALE 1/8" = 1'-0"



FRONT ELEVATION

SCALE 1/8" = 1'-0"

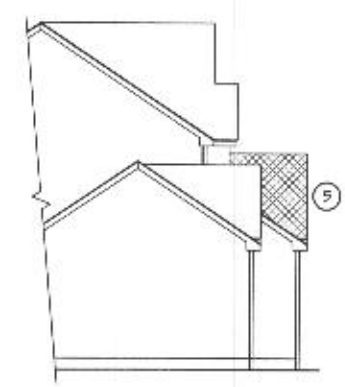
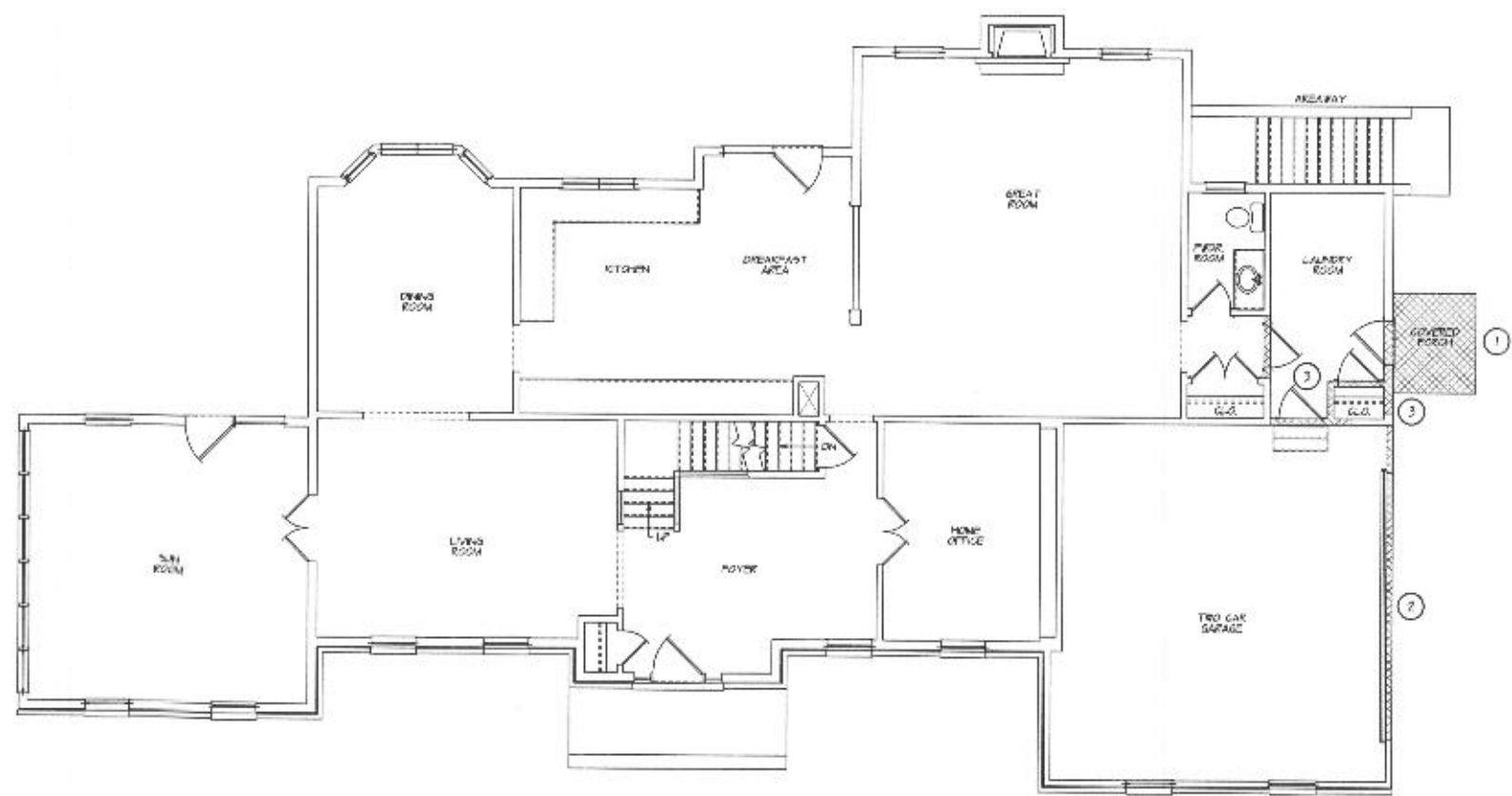
CREATIVE OUTLOOKS, LLC
 PHILIP F. GUBLUZZA
 CUSTOM HOME PLANNING & DESIGN
 COMPLETE HOME REMODELING DESIGN
 PROJECTS: CREATIVELYOUTLOOKS.COM
 PHONE: 410-546-1067



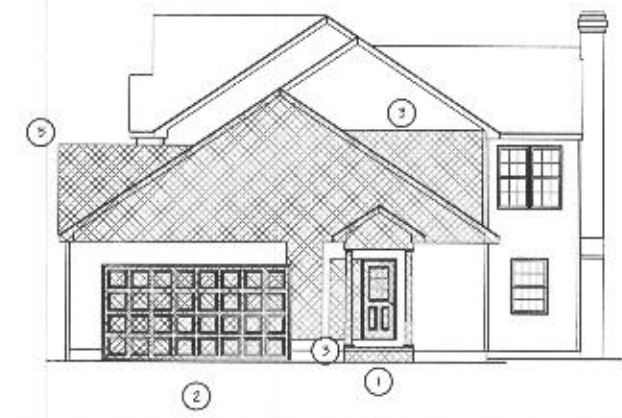
ADDITIONS: GARAGE, FAMILY ROOM, OWNER'S SUITE & BATHROOM, IN-LAW SUITE & MORE
 KITCHEN REMODEL & ADDITIONS
 RICHLY FURNISH RENOVATIONS
 BASEMENTS
 ACCESSIBILITY NEEDS
 P.O. BOX 1895
 FLORESVILLE, MARYLAND 21764
 PHONE: 443-300-7765

EXISTING SECOND LEVEL FLOOR PLAN

SCALE 3/16" = 1'-0"



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

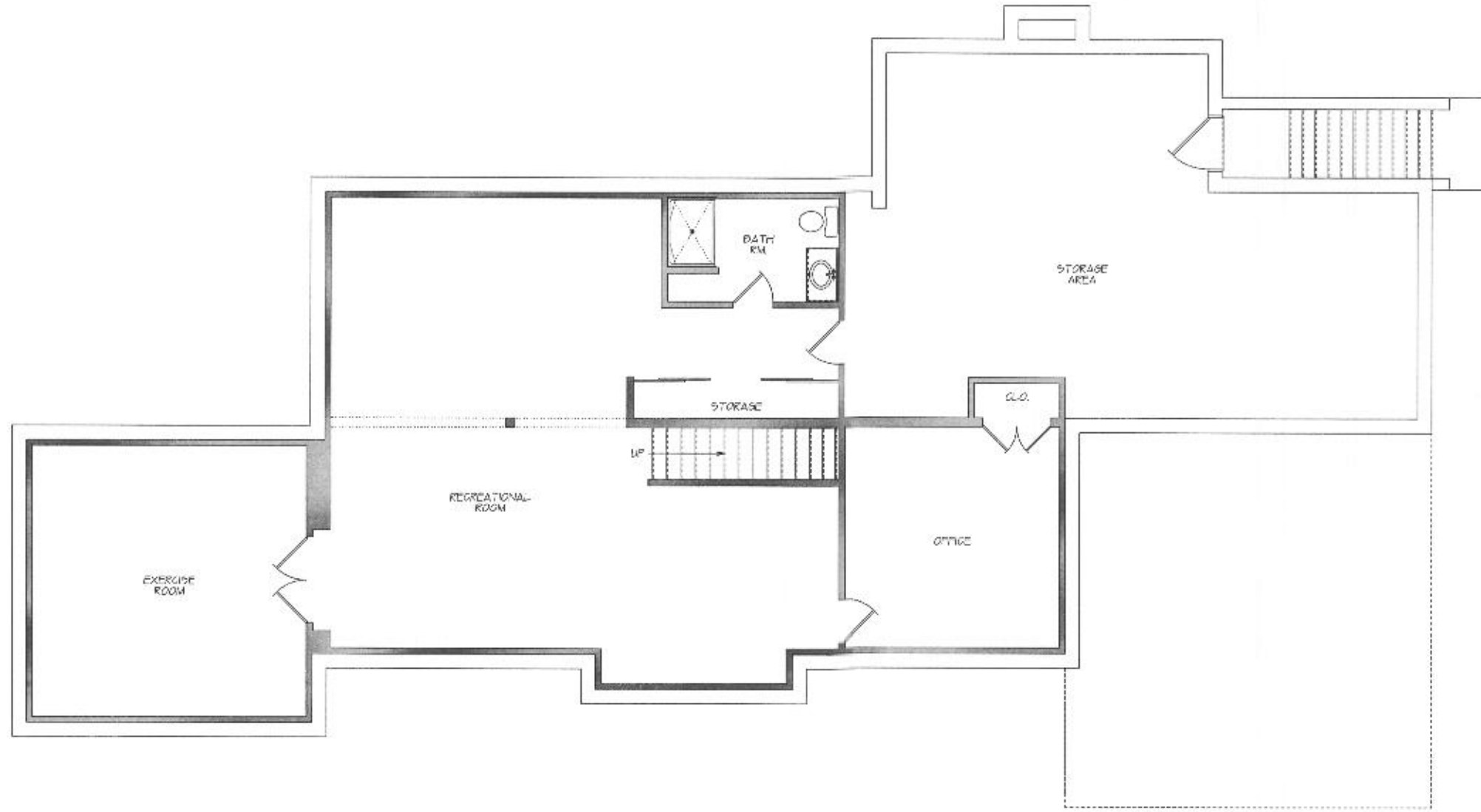
SCALE 1/8" = 1'-0"

- ① REMOVE COVERED PORCH ROOF, COLUMNS, FLOORING & STEPS
- ② REMOVE GARAGE DOOR, FRAME-IN AS NOTED
- ③ REMOVE WALL, DOOR AND/OR WINDOW
- ④ REMOVE WINDOW, NEW HEADER AND # DOOR OPENING
- ⑤ REMOVE ROOF TRAMING
- ⑥ REMOVE CLOSET ROD & SHELF
- ⑦ NEW 4'-0" CASSED OPENING

Authorization/Limitations for Use of Plans
 The set of drawings, the design thereof, and any accompanying specifications are submitted by the Designer to the Client for their use. The Client agrees to indemnify and hold the Designer harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the Designer in connection with the use of these drawings and specifications, whether or not such claims, damages, and expenses are caused in whole or in part by the negligence of the Designer. It is understood and agreed that these drawings are not to be used for construction by any other parties.
 Copyright DESIGN BUILD REMODELING GROUP
 All rights reserved 2021

EXISTING FIRST LEVEL FLOOR PLAN

SCALE 3/16" = 1'-0"



FINISHED AREA: 1,310 sq ft
 BASEMENT AREA: 1,667 sq ft

EXISTING LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

EXISTING LOWER LEVEL FLOOR PLAN
 NEW ADDITION FOR:
 MICHELLE & ALLEN HAIGHT
 306 ELLERSALE COURT
 GLENWOOD, MARYLAND 21738
 DATE: APRIL 18, 2021
 DRAWN BY: PFB
 SCALE: AS NOTED

CREATIVE OUTLOOKS, LLC
 PHILIP F. GIULIARZA
 CUSTOM HOME PLANNING & DESIGN
 LIGHT ADDITION-REMODELING DESIGN
 COMPLETE CONSTRUCTION PLANS
 PHOENIX, ILLINOIS
 PHONE: 410-542-1062



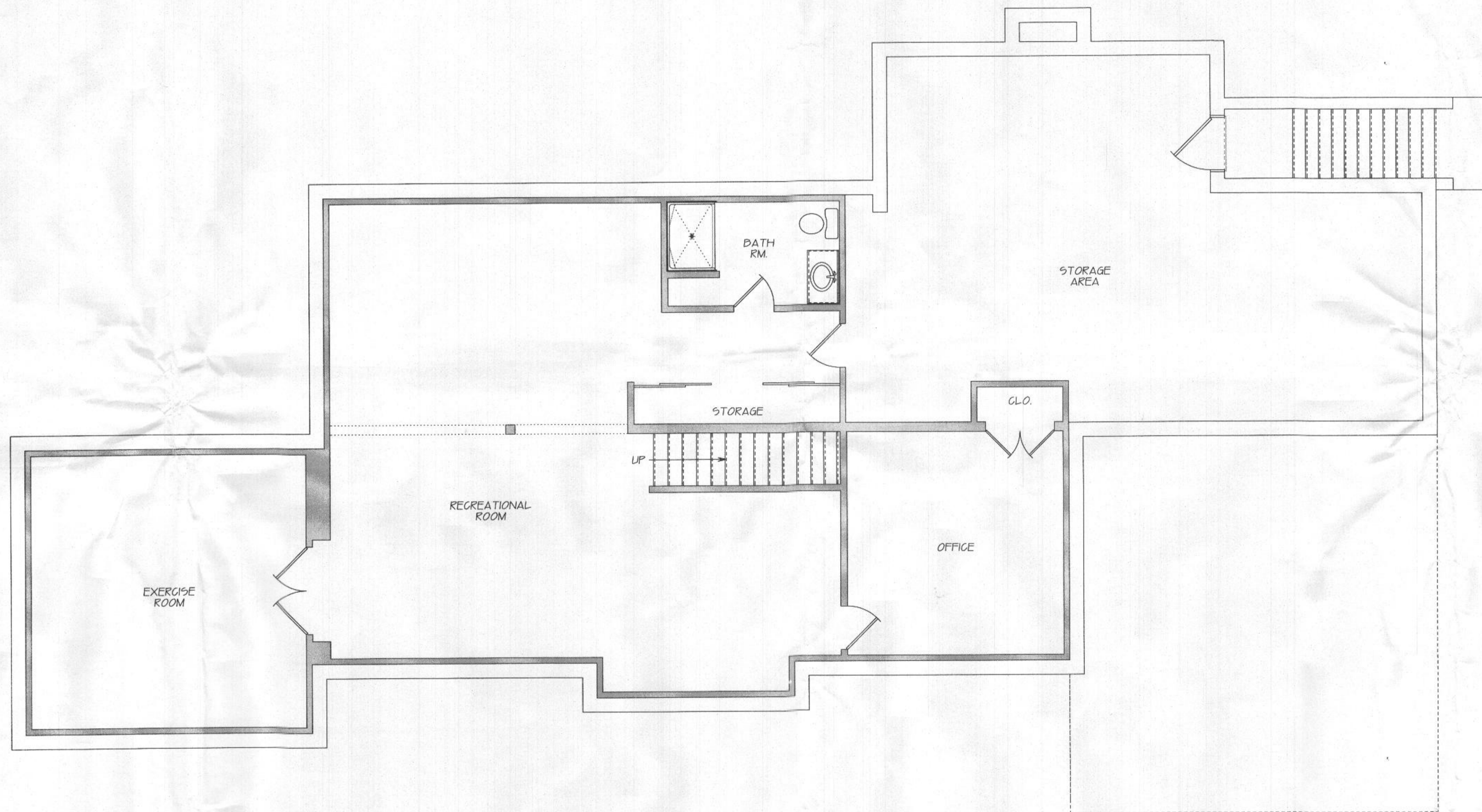
ADDITIONS: GARAGE, FAMILY ROOM,
 OWNER'S SUITE & BATHROOMS,
 IN-LAW SUITES & MORE
 KITCHEN REMODEL & ADDITIONS
 WHOLE HOUSE RENOVATIONS
 BASEMENT'S
 AGING/DISABILITY NEEDS
 P.O. BOX 2285
 GLOVERSBURG, MARYLAND 21794
 PHONE: 410-300-2765

Authorization/Limitations for Use of Plans
 This set of drawings, the design itself, and any accompanying specifications are the property of Design Build Remodeling Group, Inc. and shall remain the property of Design Build Remodeling Group, Inc. A copy of these drawings and specifications will be provided to the Client. It is understood and agreed that these drawings are not to be used for construction by any other parties.
 Copyright DESIGN BUILD REMODELING GROUP
 All rights reserved 2021

SHEET No.
 10 of 8

FINISHED AREA: 1,310 sq'
 BASEMENT AREA: 1,007 sq'

EXISTING LOWER LEVEL FLOOR PLAN



SCALE: 1/4" = 1' 0"

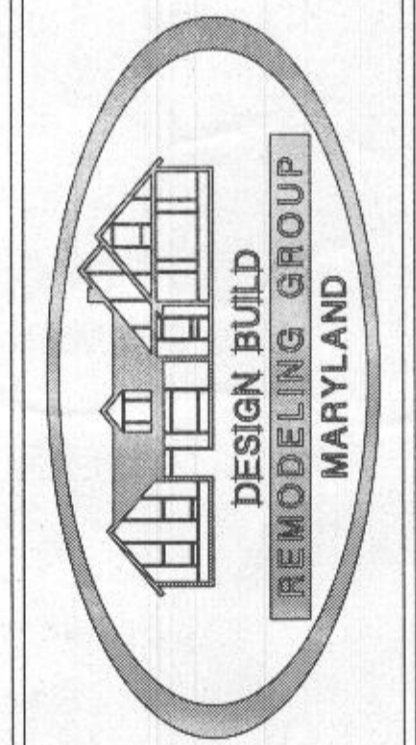
Authorization/Limitations for Use of Plans
 This set of drawings, the design itself, and any accompanying specifications are solely owned by, and have been prepared for the exclusive use by Design Build Remodeling Group, for the improvements to be made. A copy of these drawings and specifications will be provided to the Client. It is understood and agreed that these drawings are not to be used for construction by any other parties.

