

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 3.11.2021 ~~Online Permit~~

To: Building Permits # B21000459

From: TTBT, Ian Everett (301) 357.2337

Subject: Project name Lytle Deck / All seasons Room

Project site address 11017 Blevins Dr, Clarksville, 21029

Permit # B21000459 SDP # \_\_\_\_\_

Other information pertinent to this project \_\_\_\_\_

**RECEIVED**  
MAR 11 2021  
LICENSES & PERMITS  
DIVISION

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of Permit Plans (3) (be specific). Building Permit
- Health Department Request
- DPZ/ DED Request
- Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- Other \_\_\_\_\_

**Contact Person Information: (Required)**

Ian L. Everett  
Please Print Name

Telephone No: 301.357.2337

E-Mail Address: Liquid-Logix@  
Hotmail.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by \_\_\_\_\_

*CO: Health Dept*  
*[Signature]*

# Building Permit # B21000459

## - Revised Scope of work

To construct a Deck measuring 38' x 27' approx.  
Decks total Sq ft is 1,038

To Construct a All seasons room measuring 38 x 27' approx.  
All seasons room Sq ft is 1,038

The projects total square footage is 2,076

This includes 3 sets of stairs a upper Deck area and a lower patio All Seasons room, 1 new bath room.

Note: Pool Shown will not be constructed at this time. Only the Deck & Lower All Seasons room.