Copyright DESIGN BUILD REMODELING GROUP
 All rights reserved 2021

SHEET No.

18 of 8

ADDITIONS: GARAGE, FAMILY ROOM,
 OWNER'S SUITE & BATHROOMS,
 IN-LAW SUITES & MORE
 KITCHEN REMODEL/ADDITIONS
 BATHS, BENCH RENOVATIONS
 BASEMENTS
 AGING/DISABILITY NEEDS
 P.O. BOX 1265
 ELDERSBURG, MARYLAND 21764
 PHONE: 443-500-2266



CREATIVE OUTLOOKS, LLC
 PHILIP F. GUGLIUZZA
 CUSTOM HOME PLANNING & DESIGN
 HIGH QUALITY CONSTRUCTION PLANS
 FOR CREATIVE OUTLOOKS@GMAIL.COM
 PHONE: 410-596-1062

EXISTING LOWER LEVEL FLOOR PLAN
 NEW ADDITION FOR:
 MICHELLE & ALLEN HAIGHT
 3106 ELLERSLIE COURT
 GLENWOOD, MARYLAND 22738
 DATE: APRIL 19, 2021
 DRAWN BY: P.F.G.
 SCALE: AS NOTED
 AS NOTED



REVIEWED FOR STRUCTURAL SUPPORT,
FOUNDATION, STEEL BEAMS, MICRO-LAMS,
HEADERS & WALL BRACING ONLY.
Professional Certification. I hereby certify that these
documents were prepared or approved by me, and that I
am a duly licensed professional engineer under the laws
of the state of Maryland.
License No. 9862, Expiration Date: 5-17-22
TMM CONSULTING SERVICES, LLC
7441 HOLLOW RD.
MIDDLETOWN, MD 21769
240-434-9518

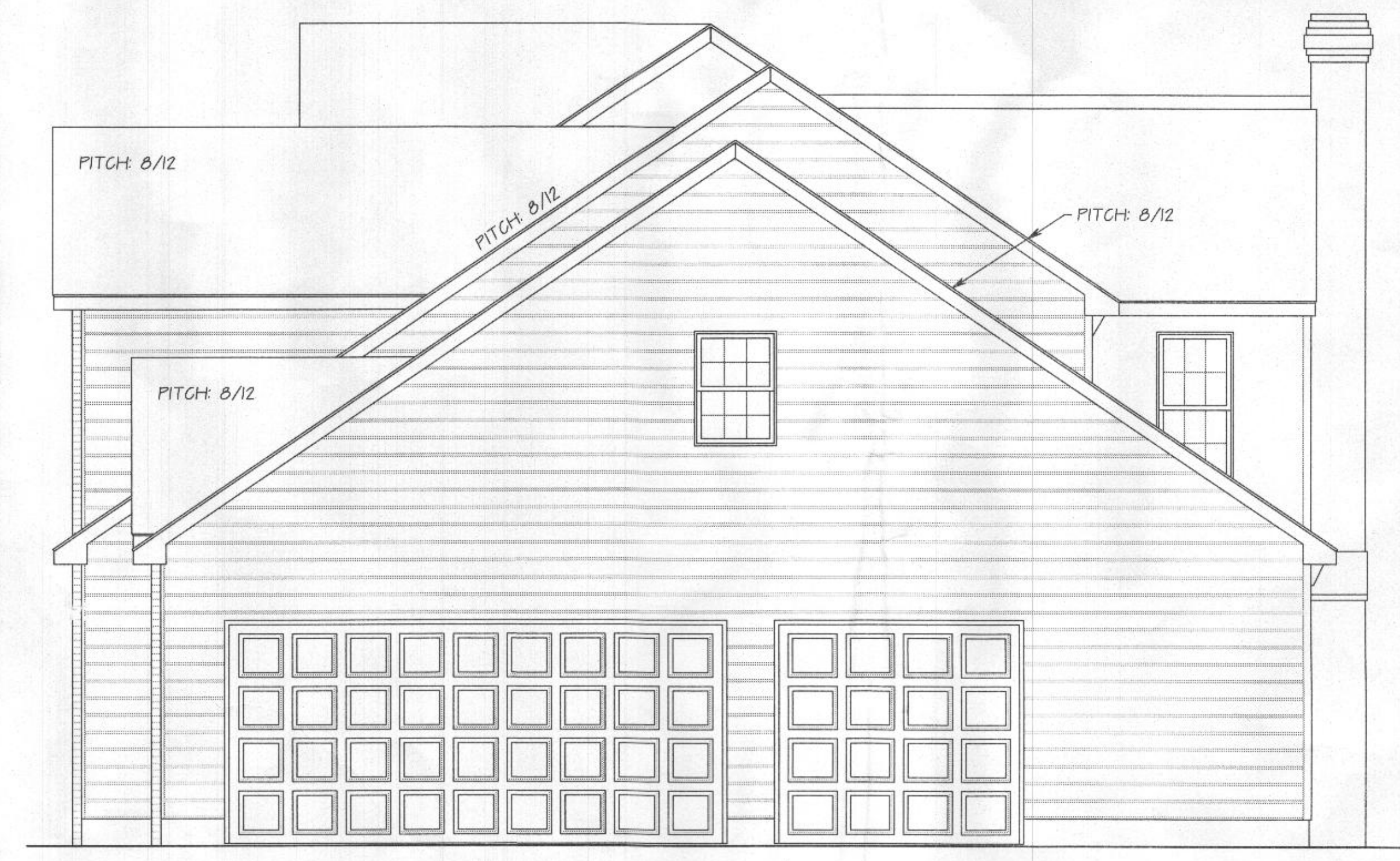
1/2" TRIM BD.
ARCHITECTURAL SHINGLE
BEST MATCH EXISTING
1/2" TRIM w/CROWN
MATCH EXISTING CORNIC
BRICK, MORTAR, QUIONS & DETAILS
TO BEST MATCH EXISTING
VINYL LOUVER SHUTTER
MATCH EXISTING
ANDERSEN WINDOWS
MATCH EXISTING

FRONT ELEVATION

R312.2 WINDOW FALL PROTECTION
WHERE THE TOP OF THE WINDOW SILL OF AN OPERABLE
WINDOW OPENING IS LOCATED LESS THAN 24" ABOVE
FINISHED FLOOR AND GREATER THAN 72" ABOVE THE
FINISHED GRADE OR OTHER SURFACES BELOW ON THE
EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW
SHALL COMPLY WITH:
1. OPERABLE WINDOW WITH OPENINGS THAT WILL NOT ALLOW
A 4" SPHERE TO PASS THROUGH THE OPENING WHERE
IS IN ITS LARGEST OPENED POSITION.
2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW
FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW
OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.



REAR ELEVATION

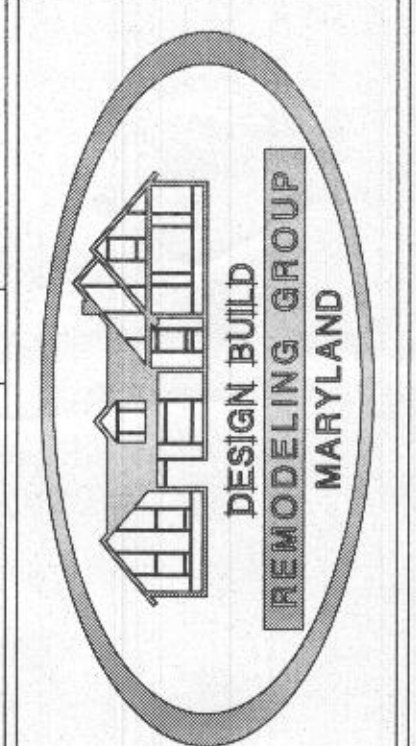


RIGHT SIDE ELEVATION

SCALE: 1/4" = 1' 0"

PROPOSED ELEVATIONS
NEW ADDITION FOR:
MICHELLE & ALLEN HAIGHT
3106 ELLESMIE COURT
GLENWOOD, MARYLAND 22738
DATE: APRIL 19, 2021 DRAWN BY: PFG
SCALE: AS NOTED

CREATIVE OUTLOOKS, LLC
PHILIP F. GUGLIUZZA
CUSTOM HOME PLANNING & DESIGN
HOME REPAIRS & RENOVATIONS
COMPLETE CONSTRUCTION PLANS
PFG@CREATIVEOUTLOOKS.COM
PHONE: 410-596-1062

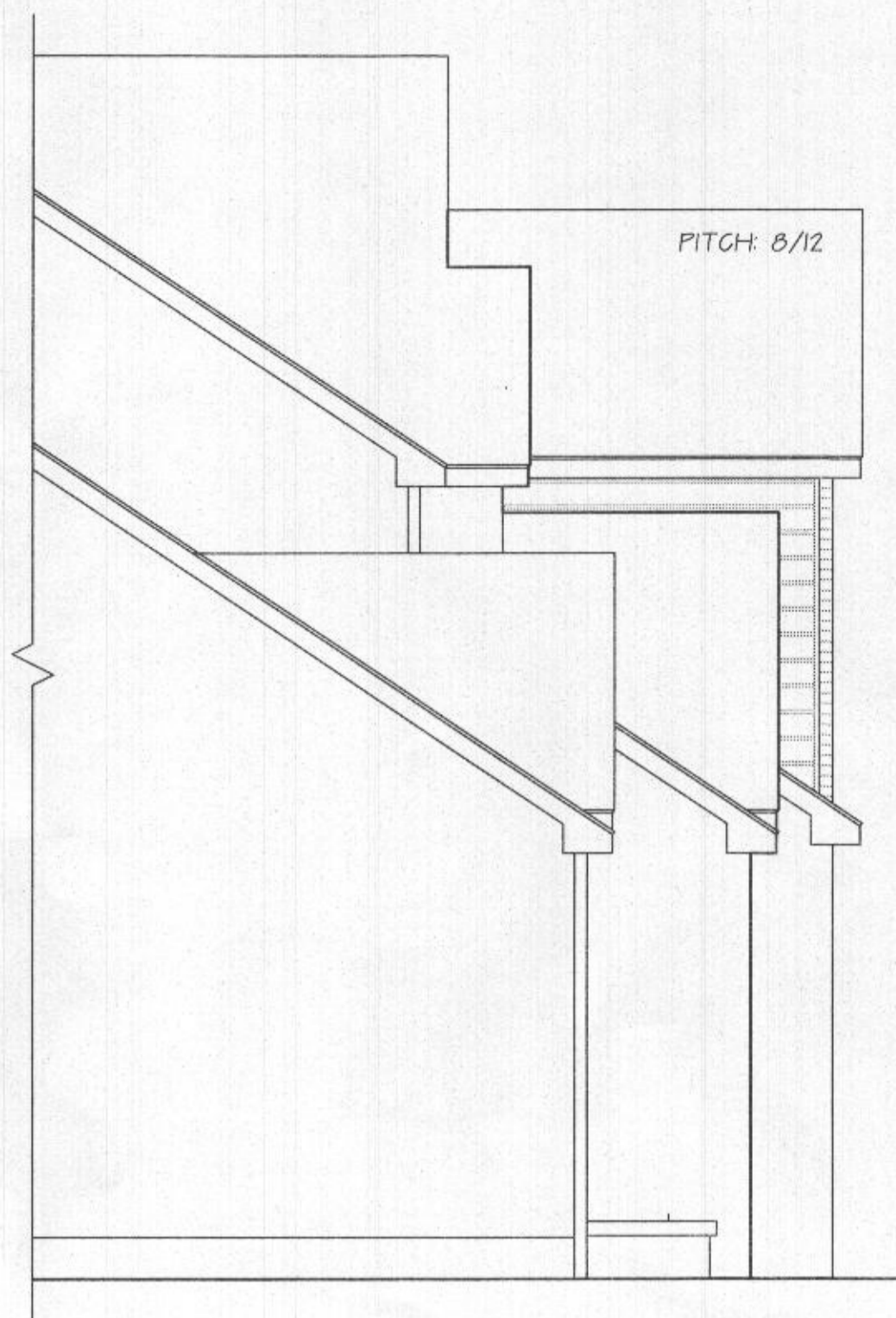


ADDITIONS: GARAGE, FAMILY ROOM,
DINING ROOM, BATH, BATHROOMS,
KITCHEN, SUNLIT & BATHROOMS,
KITCHEN REMODEL & ADDITIONS
WHOLE HOUSE RENOVATIONS
BASEMENTS
AGING/DISABILITY NEEDS
P.O. BOX 1036 MARYLAND 21764
ELEPHANT
PHONE: 443-302-2265

Authorization/Limitations for Use of Plans
This set of drawings, the design itself, and any accompanying spec-
ifications are solely owned by, and have been prepared for the exclusive
use by Design Build Remodeling Group, Inc. No improvements are to be made,
copies made, or any other use of these drawings without the written
consent of Design Build Remodeling Group, Inc. It is understood and agreed that these drawings are not to be
used for construction by any other parties.
Copyright © Design Build Remodeling Group
All rights reserved 2021

- R301 CLIMATE ZONE 4A
- R402 COMPLIANCE METHOD: MANDATORY AND PRESCRIPTIVE PROVISIONS
- R402.1 VAPOR RETARDER: WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE 2009 EDITION.
- R402.12 ATTIC INSULATION R-49 w/STANDARD TRUSS HEEL ATTIC INSULATION R-38 w/ RAISED HEEL OVER EXTERIOR WALL
- R402.12 WOOD FRAME WALL: R-20 OR R-13 + R5 CONTINUOUS INSULATION
- R402.12 BASEMENT WALL INSULATION: R-15/R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED DATTS FULL HEIGHT
- R402.12 CRAWL SPACE WALL INSULATION: R-15/R-10 FOIL FACED CONTINUOUS DATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0"
- R402.12 FLOOR INSULATION OVER UNCONDITIONED SPACE R-19 DATTS INSULATION
- R402.12 WINDOW U-VALUE/SHGC .35 (U-VALUE) .40 (SHGC)
- R402.2.10 SLAB ON GRADE FLOORS LESS THAN 12' BELOW GRADE: R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR 2'-0" VERTICALLY.
- R402.2.4 ATTIC ACCESS: ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49
- R402.4 BUILDING THERMAL ENVELOPE (AIR LEAKAGE): EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2009 IECC WITH GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL. SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW SEALING FOR DIFFERENTIAL EXPANSION AND CONTRACTION.
- R402.4.1.2 BUILDING THERMAL ENVELOPE TIGHTNESS TEST: BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGER PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 WITH (BLOWER DOOR) AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING INSPECTOR.
- R402.4.2 FIREPLACES: NEW WOOD BURNING FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR FIREPLACE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 127 (FACTORY BUILT FIREPLACE AND UL 907 (MASONRY FIREPLACE).

- R402.4.4 ROOMS CONTAINING FUEL-BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE ALLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE. EXCEPTIONS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE. 2. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R1006 OF THE IRC.
- R402.4.5 RECESSED LIGHTING: RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.
- R403.1 THERMOSTAT: ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2015 IECC SECTION 403.1.
- R403.1.2 WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.
- R403.3 MECHANICAL DUCT INSULATION: SUPPLY AND RETURN DUCTS IN ATTIC R-8 MINIMUM, R-6 WHEN LESS THAN 3'. ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MINIMUM.
- R403.3.2 DUCT SEALING: ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED JOINTS AND SEAMS WILL COMPLY WITH SECTION M601.41 OF THE IRC. A DUCT TIGHTNESS TEST (DUCT PLASTER DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH-IN TEST. DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE.
- R403.6 MECHANICAL VENTILATION: OUTDOOR (MAKE-UP AND EXHAUST) AIR DUCTS TO BE PROVIDED WITH AUTOMATIC OR GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.
- R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICIENCY TO COMPLY WITH TABLE R403.6.1
- R403.7 EQUIPMENT SIZING SHALL COMPLY WITH R403.7
- R404 LIGHTING EQUIPMENT: A MINIMUM OF 75% OF ALL LAMPS (LIGHTS) MUST BE HIGH EFFICACY LAMPS. THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING ELECTRICAL PANEL OR WITHIN 6 FEET OF THE ELECTRICAL PANEL AND BE READILY VISIBLE.



INSULATION

- STANDARD TRUSS HEEL: R-49 ATTIC INSULATION
- RAISED TRUSS HEEL: R-38 ATTIC INSULATION & MIN R-30 OVER EXTERIOR WALL PLATE
- WALLS R-20
- BASEMENT WALLS R-10 CONTIGUES OR R-13 CAVITY
- SLAB PERIMETER R-10
- CRAWL SPACE WALLS R-10
- FLOORS R-19
- WINDOWS MUST HAVE A U-VALUE OF .40.
- WINDOW SKYLIGHT & DOOR

PERFORMANCE CRITERIA

WINDOW CRITERIA:

NORTH-CENTRAL SKYLIGHT CRITERIA:	U-FACTOR	SHGC
	≤ 0.32	≤ 0.40
NORTH-CENTRAL DOOR CRITERIA:	U-FACTOR	SHGC
	≤ 0.55	≤ 0.40

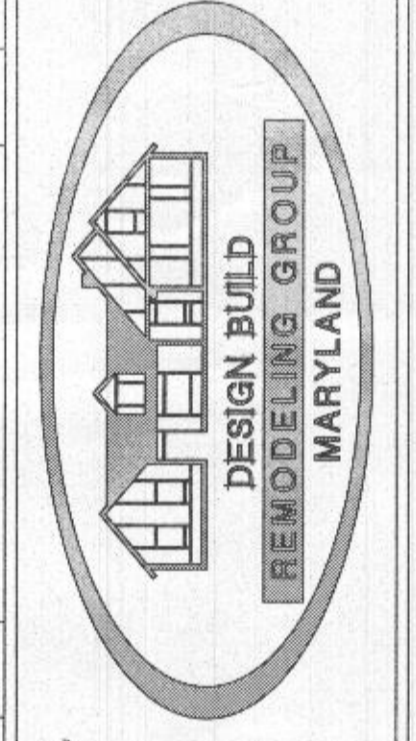
GLAZING LEVEL CRITERIA:

OPAQUE	U-FACTOR	SHGC
≤ 1/2-LITE	≤ 0.21	NO RATING
> 1/2-LITE	≤ 0.27	≤ 0.30
	> 0.32	> 0.30

REVIEWED FOR STRUCTURAL SUPPORT, FOUNDATION, STEEL BEAMS, MICRO-LAMS, HEADERS & WALL BRACING ONLY.
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.
License No. 9862 - Expiration Date: 5-17-22
TMM CONSULTING SERVICES, LLC
7941 HOLLOW RD.
MIDDLETOWN, MD 21769
240-439-9516

LEFT SIDE ELEVATION, FOUNDATION PLAN & FIRST FLOOR FRAMING LAYOUT
NEW ADDITION FOR: MICHELLE & ALLEN HAIGHT
3106 ELLERSLIE COURT
GLENWOOD, MARYLAND 22738
DATE: APRIL 19, 2021
SCALE: AS NOTED

CREATIVE OUTLOOKS, LLC
PHILIP F. GUGLIUZZA
CUSTOM HOME PLANNING & DESIGN
COMPLETE CONSTRUCTION PLANS
REGISTRAR@OUTLOOKS.COM
PHONE: 410-596-1062

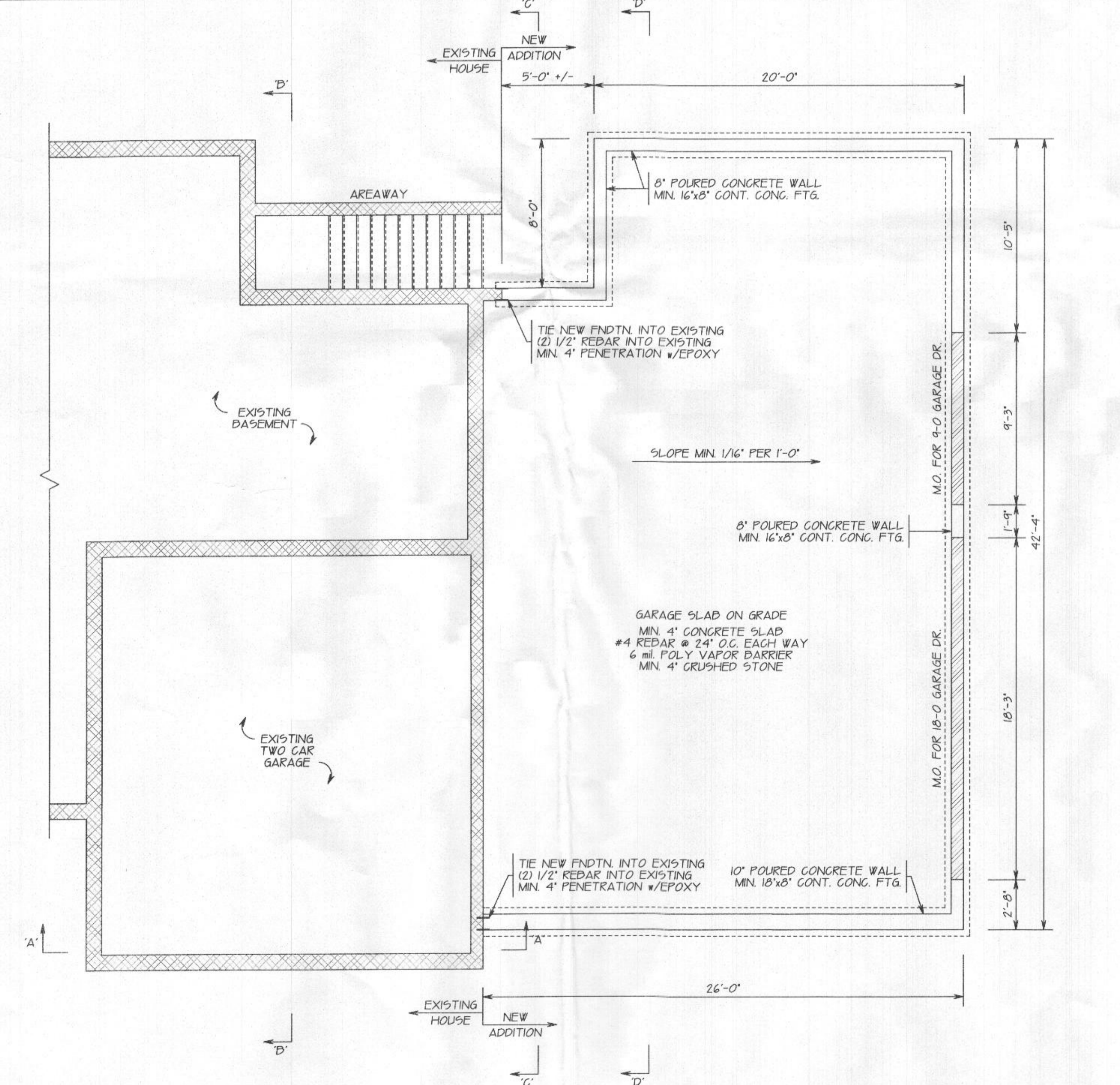


ADDITIONS: GARAGE, FAMILY ROOM, OWNER SUITE & BATHROOMS, KITCHEN REMODEL & ADDITIONS, WHOLE HOUSE RENOVATIONS, BASEMENTS, AGING/DISABILITY NEEDS
P.O. BOX 1205
ELLERSLIE, MARYLAND 21784
PHONE: 443-300-2265

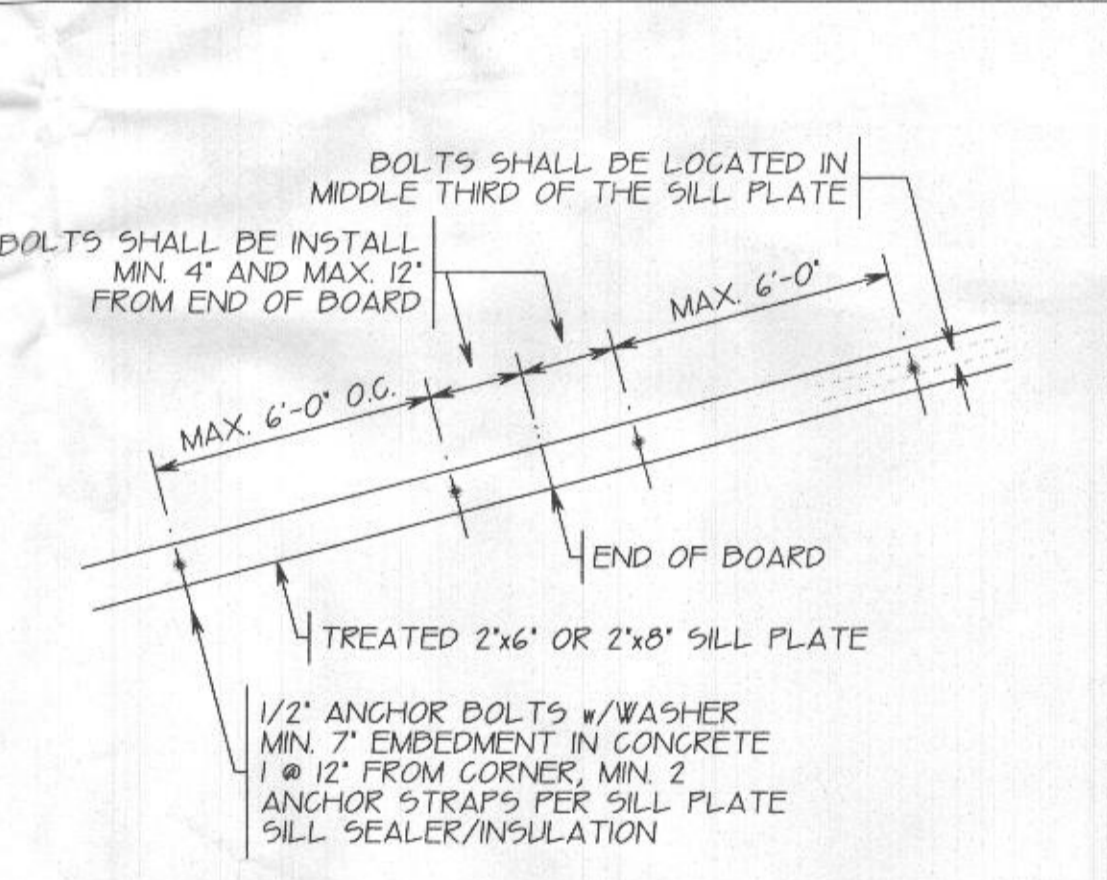
Authorization/Limitations for Use of Plans
This set of drawings, the design itself, and any accompanying specifications are solely owned by, and have been prepared for the exclusive use by Design Build Remodeling Group, Inc. The drawings are to be made for the Client. It is understood and agreed that these drawings are not to be used for construction by any other parties.
Copyright: DESIGN BUILD REMODELING GROUP
All rights reserved 2021