**RECEIVED**

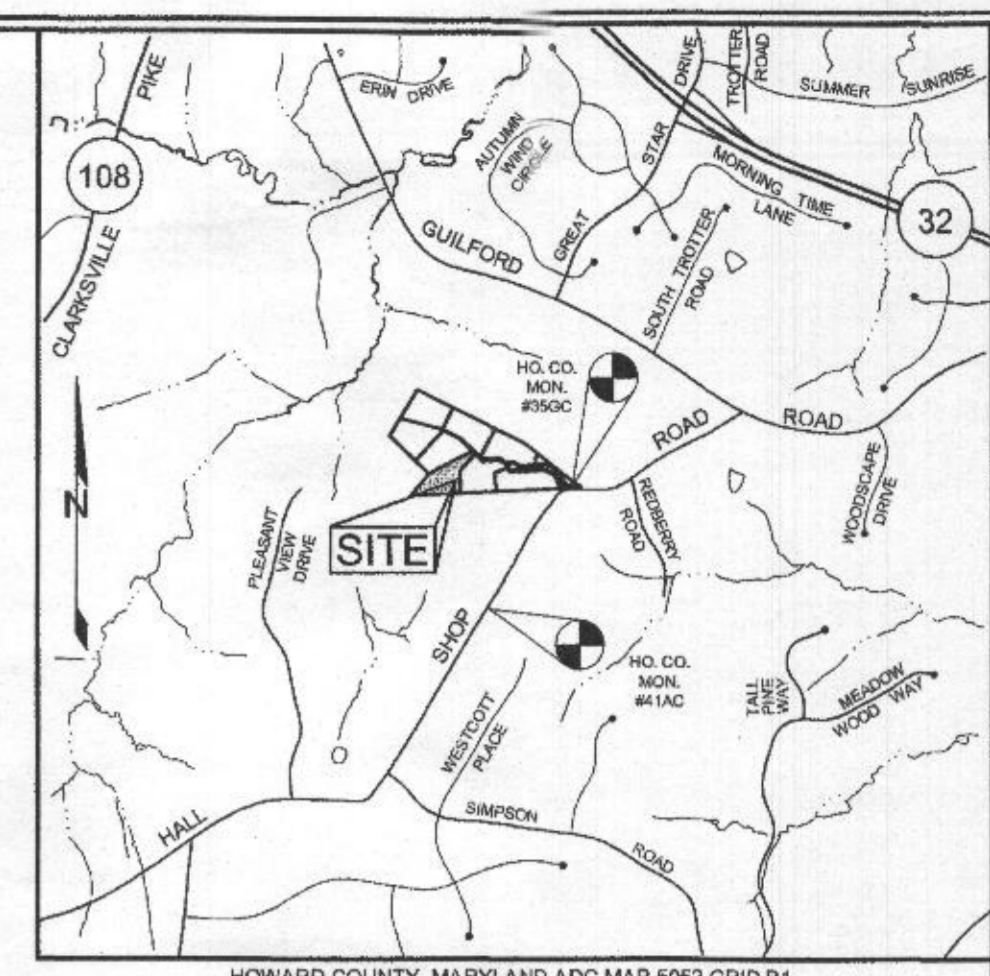
MAR 11 2021

INSURANCE DEPARTMENT  
BOSTON

MARYLAND STATE GRID  
IND 8391

**LEGEND**

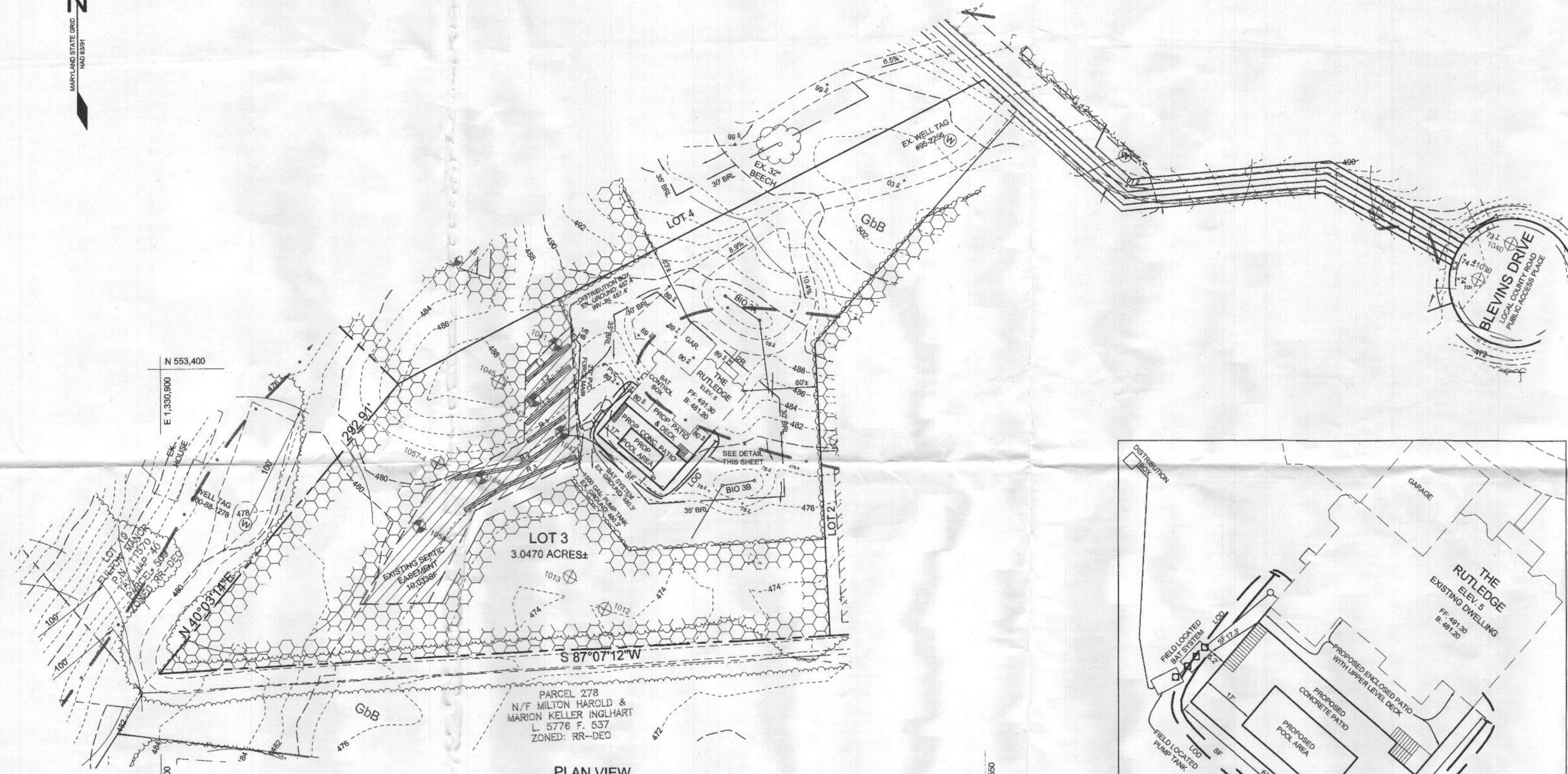
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- EXISTING TREELINE
- SILT FENCE
- LIMIT OF DISTURBANCE
- SOIL BOUNDARY
- EXISTING PERCOLATION TEST HOLE, PASSED
- EXISTING FOREST CONSERVATION EASEMENT PER F-13-094
- CLEAN OUT LOCATIONS FIELD LOCATED ON 02/05/19