IECC CODE COMPLIANCE

SILL PLATE DETAIL

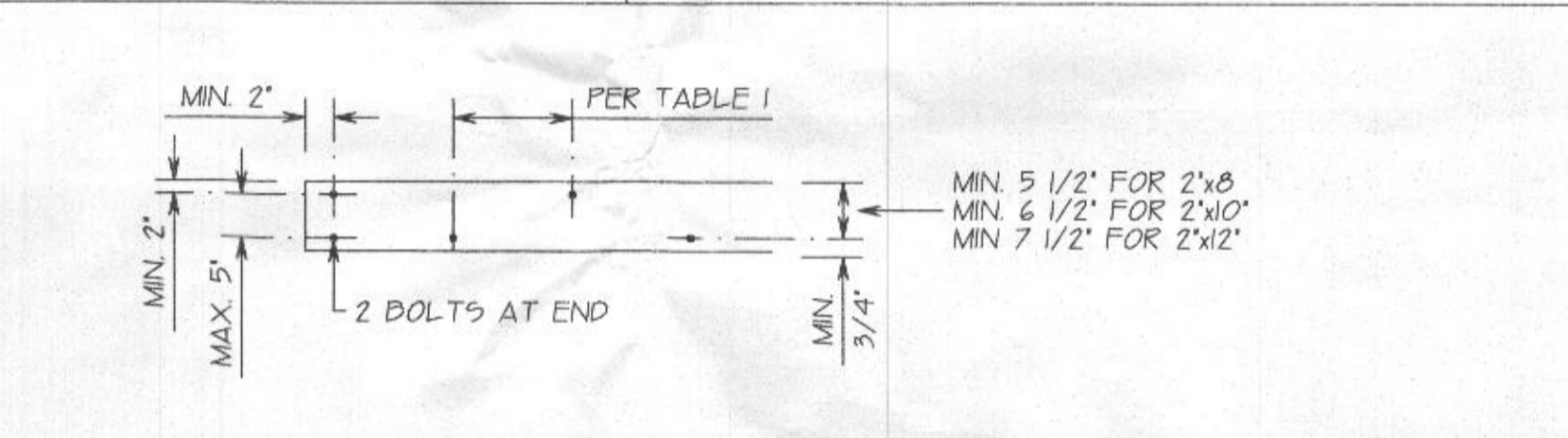


LEFT SIDE ELEVATION

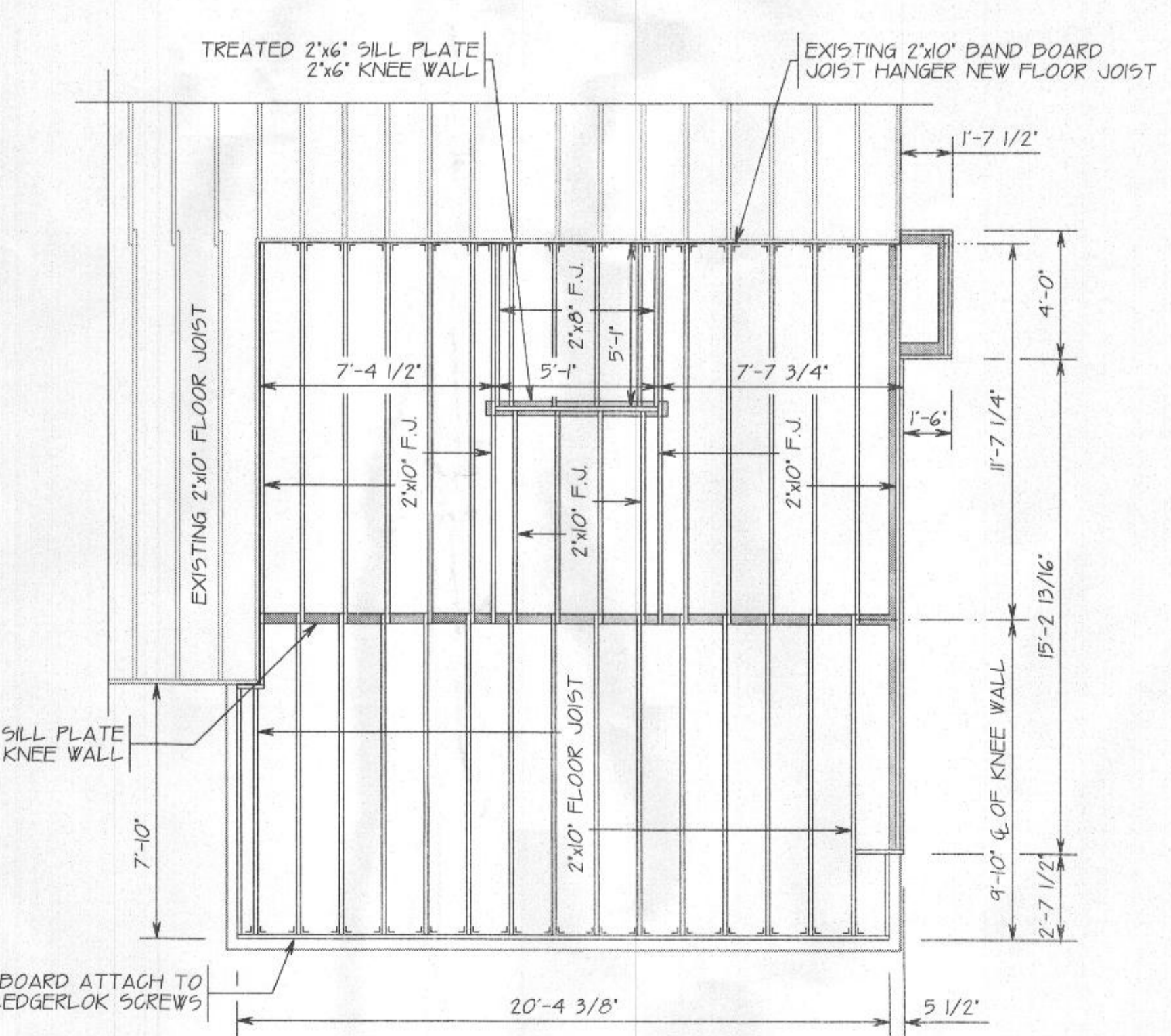


SILL PLATE DETAIL

PRESCRIPTIVE R-VALUE PATH



LEDGER BOARD FASTENER



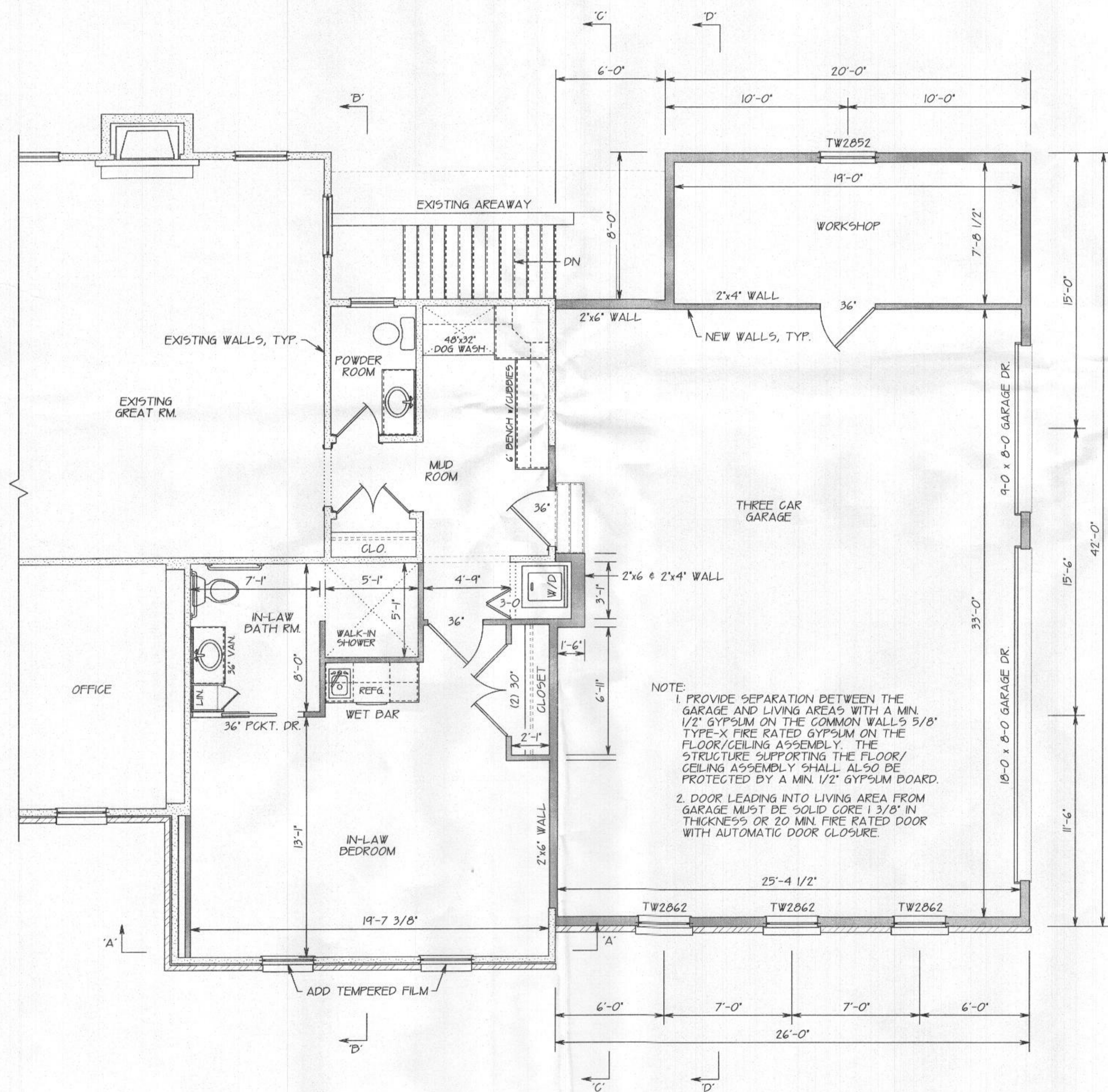
FOUNDATION PLAN

FIRST FLOOR FRAMING LAYOUT

SCALE: 1/4" = 1'-0"

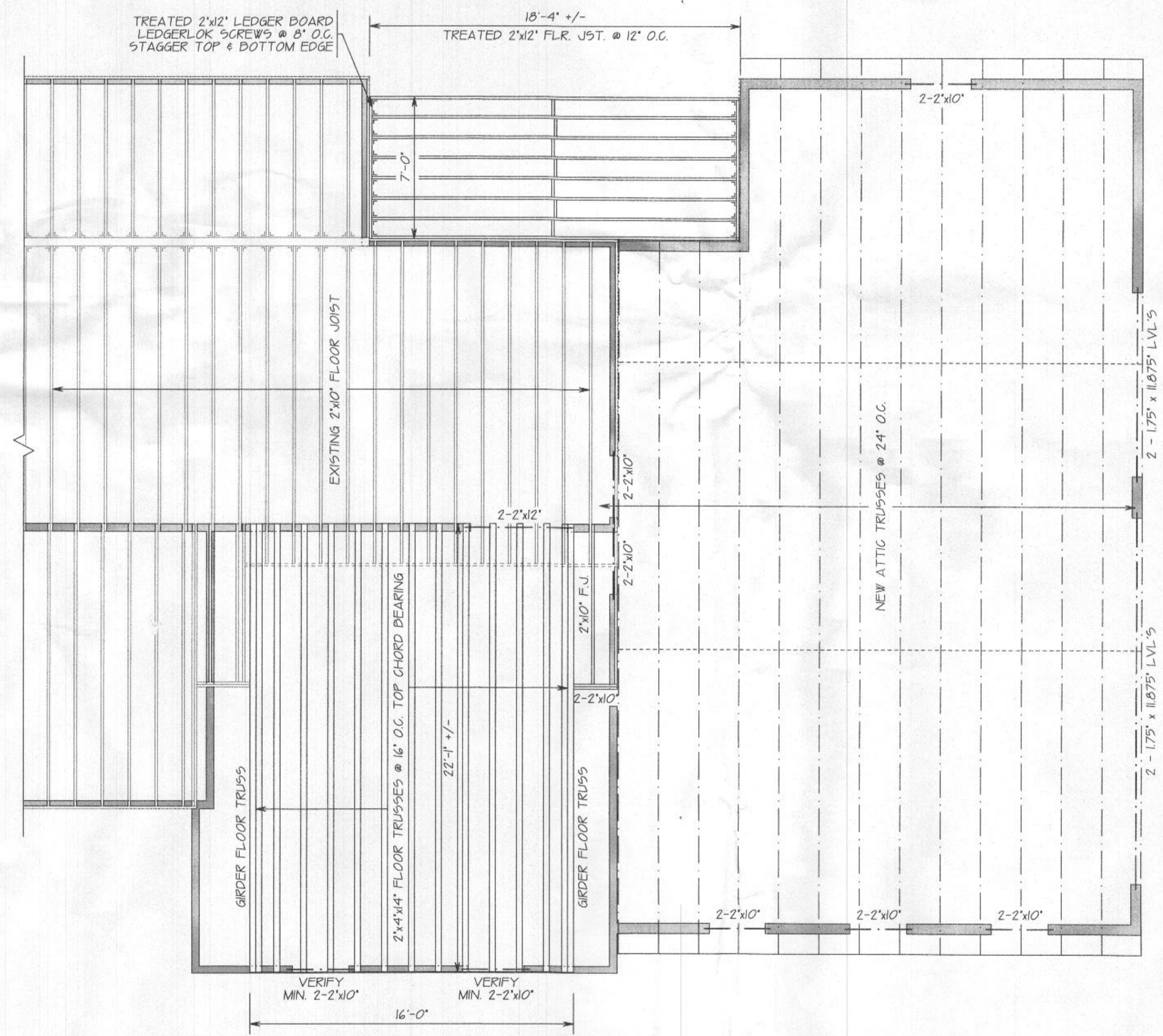
NOTE:

1. CARBON MONOXIDE ALARMS REQUIRED FOR DWELLINGS THAT USE FOSSIL FUELS ONE PER FLOOR LEVEL. CENTRAL LOCATION.
2. SMOKE DETECTORS TO BE HARD WIRED WITH BATTERY BACK-UP. ONE IN EACH BEDROOM AND ONE PER FLOOR LEVEL.
3. EXTERIOR DIMENSIONS ARE FROM OUTSIDE OF WALL SHEATHING (6" THICKNESS).
4. INTERIOR DIMENSIONS ARE FROM FACE OF STUDS (3 1/2" OR 5 1/2" THICKNESS).
5. INTERIOR DOORS ARE SHOWN 4" FROM ADJACENT WALL.
6. ALL EXHAUST FANS SHALL BE VENTED TO EXTERIOR.
7. HEADER SHALL BE (2) 2"x10", UNLESS NOTED OTHERWISE.
8. OPENINGS GREATER THAN 4'-0" WIDE REQUIRED DOUBLE 2"x6" JACK STUDS EACH SIDE.
9. CONTRACTOR SHALL VERIFY/COORDINATE ALL BEARING POINT LOADS ARE DIRECT BEARING ON STEEL BEAM, LVL OR FOUNDATION WALL. PROVIDE SOLID BLOCKING AS NEEDED IN FLOOR SYSTEM.
10. MINIMUM JOIST BEARING ON WOOD-1 1/2", MASONRY-3"
11. PROVIDE GRACE ICE AND WATER SHIELD (OR EQUAL) ALONG EDGE AND VALLEY.
12. ATTIC ACCESS MIN. 22"x30" OPENING AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION MINIMUM UNOBTSTRUCTED HEADROOM IN THAT ATTIC SPACE SHALL BE 30" ABOVE ACCESS OPENING.
13. FIRESTOP ALL CONCEALED SPACES OF STUD WALL PARTITIONS TO CUT OFF ALL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND ROOF.
14. FLASHING SHALL BE USED AROUND WINDOWS AND DOORS UNDER AT THE ENDS OF MASONRY. ABOVE ALL PROJECTING WOOD TRIM, WHERE PORCHES, DECKS OR STAIRS ATTACHED TO A WALL OR FLOOR ASSEMBLY. PROVIDE KICK-OUT FLASHING WHERE ROOF END AT WALL INTERSECTIONS.



NEW THREE CAR GARAGE/WORKSHOP: 1,039 sq'
NEW IN-LAW SUITE: 442 sq'

FIRST LEVEL FLOOR PLAN



SECOND FLOOR FRAMING LAYOUT

SCALE: 1/4" = 1' 0"

REVIEWED FOR STRUCTURAL SUPPORT:
FOUNDATION, STEEL BEAMS, MICRO-LAMS,
HEADERS & WALL BRACING ONLY.
Professional Certification. I hereby certify that these
documents were prepared or approved by me, and that I
am a duly licensed professional engineer under the laws
of the state of Maryland.
License No. 9862, Expiration Date: 5-17-22
TMM CONSULTING SERVICES, LLC
7941 HOLLOW RD.
MIDDLETOWN, MD 21764
240-434-9518

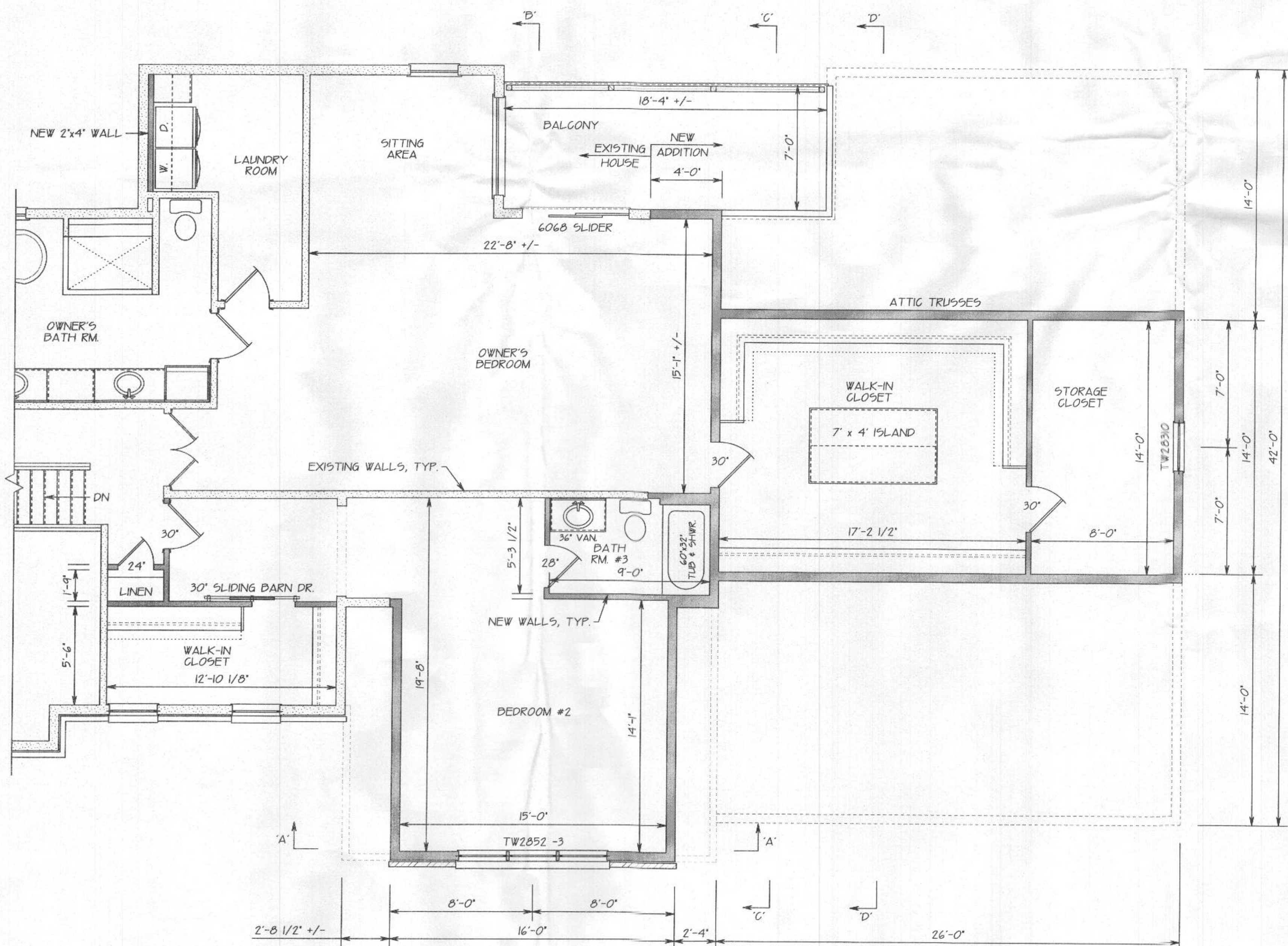
CREATIVE OUTLOOKS, LLC
PHILIP F. GUGLIUZZA
CUSTOM HOME PLANNING & DESIGN
HOME REMODELING & ADDITIONS
CONSTRUCTION
PGCREATIVEOUTLOOKS@GMAIL.COM
PHONE: 410-596-1062