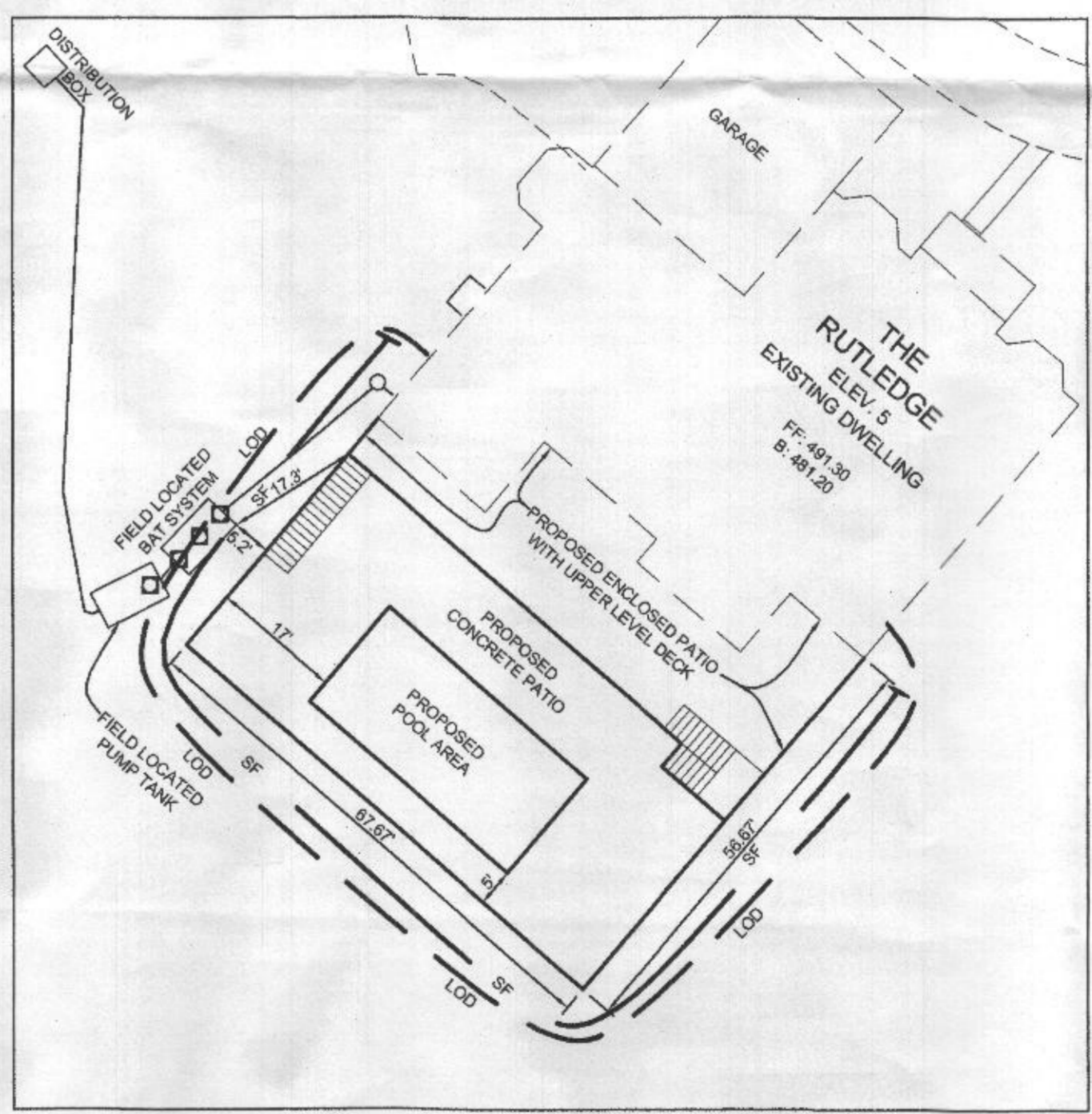
HOWARD COUNTY, MARYLAND ADC MAP 5052 GRID B1  
**VICINITY MAP**  
SCALE: 1:2000

**GENERAL NOTES**

1. PROPERTY ADDRESS: 11017 BLEVINS DRIVE, CLARKSVILLE, MARYLAND 21029
2. TOTAL AREA OF PROPERTY ≈ 3.0470 AC.
3. SUBJECT PROPERTY ZONED RC-DEO PER 1006/13 COMPREHENSIVE ZONING PLAN.
4. THE SETBACK SHOWN HEREON ARE BASED ON THE CURRENT HOWARD COUNTY ZONING REQUIREMENTS.
5. PRIVATE WATER AND PRIVATE SEWER WILL BE USED WITHIN THIS SITE.
6. THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT, OF AT LEAST 10,000 SF AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.04.03). IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
7. ALL EXISTING WELLS, SEPTIC SYSTEMS AND SEWAGE DISPOSAL EASEMENT WITHIN 100 FEET OF THE PROPERTY BOUNDARIES AND ALL EXISTING OR PROPOSED SEPTIC SYSTEMS AND SEWAGE DISPOSAL EASEMENTS HAVE BEEN FIELD LOCATION.
8. THE EXISTING WILL SHOWN ON THIS PLAN (#95-2256) HAS BEEN FIELD LOCATION AND IS ACCURATELY SHOWN.
9. THE PROPERTY BOUNDARY IS BASED ON A FIELD RUN SURVEY PERFORMED BY SILL, ADCOCK AND ASSOCIATES, LLC, ON FEBRUARY 27, 2012.
10. THE TOPOGRAPHY SHOWN HEREON HAS BEEN FIELD RUN BY ADCOCK & ASSOCIATES, LLC, ON APRIL 13, 2012. SUPPLEMENTAL TOPOGRAPHY OUTSIDE THE SITE IS BASED ON HOWARD COUNTY AERIAL TOPOGRAPHY FLOWN IN 2004, AND IS VERIFIED TO ACCURATELY REPRESENT THE RELATIVE CHANGES ON THE SUBJECT PROPERTY.
11. THE SOILS SHOWN HAVE BEEN TAKEN FROM THE NRCS WEB SOIL SURVEY WEBSITE.
12. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS, NUMBERS 25GC AND 41AC, WERE USED FOR THIS PROJECT.
13. THERE ARE NO HISTORIC STRUCTURES OR CEMETERIES WITHIN THE PROJECT BOUNDARY.
14. STORMWATER MANAGEMENT OBLIGATIONS FOR THIS LOT HAVE BEEN MET BY NON ROOFTOP DISCONNECTION AND MICRO BIORETENTION FACILITY. STORMWATER MANAGEMENT OBLIGATIONS FOR BLEVINS PROPERTY HAVE BEEN APPROVED UNDER F-13-094.
15. DEED REFERENCE: LIBER 17153, FOLIO 392
16. ALL EXISTING WELLS, SEPTIC SYSTEMS AND SEWAGE DISPOSAL EASEMENTS WITHIN 100 FEET OF THE PROPERTY BOUNDARIES AND ALL EXISTING AND PROPOSED WELLS THAT ARE LOCATED WITHIN 200 FEET DOWN-GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS AND SEWAGE DISPOSAL EASEMENTS HAVE BEEN SHOWN.
17. LIMIT OF DISTURBANCE (LOD): 4,930 SF ±
18. THE EXISTING SEPTIC SYSTEM HAS BEEN FIELD LOCATED BY ADCOCK AND ASSOCIATES ON FEBRUARY 5, 2019.
19. THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATIONS OF THE EXISTING SEPTIC SYSTEM IS AT LEAST 5 FEET AWAY FROM THE LOCATIONS OF THE PROPOSED DECK, PORCH AND POOL.



**PLAN VIEW**  
SCALE: 1"=50'



**PLAN DETAIL**  
SCALE: 1"=20'

SOIL LEGEND		
SYMBOL		GROUP
GbB	GLADSTONE LOAM, 3 TO 8 PERCENT SLOPES	B
GbC	GLADSTONE LOAM, 8 TO 15 PERCENT SLOPES	B

- NOTES:
- 1) SOIL INFORMATION HAS BEEN TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE; NATURAL RESOURCES CONSERVATION SERVICE; WEB SOIL SURVEY
  - 2) HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR 'K' GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

Approved Septic System Plan  
Howard County Health Department  
*D. Bernard* 4-1-21  
Signature Date

B21000459

**PLOT PLAN FOR HEALTH DEPARTMENT**  
**BLEVINS PROPERTY**  
LOT 3

TAX MAP 35 GRID 19  
5TH ELECTION DISTRICT

PARCEL 310  
HOWARD COUNTY, MARYLAND

**Adcock & Associates · LLC**  
Engineers · Surveyors · Planners  
3300 North Ridge Road, Suite 160  
Ellicott City, Maryland 21043  
Phone: 443.325.7682 Fax: 443.325.7685  
Email: info@saand.com

DESIGN BY: JT/R  
DRAWN BY: JT  
CHECKED BY: MA  
SCALE: AS SHOWN  
DATE: FEBRUARY 25, 2019  
PROJECT #: 18-172  
SHEET #: 1 of 1

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF MARYLAND, REG. NO. 21287, EXPIRATION DATE: 08-18-2019

**GENERAL CONSTRUCTION NOTES:**

1. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER BEFORE PROCEEDING WITH THE FABRICATION OF STAIRS ROOF AND/OR FLOOR TRUSSES.

2. WHERE DRAWINGS ARE IN CONFLICT WITH OTHER DRAWINGS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.

PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR FINISHES.

ALL CLOSETS TO HAVE THE SAME FINISH AS THE ADJOINING ROOM UNLESS OTHERWISE NOTED.

PROVIDE 22-1/2" x 30" ATTIC ACCESS WITH SWITCHED LIGHT UNLESS OTHERWISE NOTED.

PROVIDE PLUMBING FIXTURE ACCESS PANEL AT EACH TUB AND SHOWER ENCLOSURE AS REQUIRED BY LOCAL JURISDICTION.

PROVIDE HANDRAILS 36"-38" ABOVE NOSINGS ON ALL STAIRS W/ THREE OR MORE RISERS. RETURN RAILS TO WALL OR NEWEL. REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIR. PROVIDE GUARDRAILS AT RAISED FLOORS, BALCONIES, ETC. 30" OR MORE ABOVE GRADE OR FLOOR BELOW RISERS SHALL BE MIN 36" HIGH AND HAVE CLOSURES SPACED TO PREVENT PASSAGE OF A 4" SPHERE.

8. PROVIDE NOMINAL 2X FIRE BLOCKING AT EVERY FLOOR INTERVAL, BULKHEAD AND CHASE. IF OPEN WEB FLOOR TRUSSES ARE UTILIZED PROVIDE 1/2" G.B. DRAFTSTOPPING, NOT TO EXCEED 800 S.F.

9. PROVIDE A MINIMUM OF TWO DIAGONAL BRACES AT APPROX DEGREE ANGLE AT MIDPOINT OF SPAN FROM BOTTOM CHORD TO RIDGE OF ROOF TRUSSES. INSTALL OTHER BRACES AS REQUIRED BY THE TRUSS MANUFACTURERS SHOP DRAWINGS AND IN COMPLIANCE WITH HIS #1 SUPPLIED BY MANUFACTURER.

10. PROVIDE A MINIMUM OF 6" 9" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 7-3/4" AND TREADS SHALL BE AT LEAST 10" WITH 1-1/4" NOSING.

11. PROVIDE SOFT VENTS, RIDGE VENTS, OR GABLE END VENTS AS SHOWN ON THE DRAWINGS. MAINTAIN MINIMUM 1200 FREE VENTILATION FOR HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARDBOARD BAFFLES IN EACH TRUSS/RAFTER BAY TO MAINTAIN FREE AIR FLOW.

12. MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTORS SHALL BE RESPONSIBLE TO SEAL ALL PENETRATIONS IN FLOORS AND BEYOND WALLS CAUSED BY THEIR TRADES.

13. ROUGH CARPENTRY CONTRACTORS SHALL SEAL ALL PANEL BUTT JOINTS AND PLATES AT FLOORS, CEILING, WINDOWS, DOOR FLANGES, AND JAMBS

14. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURERS SPECIFICATIONS.

15. SLOPE ALL STOODS, PORCHES, WALKS, AND GARAGE SLABS 1/8" IN 12" TO DRAIN OR AS NOTED ON PLANS.

16. ALL DESIGNS FOR MANUFACTURED FLOOR JOIST, RAFTERS AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURERS SHOP DRAWINGS AND RECOMMENDATIONS.

17. CHIMNEYS SHALL EXTEND A MINIMUM OF 2' ABOVE ANY ROOF STRUCTURE WITH IN 10 FEET, BUT OT LESS THAN 3' AT POINT OF ROOF PENETRATION.

18. FLOOR JOIST/TRUSSES AND ROOF TRUSSES SHALL ALIGN WITH BEARING STUDS 1/4" I.

19. PRIVATE GARAGES SHALL BE SEPARATED FROM DWELLING AND ATTIC WITH 5/8" GYPSUM BOARD ON GARAGE SIDE. IF PERMIT IS ISSUED UNDER THE BOCA CODE, PROVIDE ONE-HOUR RATED SEPARATION BETWEEN GARAGE AND LIVING SPACES OVER OR IN ACCORDANCE WITH SPECIFIC REQUIREMENTS OF THE LOACL JURISDICTION.

20. PROVIDE MINIMUM 6" STEP DOWN INTO GARAGE FROM DWELLING.

**SPECIFICATIONS:**

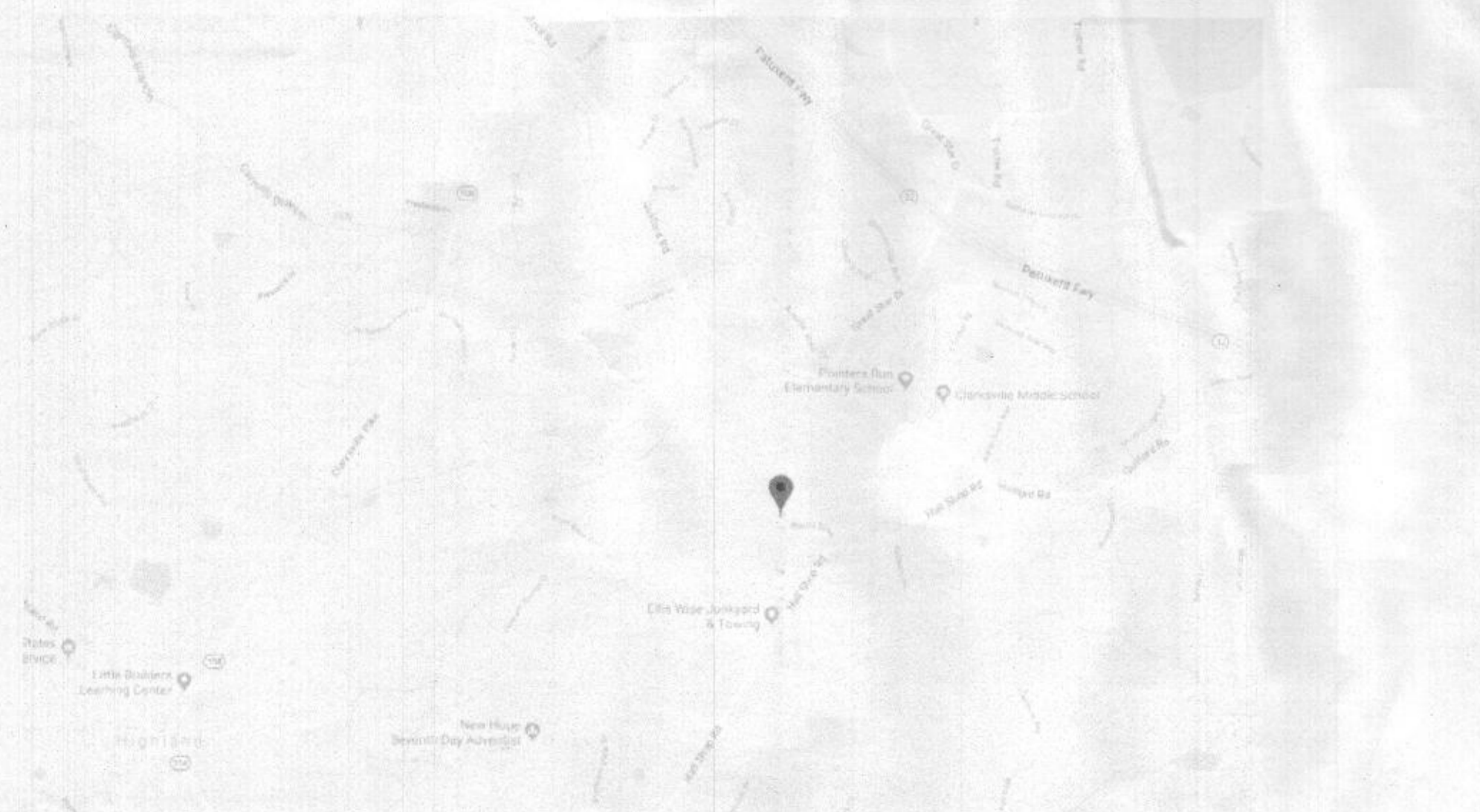
1.0 GENERAL CONDITIONS

1.01 CONSTRUCTION SHALL COMPLY WITH THE LATEST ADDITION OF INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS AND APPLICABLE LOACL CODES AND AMENDMENTS.