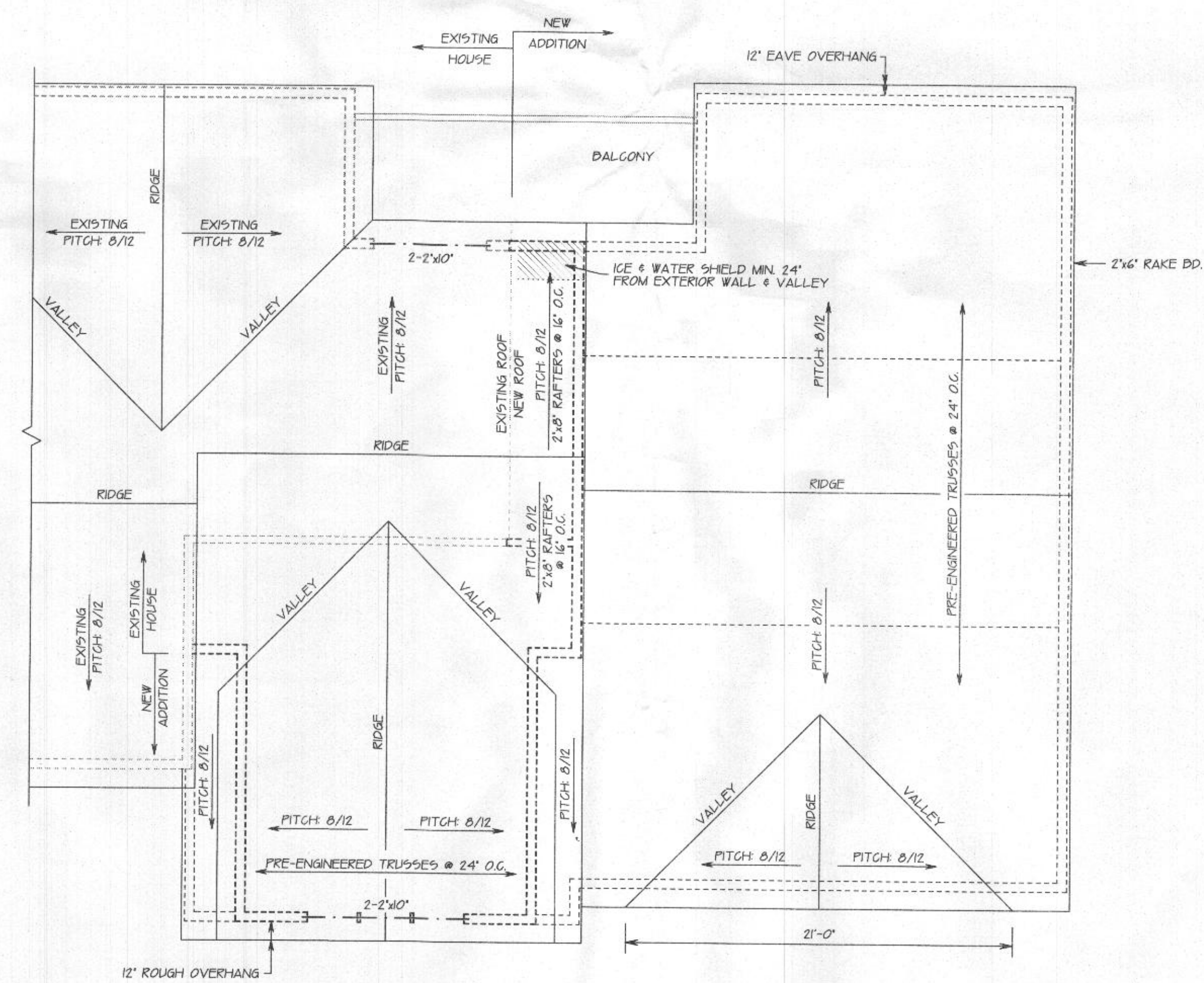
ADDITIONS: GARAGE, FAMILY ROOM,
OWNER SUITE & BATHROOMS,
KITCHEN REMODEL & ADDITIONS
WHOLE HOUSE RENOVATIONS
BASEMENTS
AGING/DISABILITY NEEDS
P.O. BOX 1805
FREDERICK, MARYLAND 21704
PHONE: 443-300-2268

Authorization/Limitations for Use of Plans
This set of drawings, the design itself, and any accompanying specifications are solely owned by, and have been prepared for the exclusive use of Design Build Remodeling Group, Inc. No other party shall use these drawings without the written consent of Design Build Remodeling Group, Inc. It is understood and agreed that these drawings are not to be used for construction by any other parties.
Copyright © DESIGN BUILD REMODELING GROUP
All rights reserved 2021

PARTIAL FIRST LEVEL FLOOR PLAN
SECOND FLOOR FRAMING LAYOUT
NEW ADDITION FOR:
MICHELLE & ALLEN HAIGHT
3106 ELLERSLIE COURT
GLENWOOD, MARYLAND 22738
DATE: APRIL 19, 2021
DRAWN BY: PFG
SCALE: AS NOTED



PARTIAL SECOND LEVEL FLOOR PLAN
NEW LIVING AREA: 797 SQ'
SCALE: 1/4" = 1' 0"



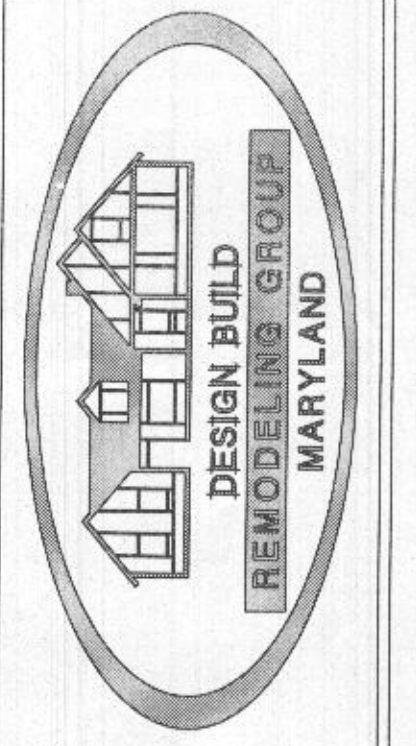
ROOF PLAN
SCALE: 3/16" = 1' 0"

ROOF RAFTERS SPAN			
LIVE LOAD 40psf SNOW & 10psf DEAD LOAD			
9FF #2	2'x8'	2'x10'	2'x12'
12' O.C.	14'-2"	17'-2"	20'-6"
16' O.C.	12'-4"	15'-0"	17'-10"
24' O.C.	10'-0"	12'-4"	14'-6"

REVIEWED FOR STRUCTURAL SUPPORT;
FOUNDATION, STEEL BEAMS, MICRO-LAMS,
HEADERS & WALL BRACING ONLY.
Professional Certification. I hereby certify that these
documents were prepared or approved by me, and that I
am a duly licensed professional engineer under the laws
of the state of Maryland.
License No. 9862, Expiration Date: 5-17-22
TMM CONSULTING SERVICES, LLC
7941 HOLLOW RD.
MIDDLETOWN, MD 21769
240-434-1518

SECOND LEVEL FLOOR PLAN &
ROOF PLAN
NEW ADDITION FOR
MICHELLE & ALLEN HAIGHT
3106 ELLERBLE COURT
GLENWOOD, MARYLAND 22738
DATE: APRIL 19, 2021
DRAWN BY: P.F.G.
SCALE: AS NOTED

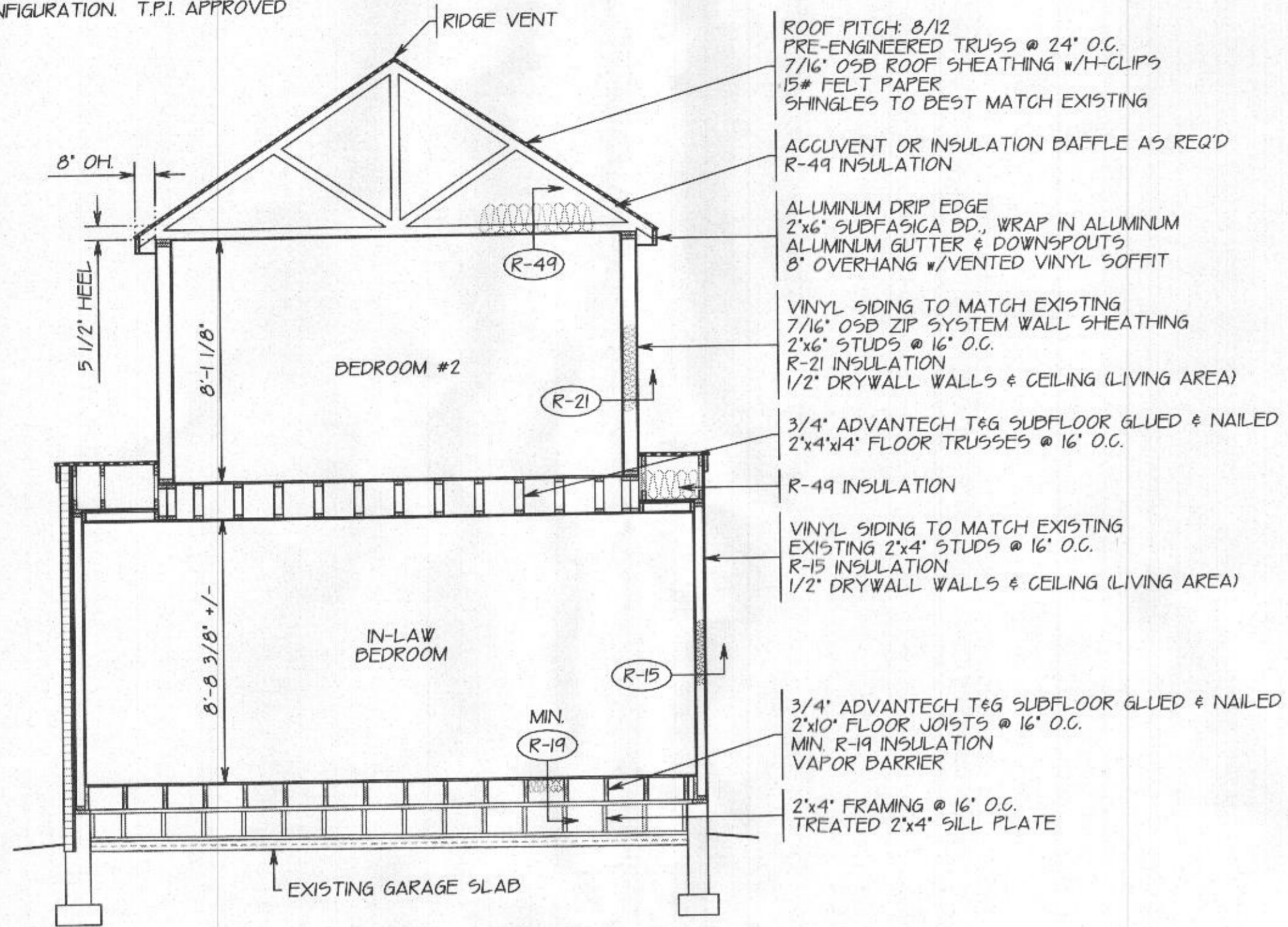
CREATIVE OUTLOOKS, LLC
PHILIP F. GUGLIUZZA
CUSTOM HOME PLANNING & DESIGN
HOME ADDITION-REMODELING DESIGN
COMPLETE CONSTRUCTION PLANS
FGCREATIVEOUTLOOKS@GMAIL.COM
PHONE: 410-546-1062



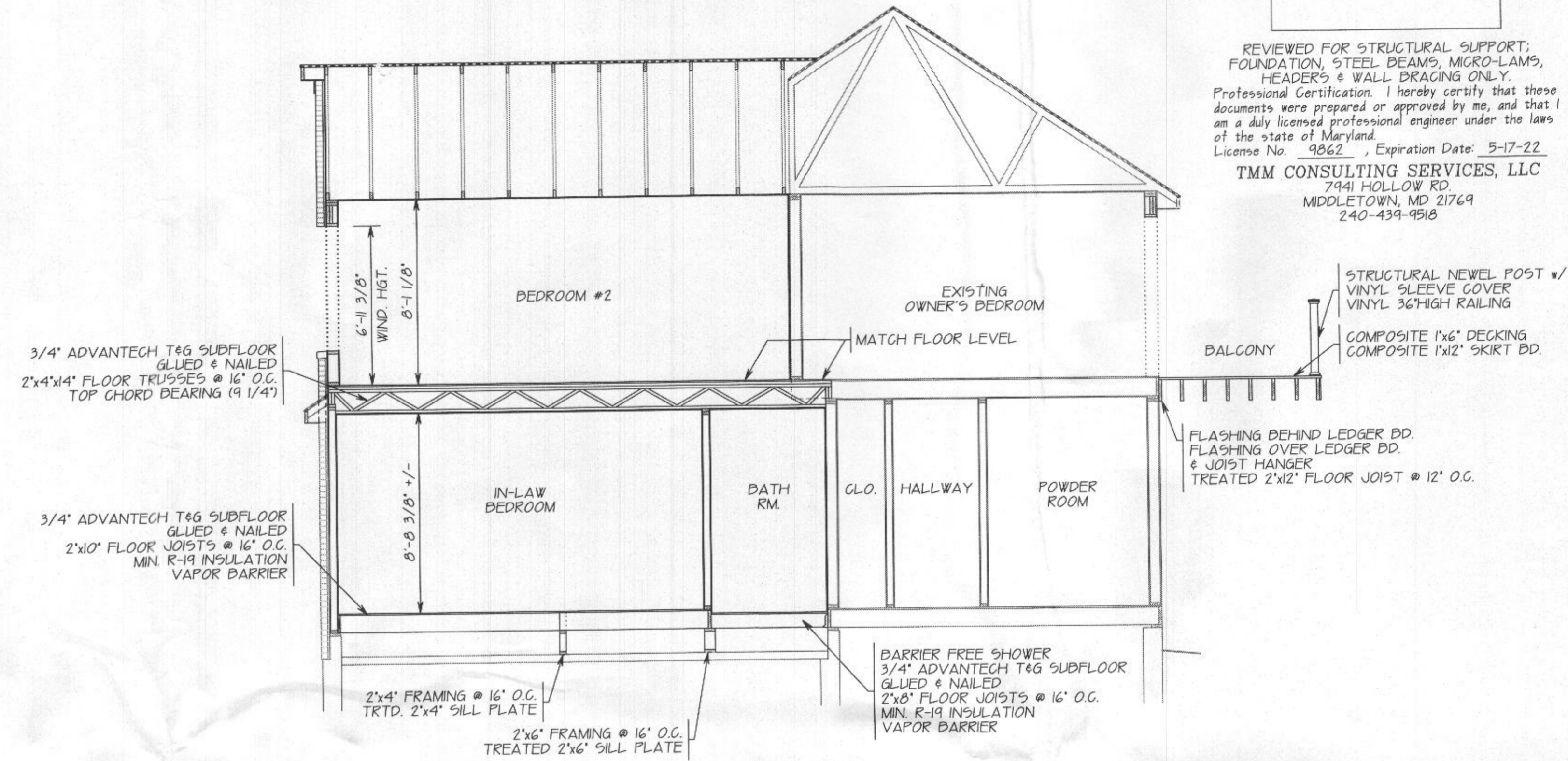
ADDITIONS: GARAGE, FAMILY ROOM,
OWNER'S SUITE & BATHROOMS,
IN-LAW SUITES & MORE
KITCHEN REMODEL & ADDITIONS
BASEMENT FINISH RENOVATIONS
AGING/DISABILITY NEEDS
P.O. BOX 1285
ELDERSBURG, MARYLAND 21764
PHONE: 443-500-7268

Authorization/Limitations for Use of Plans
This set of drawings, the design itself, and any accompanying specifications are solely owned by, and have been prepared for the exclusive use by Design Build Remodeling Group. For the improvements to be made, a copy of these drawings and specifications will be provided to the Contractor. No other party shall be permitted to use these drawings for any other purposes.
Copyright DESIGN BUILD REMODELING GROUP
All rights reserved 2021

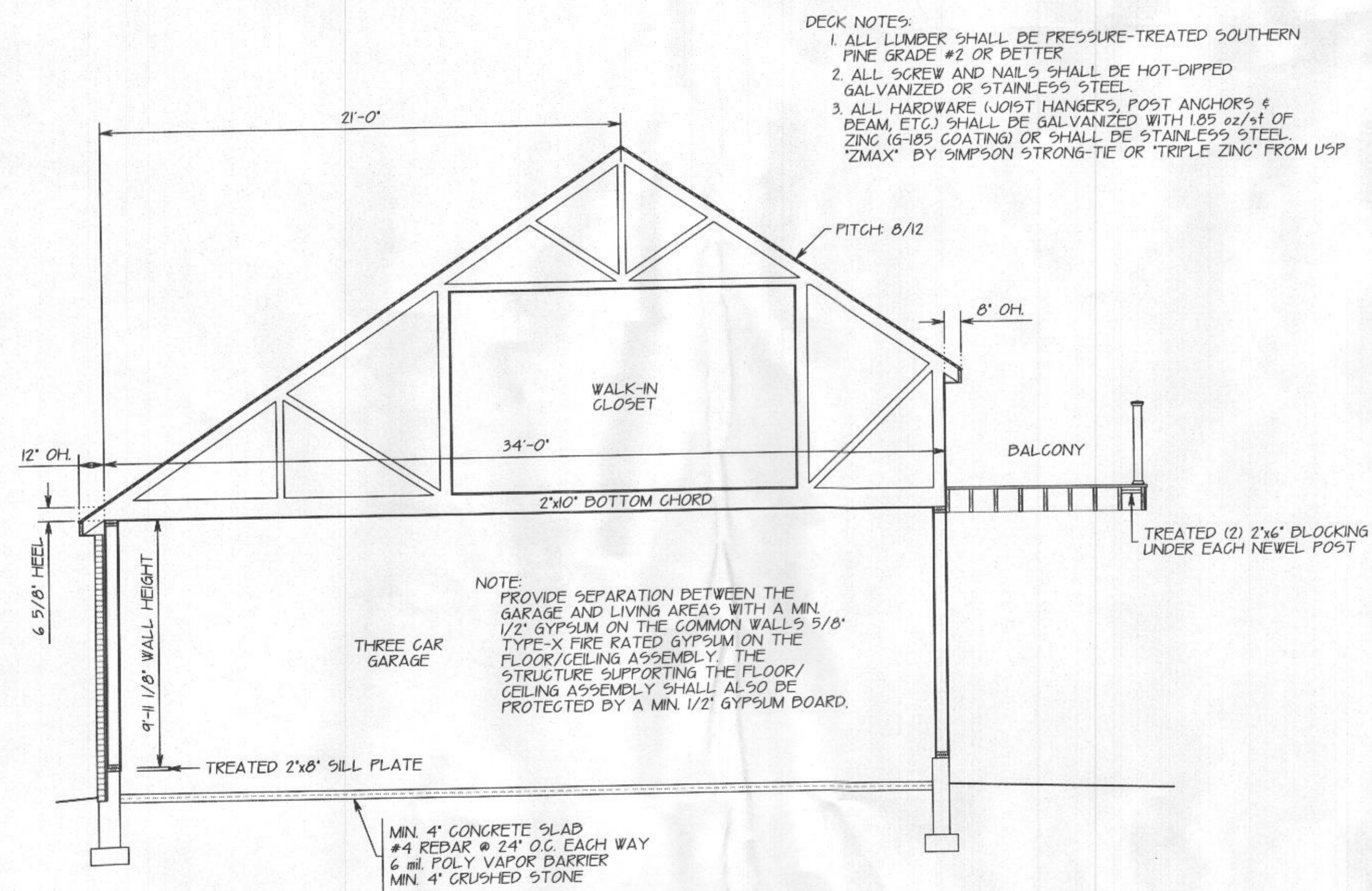
TRUSS CONFIGURATION SHOWN DIAGRAMMATICALLY ONLY
CONSULT TRUSS MANUFACTURER FOR SPECIFICATIONS &
ACTUAL CONFIGURATION. T.P.I. APPROVED



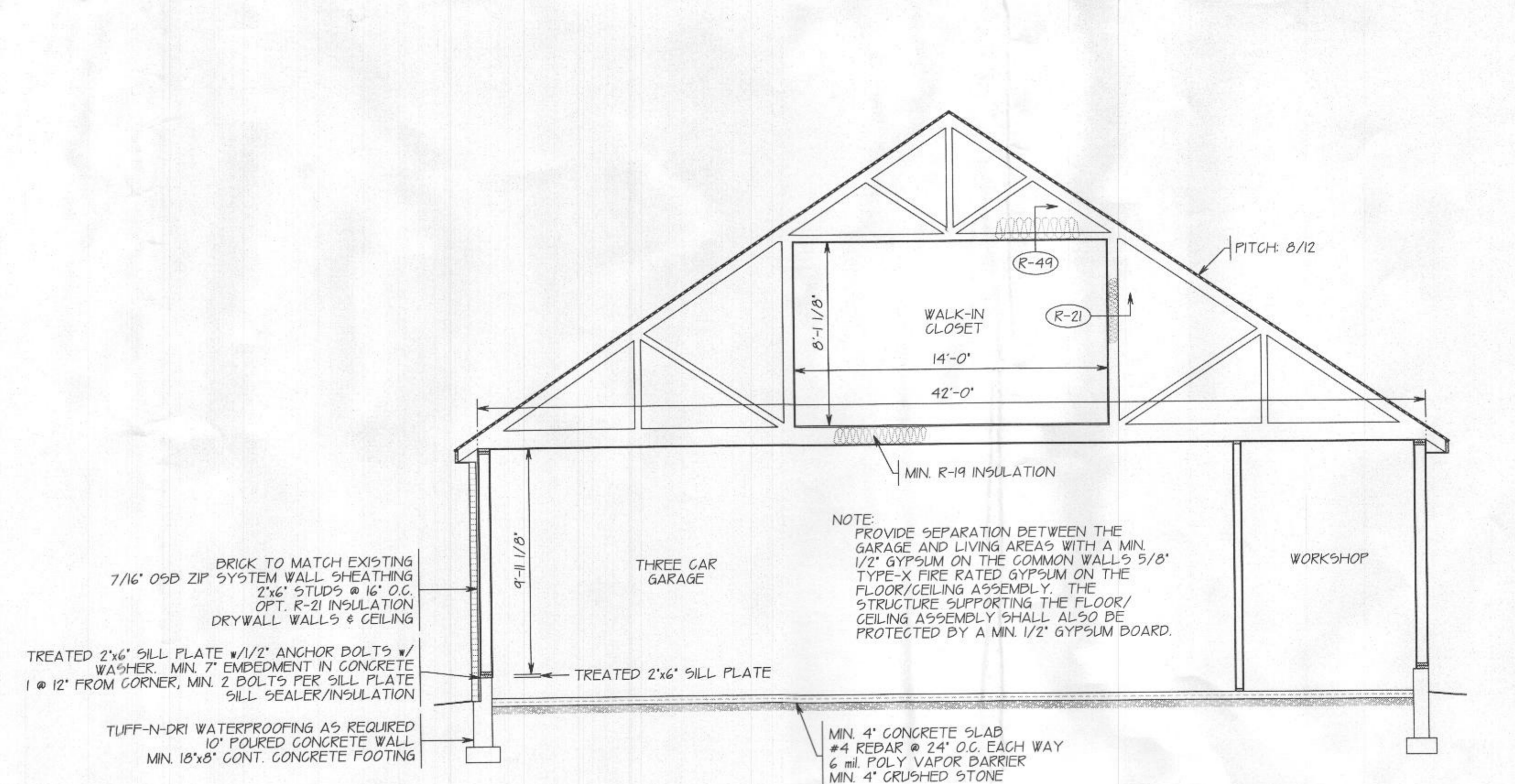
BUILDING SECTION 'A-A'



BUILDING SECTION 'B-B'



BUILDING SECTION 'C-C'

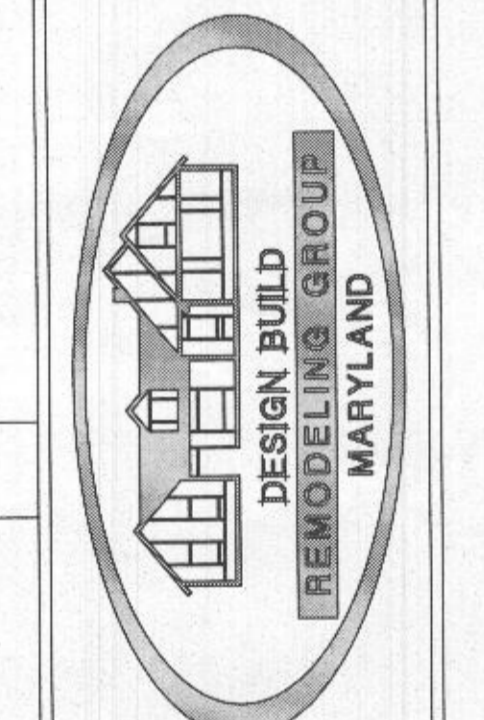


BUILDING SECTION 'D-D'

REVIEWED FOR STRUCTURAL SUPPORT:
FOUNDATION, STEEL BEAMS, MICRO-LAMS,
HEADERS & WALL BRACING ONLY.
Professional Certification. I hereby certify that these
documents were prepared or approved by me, and that I
am a duly licensed professional engineer under the laws
of the state of Maryland.
License No. 98622, Expiration Date: 5-17-22
TMM CONSULTING SERVICES, LLC
7941 HOLLOW RD.
MIDDLETOWN, MD 21769
240-439-9516

BUILDING SECTIONS
NEW ADDITION FOR:
MICHELLE & ALLEN HAIGHT
3106 ELLERSLIE COURT
GLENWOOD, MARYLAND 22738
DATE: APRIL 19, 2021
DRAWN BY: P.F.G.
SCALE: AS NOTED

CREATIVE OUTLOOKS, LLC
PHILIP F. GUGLIUZZA
CUSTOM HOME PLANNING & DESIGN
HOME ADDITION-REMODELING DESIGN
COMPLETE CONSTRUCTION PLANS
PGCREATIVEOUTLOOKS@GMAIL.COM
PHONE: 410-516-1062



ADDITIONS: GARAGE, FAMILY ROOM,
OWNER'S SUITE & BATHROOMS,
IN-LAW SUITE, REMODEL ADDITIONS
WHOLE HOUSE RENOVATIONS
BASEMENTS
AGING/ACCESSIBILITY NEEDS
P.O. BOX 1285
ELLSVILLE, MARYLAND 21764
PHONE: 413-300-2268

Authorization/Limitations for Use of Plans
This set of drawings, the design itself, and any accompanying spec-
ifications are solely owned by, and have been prepared for, the exclusive
use by Design Build Remodeling Group, for the improvements to be made.
A copy of these drawings and specifications will be provided to the
Client, it is understood and agreed that these drawings are not to be
used for construction by any other party.
Copyright DESIGN BUILD REMODELING GROUP
All rights reserved 2021

TREATED 2x8 SILL PLATE w/1/2" ANCHOR BOLTS w/
WASHER. MIN. 7" EMBEDMENT IN CONCRETE
1 @ 12" FROM CORNER, MIN. 2 BOLTS PER SILL PLATE
SILL SEALER/INSULATION

TUFF-N-DRI WATERPROOFING AS REQUIRED
8" CMU FOUNDATION WALL
FARGED OVER EXPOSED FOUNDATION
MIN. 16x8" CONT. CONCRETE FOOTING

4" PERFORATED RADON/DRAIN TILE AROUND
PERIMETER OF FOUNDATION w/
GRANULAR DRAINAGE FILL AROUND DRAIN
TILE COVERED w/FILTER FABRIC
DRAIN TO DAYLIGHT or SUMP PUMP

WALL BRACING NOTE:

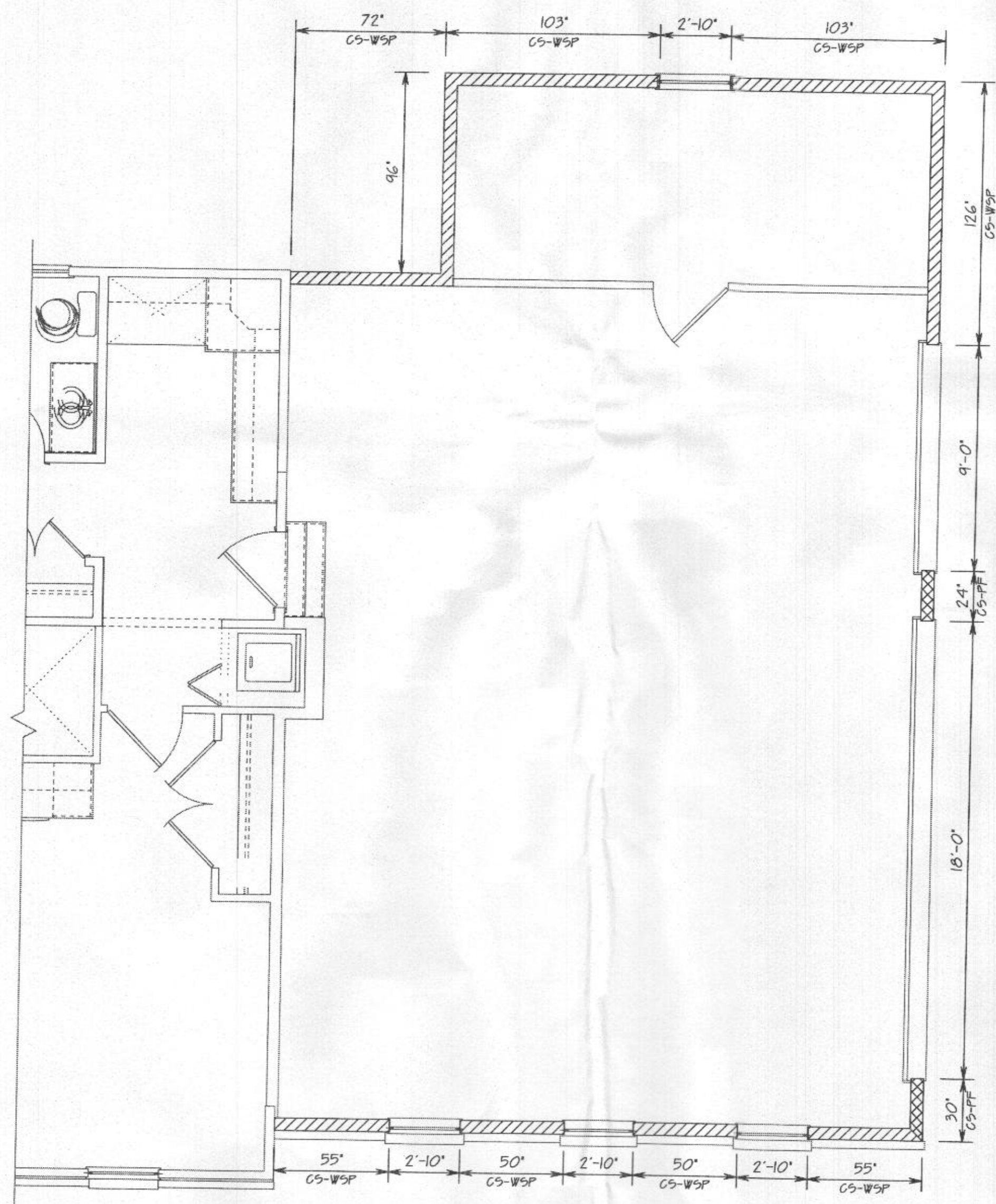
THIS HOUSE WAS DESIGNED IN ACCORDANCE WITH SECTION R301.3 OF THE IRC CODE WHICH ALLOWS ENGINEERED DESIGN IN LIEU OF THE PRESCRIPTIVE DESIGN METHOD. ENGINEERED EXTERIOR AND INTERIOR SHEAR WALLS WERE USED INSTEAD OF THE PRESCRIPTIVE WALL BRACING SPECIFIED IN SECTION R602.10. SEE PLAN AND SHEAR WALL SCHEDULE FOR ADDITIONAL INFORMATION.