1.01.1 ALL CONSTRUCTION SHALL BE CLASSIFIED AS " USE GROUP R-3, TYPE 5-B CONSTRUCTION" WHEN REVIEWED UNDER IBC 2015

1.02 DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. GENERAL CONTRACTORS AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.

**LOCATION MAP:**



1.03 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDRIES, AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND OR OWNER.

1.04 DESIGN LIVE LOADS

ROOF:	30 PSF
SLEEPING FLOORS:	40 PSF
LIVING FLOORS:	40 PSF
EXTERIOR DECKS:	60 PSF
STAIRS:	80 PSF
GARAGE SLABS:	150 PSF

ATTIC AREAS

UNACCESSIBLE:	10 PSF
ACCESSIBLE:	20 PSF

DESIGN DEAD LOADS

ROOF:	10 PSF
CEILING:	10 PSF

SLEEPING FLOORS:

4x8 LINTEL:	15 PSF
LIVING FLOORS:	20 PSF

WIND LOAD:

FLUID PRESSURE:	18 PSF (EXPOSURE C)
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LOADS GREATER THAN 30 PCF REQUIRE FOUNDATION TO WALLS TO BE ENGINEERED

SOIL BEARING 2000 PSF (ASSUMED)

GUARD RAILS: 200# AT ANY POINT IN ANY DIRECTION

**SITE WORK:**

2.01 EXCAVATION SHALL BE SUFFICIENT TO PROVIDE FULL DESIGN DIMENSIONS OR TO ALLOW FOR FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON SOFT OR FROZEN MATERIAL

2.02 MINIMUM SOIL BEARING CAPACITY IS ASSUMED TO BE 2000 PSF AT ALL WALL AND PIER FOOTINGS. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY THAT THE ABOVE BEING CAPACITY IS OBTAINABLE, OR TO NOTIFY THE ARCHITECT IF SPECIAL DESIGN IS REQUIRED.

2.03 BACKFILL AND COMPACTION: USE ONLY CLEAN EARTH CONTAINING NO ORGANIC MATTER, GRADED WITH POSITIVE SLOPE. FILL BENEATH STRUCTURE SHALL BE COMPACTED TO 90% DENSITY AS PER ASTM D1557 METHOD D.

2.04 PROVIDE 4" MINIMUM CONTINUOUS DRAIN TILE AROUND PERIMETER OF BASEMENT FOUNDATION - LOACTION TO BE DETERMINED BY LOCAL CODES FOR INSIDE OR OUTSIDE OF FOUNDATION. PROVIDE UNDER SLAB VENTING AS REQUIRED BY LOCAL JURISDICTION.

**CONCRETE:**

3.01 CONCRETE WORK SHALL CONFIRM TO AMERICAN CONCRETE INSTITUTE STANDARD 318-13.

3.02 CONCRETE FOOTINGS SHALL HAVE MINIMUM OF 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI ( UNLESS OTHERWISE NOTED )

3.03 ALL INTERIOR CONCRETE SLABS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.

3.04 REINFORCING RODS: ASTM A-615 AND A-305 MESH: 6x6-141.4 WWF ASTM A-185 REINFORCING IN FOOTINGS IS REQUIRED WHERE VARIATIONS IN SOIL CONDITIONS MAY EXIST.

3.05 ALL INTERIOR CONCRETE SLABS 30 FEET OR MORE IN ANY DIMENSION SHALL HAVE WWF, CONTROL JOINTS, OR FIBER REINFORCEMENT.

3.06 VAPOR BARRIER UNDER ALL SLABS EXCEPT GARAGES: 6 MIL POLYETHYLENE, LAP ALL EDGES 6", LAY OVER 4" GRAVEL BED.

3.07 EXTERIOR CONCRETE SLABS 6% TO 7% AIR ENTRAINED AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.

3.08 FOUNDATION WALLS: POURED IN PLACE WALLS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. (SEE 4.01)

3.09 THE BOTTOM OF ANY FOOTING SHALL BE A MINIMUM OF 2'-8" BELOW FINISH GRADE: DEEPER IF LOCAL FROST CONDITIONS WARRANT.

**MASONRY:**

4.01.0 THE MAXIMUM VERTICAL DISTANCE OF UNBALANCED FILL MEASURED FROM THE TOP OF THE LOWER LEVEL FLOOR SLAB TO THE OUTSIDE FINISHED GRADE SHALL NOT EXCEED THE FOLLOWING: HEIGHTS ARE FOR UNREINFORCED WALLS WHERE UNSTABLE SOIL OR GROUND WATER CONDITIONS DO NOT EXIST.

TYPE OF WALL	HEIGHT OF FILL
8" CMU HOLLOW	4'-0"
12" CMU HOLLOW	8'-0"
8" POURED CONCRETE	7'-0"
10" POURED CONCRETE	8'-0"

HEIGHTS MAY BE INCREASED WITH THE APPROVAL OF THE LOCAL JURISDICTION, OR REINFORCING.

4.01.1 WALLS OVER 8'-0" OR ON UNSTABLE SOIL SHALL BE ENGINEERED AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.

4.02 CONCRETE MASONRY UNITS SHALL BE MANUFACTURED TO MEET ASTM-C-90 GRADE A SOLID BLOCK OR ASTM C-145 GRADE B STANDARDS AND TO BE 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSIVE STRENGTH OF BLOCK TO BE 2000 PS.