SHEAR WALL SCHEDULE:

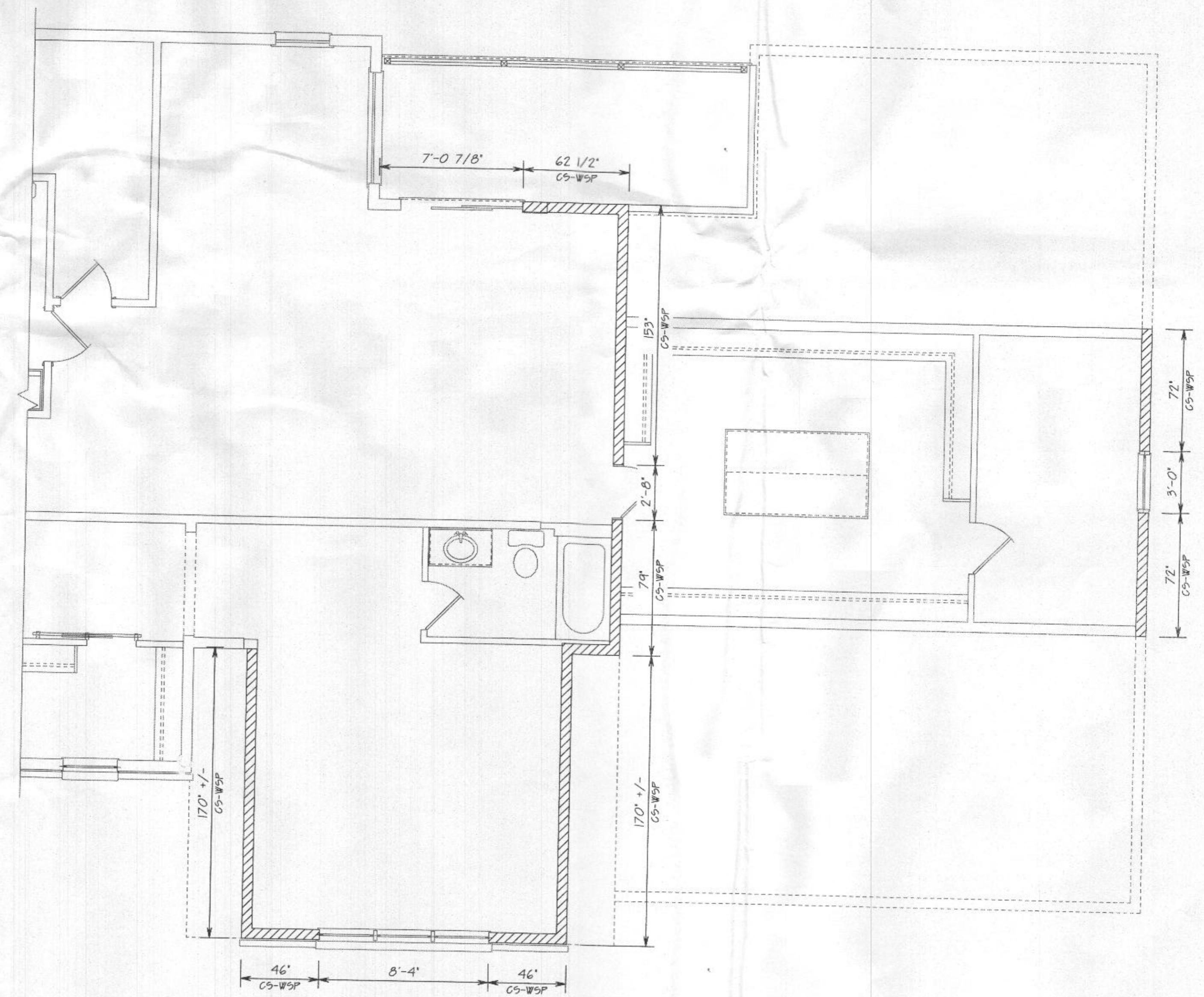
CS-WSP CONTINUOUS SHEATHING WOOD STRUCTURAL PANEL
ALL EXTERIOR STUD WALLS ARE SHEAR WALLS AND SHALL HAVE STUDS SPACED AT 16" O.C. WITH 7/16" OSB CONTINUOUS SHEATHING ON THE OUTSIDE FACE. PROVIDING FRAMING MEMBERS OR BLOCKING AT ALL SHEATHING EDGES AND NAIL SHEATHING TO WALL'S STUDS, BLOCKING AND WALL PLATES WITH 6d NAILS @ 6" O.C. AT ALL SHEATHING EDGES. NAIL TO INTERMEDIATE SUPPORTS @ 12" O.C. CONNECT WALL BOTTOM PLATES TO JOIST, RIM JOIST OR BLOCKING WITH (2) 16d NAILS @ 16" O.C. CONNECT ADJUTING STUDS AT WALL CORNERS WITH 16d FACE NAILS @ 12" O.C. PROVIDE 1/2" GYPSUM BOARD SHEATHING ON THE INSIDE FACE AND CONNECT SHEATHING TO STUDS WITH #6 x 1 1/4" SCREWS @ 12" O.C.

CS-PF CONTINUOUS SHEATHING PORTAL FRAME
DESIGNATED PORTAL FRAMING BRACING SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS R602.10.6.4 OF THE IRC 2018 CONTINUOUS PORTAL FRAME PANEL.

THIS DRAWING SHOWS BRACED WALL LINES WITH CONTINUOUS STRUCTURAL PANEL SHEATHING MEETING THE MINIMUM REQUIREMENTS OF SECTION R602.10.3 OF THE IRC. BRACED WALLS ARE OF THE MINIMUM LENGTHS SPECIFIED IN IRC 2018 R602.10.3.11



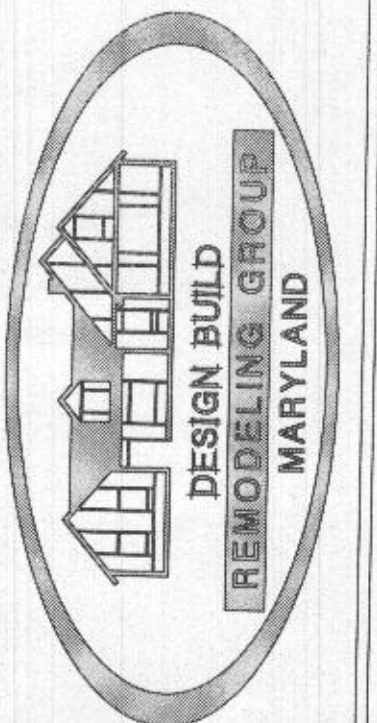
FIRST FLOOR WIND BRACING DIAGRAM



SECOND FLOOR WIND BRACING DIAGRAM

REVIEWED FOR STRUCTURAL SUPPORT;
FOUNDATION, STEEL BEAMS, MICRO-LAMS,
HEADERS & WALL BRACING ONLY.
Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.
License No. 9862, Expiration Date: 5-17-22
TMM CONSULTING SERVICES, LLC
7941 HOLLOW RD.
MIDDLETOWN, MD 21769
240-434-9518

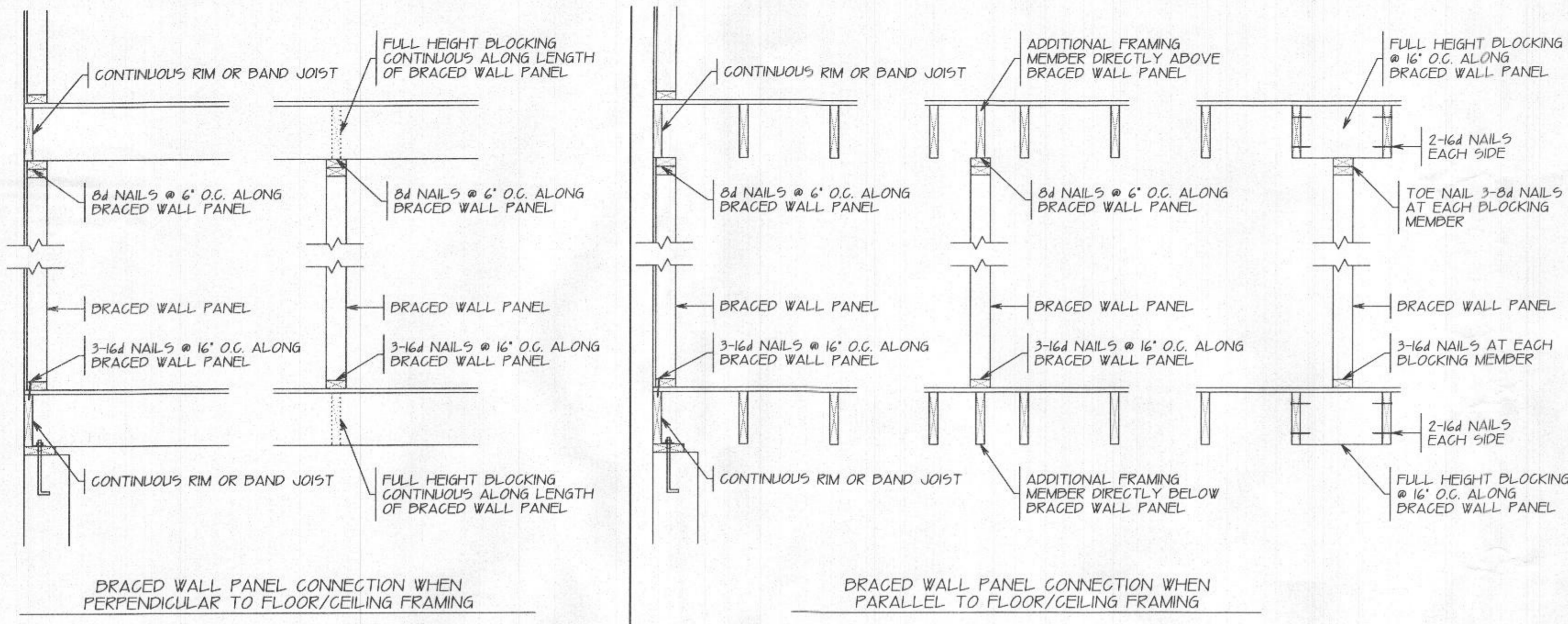
CREATIVE OUTLOOKS, LLC
PHILIP F. GIULIETTA
CUSTOM HOME PLANNING & DESIGN
HOME ADDITION-REMODELING DESIGN
COMPLETE CONSTRUCTION PLANS
PGCREATIVEOUTLOOKS@GMAIL.COM
PHONE: 410-516-1062



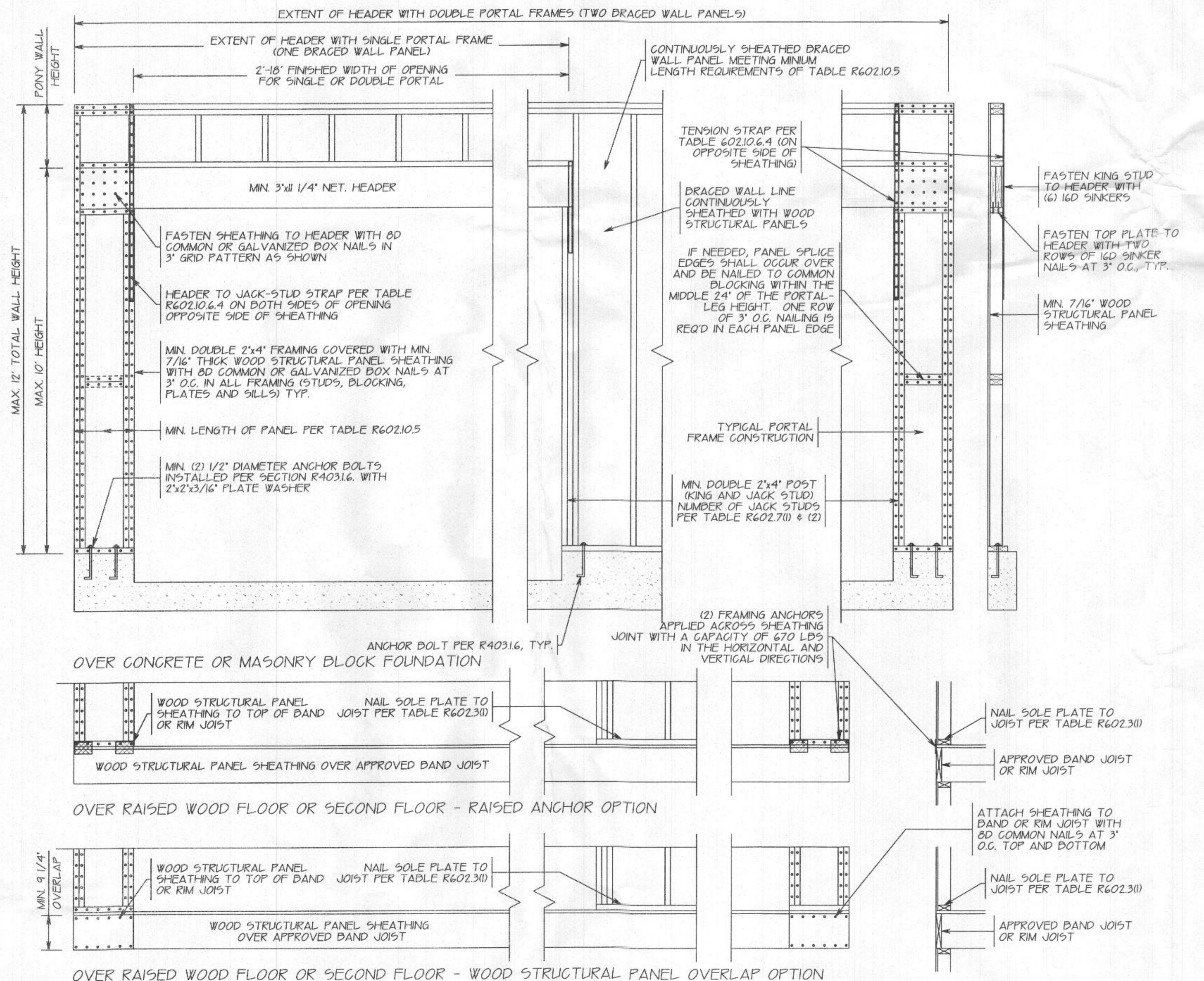
ADDITIONS: GARAGE, FAMILY ROOM,
OWNER'S SUITE, BATHROOMS,
IN-LAW SUITES & MORE!
KITCHEN REMODEL & ADDITIONS
WHOLE HOUSE RENOVATIONS
BASEMENTS
AGING/DISABILITY NEEDS
P.O. BOX 1285
ELDERSBURG, MARYLAND 21764
PHONE: 443-300-2263

Authorization/Limitations for Use of Plans
This set of drawings, the design itself, and any accompanying specifications are solely owned by, and have been prepared for, the use by Design Build Remodeling Group, for the improvements to be made. No copy of these drawings and specifications will be provided to the Client for construction and agreed that these drawings are not to be used for construction by any other parties.
Copyright © DESIGN BUILD REMODELING GROUP
All rights reserved 2021

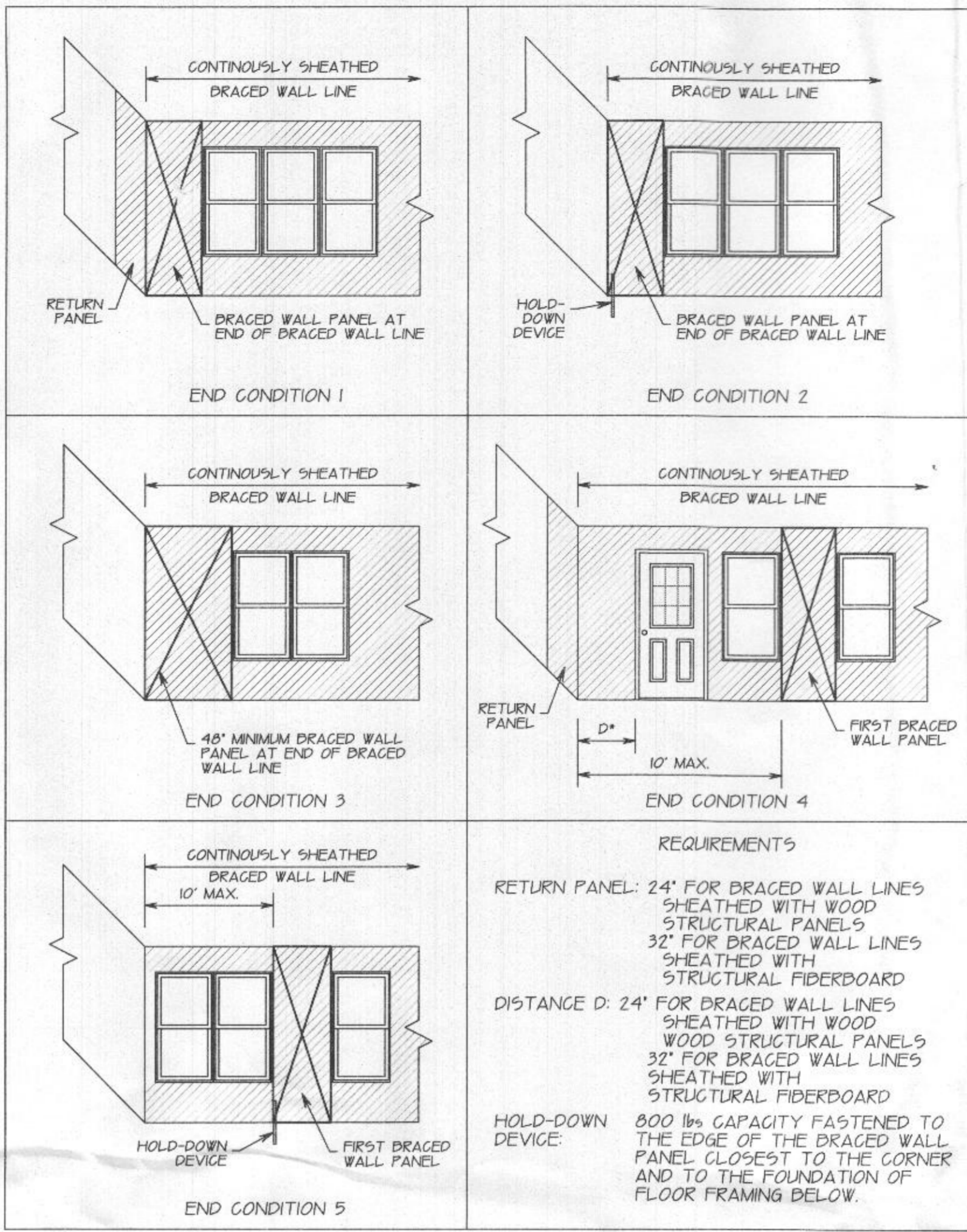
DATE: APRIL 19, 2021
EXAMINER: MICHELLE & ALLEN HAIGHT
3106 ELLERSLIE COURT
GLENWOOD, MARYLAND 22738
P.F.G. M.A.L.C. A.S. NOTED



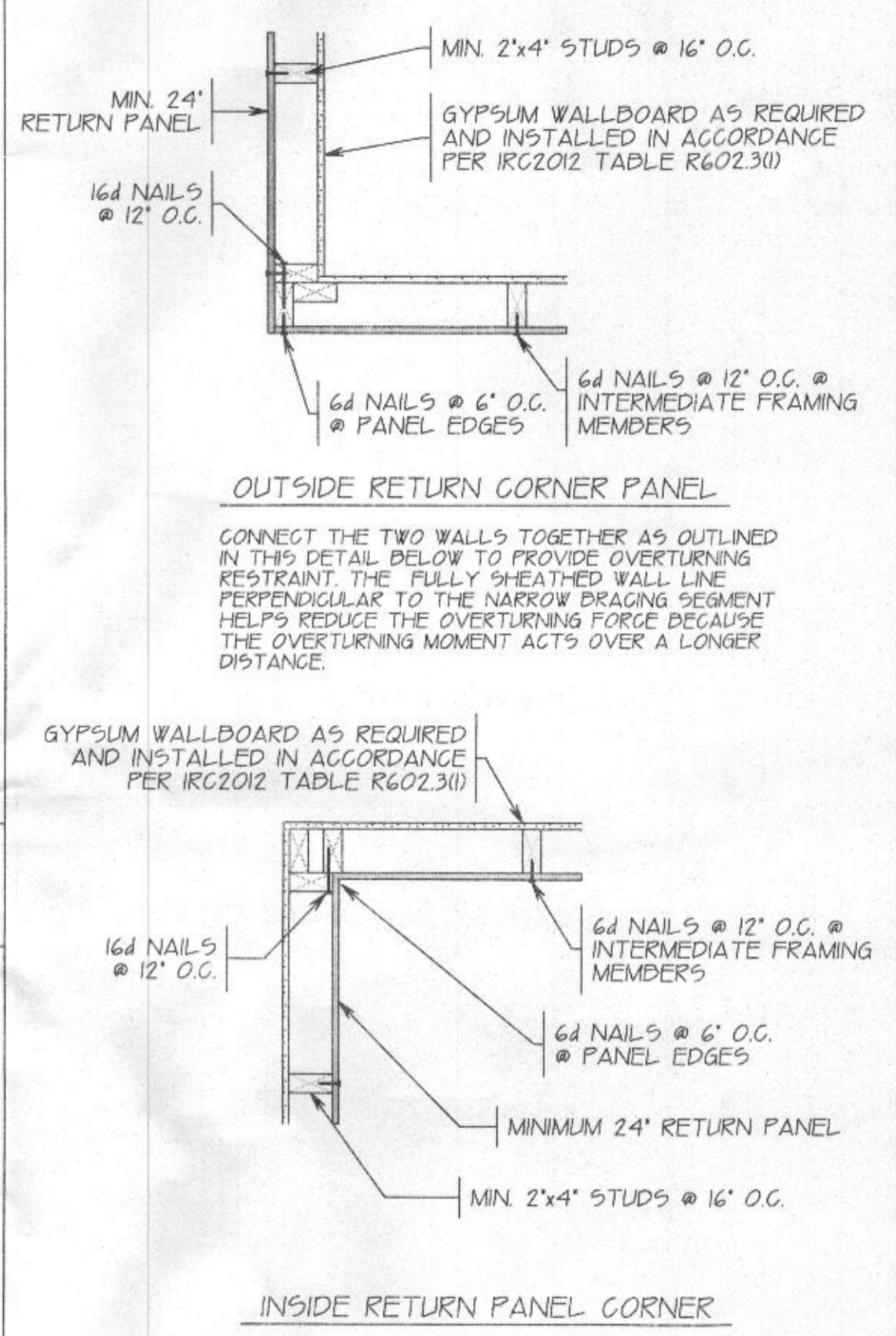
BRACED WALL CONNECTION TO FLOOR/CEILING TABLE R602.10.8(1) & R602.10.8(2) of IRC 2018



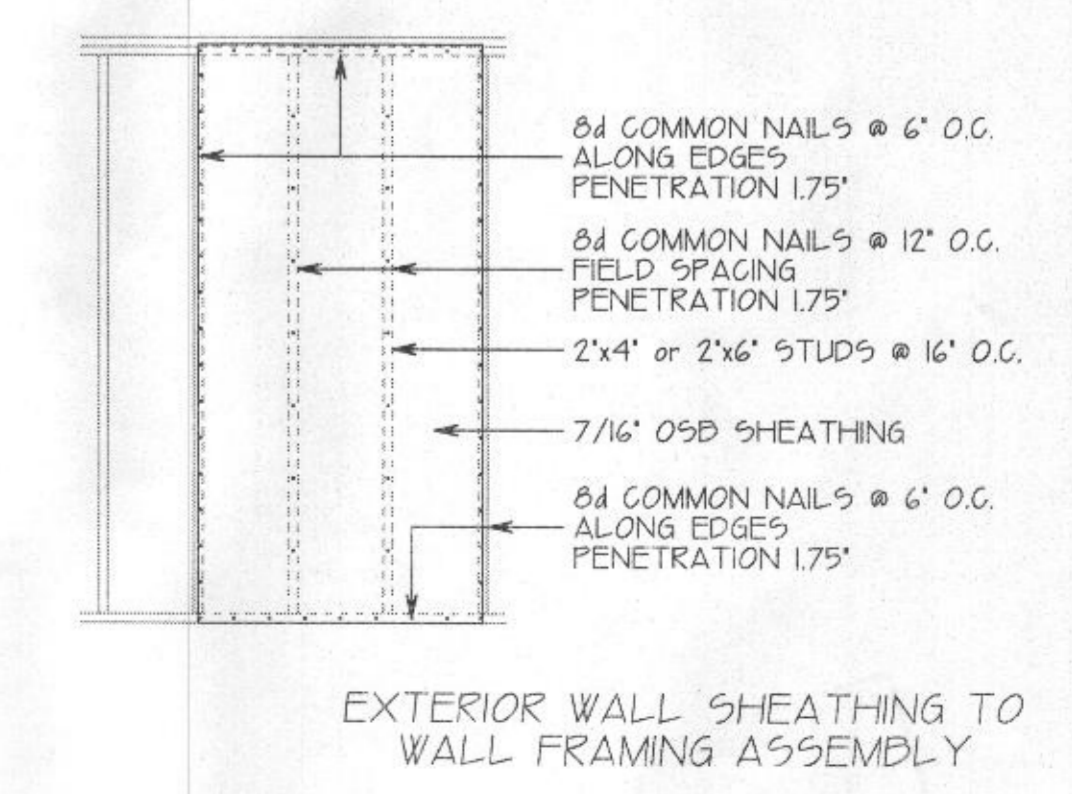
PORTAL WALL DETAIL PER FIGURE R602.10.6.4 of IRC 2018



END CONDITIONS FOR BRACED WALL LINES FIGURE R602.10.7 of IRC 2018



CORNER WALL DETAILS



WIND BRACING DETAILS & NOTES

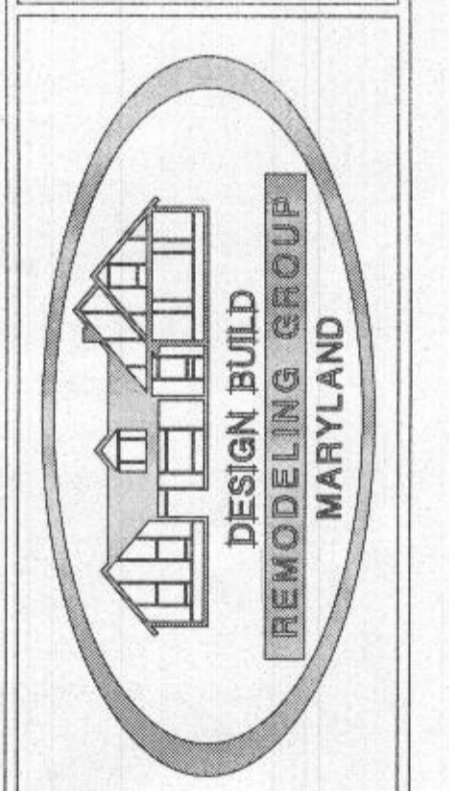
NEW ADDITION FOR MICHELLE & ALLEN HAIGHT 3106 ELLERSLIE COURT GLENWOOD, MARYLAND 22738

DATE: APRIL 19, 2021 DRAWN BY: P.F.G. SCALE: AS NOTED

CREATIVE OUTLOOKS, LLC

PHILIP F. GIUGLIUZZA

CUSTOM HOME PLANNING & DESIGN
COMPLETE CONSTRUCTION PLANS
PGCREATIVEOUTLOOKS@GMAIL.COM
PHONE: 410-546-1062



ADDITIONS: GARAGE, FAMILY ROOM, OWNER'S SUITE & BATHROOMS, KITCHEN REMODEL & ADDITIONS, WHOLE HOUSE RENOVATIONS, BASEMENTS

AGING/DISABILITY NEEDS

P.O. BOX 1025 MARYLAND 21784
ELECTRONIC MAIL: PFG@CREATIVEOUTLOOKS.COM
PHONE: 443-300-2260

Authorization/Limitations for Use of Plans

This set of drawings, the design itself, and any accompanying specifications are solely owned by, and have been prepared for the exclusive use by Design Build Remodeling Group, for the improvements to be made. Client is understood and agreed that these drawings are not to be used for construction by any other parties.

Copyright © Design Build Remodeling Group. All rights reserved 2021

Oswald, Hank

From: Todd Swanson <todd@dbrgmaryland.com>
Sent: Monday, June 7, 2021 11:14 AM
To: Oswald, Hank
Cc: info@dbrgmaryland.com
Subject: Re: B21001528_3106 Ellersie Court_Existing Floor Plans
Attachments: Existing.pdf; Existing basement.pdf

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

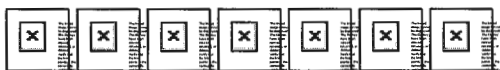
Hello Hank,

Please see the existing LL, first and second floor plans for the home located at 3106 Ellersie Court and let me know what you are going to require for BP approval.

Regards,

Todd Swanson
General Manager,
Design Build Remodeling Group of Maryland, LLC

1299 Judges Ct.
Sykesville, MD 21784
Office: 443.300.2268
Cell: 410.596.2899



=====
This message, including any attachments, is privileged and may contain confidential information intended only for the person(s) named above. Any other distribution, copying or disclosure is strictly prohibited. If you are not the intended recipient or have received this message in error, please notify us immediately by reply email and permanently delete the original transmission from us, including any attachments, without making a copy.

On Mon, Jun 7, 2021 at 11:10 AM Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Hello Mr. Swanson:

I am currently reviewing the building permit for a living space addition located 3106 Ellersie Court. As part of this review, please forward a copy of the existing floor plan (LL, 1st and 2nd floor) for the residence. As soon as I receive them, I will provide you with our requirements for BP approval.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.

Howard County Health Department

Bureau of Environmental Health

Well & Septic Program

8930 Stanford Boulevard

Columbia, MD 21045

(410) 313 - 1786

hoswald@howardcountymd.gov