4.03 PEARING OVER CMU WALLS TO BE NOT LESS THAN 3/8" PORTLAND CEMENT FARGING FROM FOOTING TO FINISH GRADE. PARGING AND POURED CONCRETE WALLS SHALL BE COVERED WITH COAT OF APPROVED BITUMINOUS MATERIAL APPLIED AT THE RECOMMENDED RATE BELOW GRADE ( SEE 7.0 )

4.04 EXTREME CARE AND PROPER MEASURES SHALL BE USED SO AS NOT TO DAMAGE, BULGE OR TIP WALL. SHORING BRACING, ETC., SHALL BE EMPLOYED UNTIL THW FULL DEAD LOAD OF THE BUILDING IS ON THE WALLS

4.05 MASONRY LINTELS: PROVIDE LIGHT WEIGHT PRE-CAST LINTELS FOR ALL OPENINGS AND RECESSES IN CMU WALLS. PROVIDE (1) 4x8 LINTEL FOR EACH 4" OF WALL THICKNESS. REINFORCE EACH LINTEL WITH TWO #4 BARS AT TOP AND BOTTOM AND WITH #2 TIES SPACED @ 8" OC UNLESS OTHERWISE NOTED. PRECAST LINTEL TO HAVE MINIMUM 8" BEARING ON EACH END. SUCH LINTELS SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS

4.06 USE TYPE "M" MORTAR FOR MASONRY BELOW GRADE IN CONTACT WITH EARTH.

4.07 USE TYPE "N" MORTAR FOR EXTERIOR ABOVE GRADE LOAD BEARING AND NON-LOAD BEARING WALLS, AND FOR OTHER APPLICATIONS WHERE ANOTHER TYPE IS NOT INDICATED

4.08 MASONRY VENEER SHALL BE INSTALLED OVER 1/8" FELT OR APPROVED WATER REPELLENT SHEATHING, THROUGH WALL FLASHING AND KEEPS SHALL BE PROVIDED AT ANY LOCATION WHERE INTERIOR SPACE PROJECTS BEYOND FACE OF VENEER, IE, BAY WINDOWS, OFF-SET CHIMNEYS ETC.

4.09 IF APPLICABLE AND SHOWN IN THE DRAWINGS FOR ATTACHED DWELLINGS, MASONRY PARTY WALLS SHALL BE CONSTRUCTED OF CLASSIFICATION D-2, 8" CMU IN ACCORDANCE WITH UL-900S TO PROVIDE 2-HOUR SEPARATION FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING. SEE 6.08.4

4.09.1 BEAMS OR HEADERS BEARING ON MASONRY PARTY WALLS SHALL HAVE MIN. 4" MASONRY SEPARATION FROM ADJACENT DWELLING AND SHALL BE FIRE CUT.

**METALS:**

5.01 STRAP ANCHORS OR ANCHOR BOLTS SHALL BE IBC CODE AND BUILDING INSPECTOR APPROVED. MINIMUM 2" 1/2" BOLTS PER SECTION AT 6'-0" O.C. MAXIMUM, STRAP SPACING BY MANUFACTURE

5.02 METAL JOIST HANGERS (STANDARD WOOD LEDGER) SHALL BE USED WHERE REQUIRED AT JOISTS WITHOUT DIRECT BEARING AND BE 18 GA. GALVANIZED STEEL USE ALL NAILS SPECIFIED BY THE MANUFACTURER.

5.03 NAILS: USE NUMBER ANYTYPE FOR EACH APPLICATION AS CALLED FOR IN THE IBC CODE, APPENDIX C, OR MANUFACTURERS RECOMMENDED STANDARDS.

5.04 VENEER TIES SHALL BE 1" WIDE, 22 GA. GALVANIZED STEEL INSTALLED 24" OC HORIZONTALLY AND 16" OC VERTICALLY

5.05 STEEL LINTELS FOR ALL OPENINGS AND RECESSES IN BRICK OR BRICK FACED MASONRY WALL NOT SPECIFICALLY DETAILED: PROVIDE (1) STEEL ANGLE FOR EACH 4" OF WALL THICKNESS. STEEL ANGLES TO HAVE MINIMUM OF 6" BEARING AT EACH END. HORIZONTAL LEG SHALL BE 3-1/2" : UNLESS OTHERWISE SHOWN.

5.05.1 LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS):

L-1	3-1/2" x 3-1/2" x 5/16"	STEEL ANGLE UP TO 3' OPG.
L-2	4" x 3-1/2" x 5/16"	STEEL ANGLE 3' TO 6' OPG.
L-3	6" x 3-1/2" x 3/8"	STEEL ANGLE 6' TO 8' OPG.
L-4	6" x 3-1/2" x 1/2"	STEEL ANGLE UP TO 9' OPG.
L-6	6" x 4" x 5/8"	STEEL ANGLE UP TO 10' OPG.
L-8	8" OR 9" x 4" x 9/16"	STEEL ANGLE 10' GARAGE DOOR OPG.

LINTELS SHOWN SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.

5.05.2 ALL STEEL ANGLES IN MASONRY WALLS ARE TO BE FLASHED AND PAINTED.

5.05.3 PAINT ALL EXTERIOR FERROUS OR GALVANIZED METALS EXCEPT COMPLETELY PRE FINISHED FACTORY ITEMS.

5.06 ADJUSTABLE STEEL COLUMNS SHOWN ON THE DRAWINGS SHALL BE MANUFACTURED BY TAPCO OR EQUAL

**WOOD:**

6.01 ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE "CONSTRUCTION MANUAL" OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.

6.02 PRESSURE TREATED WOOD IS TO MEET AMERICAN WOOD PRESERVES INSTITUTE STANDARD LP-2 TO L4

6.03 BOARDS AND GIRDERS: SEE PLANS FOR SIZE, SPACING AND MINIMUM GRADE AND SPECIES. HEM FIR AND SPRUCE PINE FIR (SPF) SHALL BE NOTHERN SPECIES ONLY.

6.03.1 PROVIDE DOUBLE JOIST UNDER ALL PARRELL PARTITIONS OVER 5'-0" IN LENGTH UNLESS MANUFACTURED JOIST SYSTEM HAS BEEN SPECIFIED.

6.03.2 WHEN LAMINATED BEAMS ARE SPECIFIED ON THE DRAWINGS AS LVL OR PSL, THEY ARE INTERCHANGEABLE. (MIN. FIB#2800 PS)

6.04 EXTERIOR WALL STUDS: MINIMUM SPF STUD GRADE, KD OR BETTER

6.04.1 EXTERIOR WALLS, INTERIOR BEARING WALLS AND WALLS BACKING UP CERAMIC TILE SHALL BE MINIMUM 2x4 STUDS 16" OC UNLESS OTHERWISE NOTED

6.04.2 INTERIOR NON BEARING WALLS MAY BE SPF #2 2x4 STUDS 24" OC

6.05 LATERAL WALL BRACING

6.05.1 SEE WALL BRACING PLAN FOR DETAILS

6.05.2 RAFTERS - SEE PLANS FOR SIZE, SPACING, MINIMUM GRADE AND SPECIES.

6.05.3 DESIGN FABRICATION AND INSTALLATION OF TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE TPI-82

6.07 BRACING WOOD TRUSSES TO BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE, INC. PUBLICATION BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS HIB-91.

6.08 PLYWOOD: ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF APPLICABLE U.S. COMMERCIAL STANDARDS FOR THAT TYPE GRADE AND SPECIES OF WOOD, AND SHALL BE IDENTIFIED BY AN APPROVED TESTING AGENCY.

6.08.1 PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED TO JOIST IN ACCORDANCE WITH APA RECOMONDATIONS. LEAVE 1/8" SPACE AT ALL EDGES FOR EXPANSION.

6.08.2 PLYWOOD ROOF SHEATHING SHALL BE INSTALLED WITH PANEL CLIPS (1 PER BAY) LEAVE 1/16" SPACE AT PANEL ENDS.

6.08.3 REFERENCE NOMINAL THICKNESS SHALL MEAN THE FOLLOWING ACTUAL THICKNESS AND SPECIFICATIONS

3/4" = 23/32"	APA RATED STURDI-FLOOR 24 OC EXPOSURE
5/8" = 19/32"	APA RATED STURDI-FLOOR 24 OC EXPOSURE
1/2" = 15/32"	APA RATED SHEATHING 32/16 EXPOSURE
7/16" = 7/16"	RATED SHEATHING (OSB) 24/16 EXPOSURE

6.08.4 FOR ATTACHED DWELLINGS, PROVIDE FIRE RESISTANT TREATED (F.R.T) ROOF SHEATHING 4-FEET EACH SIDE OF PARTYWALL CENTERLINE. PLYWOOD SHALL BE CERTIFIED NOT TO CAUSE ACID HYDROLYSIS AT MOISTURE CONDITIONS AT TEMPERATURE BELOW 400 F. ALTERNATIVES TO THE USE OF F.R.T SHALL ONLY BE AS APPROVED BY THE LOCAL JURISDICTION. THE INSTALLATION OF AN APPROVED FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 130 MAY ALLEVATE THE NEED FOR F.R.T IN CERTAIN JURISDICTIONS - VERIFY WITH THE BUILDING CODE OFFICAL.

6.09 ALL WOOD LESS THAN 8" FROM GRADE OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE ACQ W/ PRESSURE TREATED.

6.10 HOLES BORED IN TOP OR BOTTOM OF A JOIST SHALL NOT EXCEED 1/6 OF DEPTH AND SHALL NOT OCCUR IN CENTER THIRD OF SPAN.

6.11 UNLESS NOTED ELSEWHERE IN THESE DRAWINGS, STRUCTURAL WINDOW AND DOOR HEADERS SHALL BE MIN. SPF NO.2 (FB = 875 PSI) AND THE FOLLOWING SIZES:

SUPPORTING MAX OPENING	HEADER
ROOF	6'-0" 2-2x8
	6'-0" 2-2x10
	6'-0" 2-2x12
ROOF + 1 STORY	4'-0" 2-2x8
	6'-0" 2-2x10
	6'-0" 2-2x12
ROOF + 2 STORY	4'-0" 2-2x10
	5'-0" 2-2x12

FOR OPENINGS GREATER THAN THOSE NOTED, CONSULT THE ARCHITECT OR ENGINEER IF NOT NOTED ON THE DRAWINGS

**THERMAL & MOISTURE PROTECTION:**

7.01.0 DAMPROOFING: APPLY (1) COAT OF ASPHALT EMULSION TO EXTERIOR OF ALL BELOW GRADE WALLS AT BASEMENT CONDITIONS. WHEN HABITABLE SPACE OCCURS BELOW GRADE, PROVIDE WATERPROOF MEMBRANE, AQUEOUS BASED ELASTOMERIC, VINYL, ACRYLIC, MASTIC, 16 MIL. MIN. THICKNESS, OR OTHER APPROVED EQUAL.

7.01.1 SLAB VAPOR BARRIER: 6 MIL POLYETHYLENE SHEET WHEN NOTED ON DRAWINGS. COVER ALL EDGES 6"

7.02 SILL SEALER: 1/2" x 5-1/2" COMPRESSIBLE FIBERGLASS BENEATH ALL EXTERIOR SILL PLATES, OR OTHER APPROVED SILL SEALER

7.03 PROVIDE CORROSION- RESISTIVE FLASHING AT INTERSECTIONS OF MASONRY AND WOOD FRAME CONSTRUCTION OVER PROJECTING WOOD TRIM, WHERE DECKS, PORCHES, ETC. ATTACH TO WOOD FRAMING. CONSTRUCTION AT WALL AND ROOF INTERSECTIONS, AT CHIMNEY AND ROOF INTERSECTIONS, IN ROOF VALLEYS, AT ALL ROOF PENETRATIONS, AND AT WALL OPENINGS IF RECOMMENDED BY WINDOW AND DOOR MANUFACTURE

7.04.0 UNLESS OTHERWISE SPECIFIED ON DRAWINGS PROVIDE AND INSTALL THERMAL INSULATION AS FOLLOWS:

7.04.1 WALLS:

1)	2x8 STUD WALLS R-21 FIBERGLASS BATTS WITH INTERGAL VAPOR BARRIER
2)	2x6 STUD WALLS R-21 FIBERGLASS BATTS WITH INTERGAL VAPOR BARRIER

7.04.2 FLOORS OVER GARAGE: R-38 FIBERGLASS BATTS WITH INTERGAL VAPOR BARRIER

7.04.3 CANTILEVERED FLOORS: R-38 FIBERGLASS BATTS WITH INTERGAL VAPOR BARRIER

7.04.4 INTERIOR CEILINGS AT ROOF: R-49 FIBERGLASS BATT WITH INTERGAL VAPOR BARRIER, COMBINATION R-11 BATT AND R-38 BLOWN INSULATION, OR R-49 BLOWN, ADDITIONAL FREE VENTILATION IS REQUIRED IF VAPOR BARRIER IS NOT USED.

7.04.5 BASEMENT FOUNDATION WALLS: R-13 FIBERGLASS BATT WITH F-3.25 FACING

7.04.6 CRAWL SPACE WALLS: R-21 WITH F-3.25 FACING

7.04.7 SLAB PERIMETERS EXPOSED TO OUTSIDE OR WITHIN 30" OF GRADE: R4.5X24" EITHER VERTICAL OR HORIZONTAL FROM SLAB/ WALL INTERSECTION.

7.05 ROOFING: UNLESS NOTED OTHERWISE, ROOFING SHALL BE MIN. 22# CLASS "C" FIBERGLASS BASED ASPHALT SHINGLES OVER 15 POUND FELT. LEAVE FLASHING TO A POINT 24" INSIDE OF INTERIOR FACE OF WALL LINE MAY BE ALSO INSTALLED AT THE OWNERS DISCRETION.

7.06 WALL SHEATHING: AS SHOWN ON DRAWINGS AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

7.07 SIDING MATERIAL: AS SHOWN ON DRAWINGS AND INSTALLED PER MANUFACTURERS INSTRUCTIONS.

7.08 GUTTERS AND LEADERS: .032" PREFINISHED ALUMINUM GUTTERS WITH .024" PREFINISHED ALUMINUM LEADERS LEAD TO CONCRETE SPLASH BLOCKS OR AS REQUIRED.

**DOORS & WINDOWS:**

8.01 IF REVIEW IS UNDER THE 2015 IBC CODE (UNAMENED) ALL INTERIOR DOORS, EXCEPT CLOSETS LESS THAN 10 SOFT SHALL BE MIN. 2'-0" IN WIDTH.

8.02 EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW PROVIDING 5.7 SQFT OF NET CLEAR OPENING WITH A SILL HEIGHT NOT MORE THAN 44" A.F.F

8.03 SAFETY GLAZING (TEMPERD) SHALL BE PROVIDED IN SLIDING GLASS DOORS AND TUB ENCLOSURES AND WINDOWS WITHIN 6 FEET OF TUB SIDELIGHTS

8.04 FIXED PANEL, GREATER THAN 8 SOFT WITHIN 18" A.F.F OR WITH IN 36" OF A WALKING SURFACE. GLAZING WITHIN 12" OF A STAIR RAILING.

8.04 PROVIDED SELF-CLOSING DOOR BETWEEN DWELLING AND GARAGE. DOOR SHALL BE 1-3/4" THICK SOLID WOOD OR INSULATED STEEL W/ MIN. 20 MINUTE FIRE RATING.

**FINISHES:**

9.01.0 DRYWALL: 1/2" TAPERED EDGE GYPSUM BOARD APPLIED, TAPED AND FINISHED IN ACCORDANCE WITH GYPSUM ASSOCIATION GA-216 AND ASTM-C-840

9.01.1 5/8" GYPSUM BOARD IS TO BE USED TO COMPLETELY SEPARATE GARAGE FROM LIVING AREA, APPLIED ON GARAGE SIDE PER THE PLANS, OR IN MANOR ACCEPTABLE TO LOCAL JURISDICTION. (SEE GENERAL CONSTRUCTION NOTE #19)

9.01.2 PROVIDE RATED ASSEMBLIES AS DETAILED IN THE DRAWINGS FOR PARTYWALLS OR OTHER RATED WALLS OR FLOORS. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE TESTING AGENCY'S REQUIREMENTS.

9.02 WHEN CERAMIC TILE IS USED, WATER RESISTANT GYPSUM BOARD 1/2" THICK, OR APPROVED EQUAL, IS REQUIRED AT TUB AND SHOWER SURROUNDS TO A HEIGHT OF 36" ABOVE TUB OR SHOWER PAN. GLASS MESH AND CEMENT BOARD IS AN ACCEPTABLE ALTERNATE.

9.03 PAINT (INTERIOR) UNLESS DIRECTED OTHERWISE:

9.04 PAINTS (1) COAT PRIMER (1) COAT FLAT LATEX FINISH TRIM (1) COAT PRIMER (1) COAT FLAT LATEX FINISH (1) COAT PRIMER (1) COAT SEMI-GLOSS ENAMEL FINISH 9.05

9.06 CERAMIC TILE: WALLS: GLAZED MOSAIC TILE OVER WATER RESISTANT GYPSUM BOARD OR GLASS MESH MORTAR UNITS. USE THIN SET ORGANIC ADHESIVE (ANSI A108.4) OVER GYPSUM BOARD AND DRY-SET LATEX PORTLAND MORTAR (ANSI A108.5) OVER CEMENT BOARD FLOORS: GLAZED MOSAIC TILE OVER MINIMUM 5/8" PLYWOOD UNDERLAYMENT. GROUT: POLYURETHANE GROUT. USE EPOXY MORTAR AND GROUT APPLICATION (ANSI A116.3).

9.06 INTERIEN FLOORS: SHEET VINYL RESILIENT FLOORING OVER 1/4" MIN. FIBERBOARD OR PLYWOOD UNDERLAYMENT.

**SPECIALTIES:**

10.01 FIREPLACES: PRE-BUILT U/I APPROVED, SELECTED BY THE OWNER, AND INSTALLED ACCORDING TO CODE AND MANUFACTURES RECOMMENDATIONS, IF APPLICABLE.

10.02 TOILET AND BATH ACCESSORIES PER PLANS, OR BY OWNER

10.02.1 MIRRORS: MIRROR QUALITY & SIZES PER PLANS, OR BY OWNER

10.02.2 PROVIDE TWO TOWEL BARS FOR EACH FULL BATH, ONE PER POWDER ROOM.

10.03 PROVIDE EITHER SHOWER RODS 80" AFF OR TEMPERED OR SAFETY LAMINITE GLASS DOORS, PER OWNER

**MECHANICAL:**

15.01 HVAC AND PLUMBING CONTRACTORS SHALL COORDINATE ALL OPENINGS IN JOIST, TRUSSES, ETC. WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK. ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL MECHANICAL AND PLUMBING CODES.

15.02 PROVIDE ONE DAMPERD REGISTER PER 900 SQUARE FOOT OF UNFINISHED BASEMENT SPACE.

15.03 PROVIDE EXHAUST FANS AT EACH BATH AND VENT TO EXTERIOR OF HOUSE

15.04 DETACHED DWELLINGS CONSTRUCTED IN THE STATE OF MARYLAND AND ALL ATTACHED DWELLINGS CONSTRUCTED IN THE STATE OF MARYLAND SHALL INCLUDE A FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 130.

15.05 ALL DUCTWORK THAT PENETRATES ALL RATED WALL OR FLOOR ASSEMBLY SHALL BE PROVIDED WITH FIRE DAMPERS.

15.06 ALL VENTS AND FLUES SHALL BE INSTALLED WITH MINIMUM OF 2" CLEARANCE TO ADJACENT WOOD FRAMING GREATER IF SPECIFIED BY MANUFACTURE.

15.07 ANY PIPING PASSING UNDER FOOTINGS OR THROUGH A FOUNDATION WALL OR SLAB SHALL BE PROVIDED WITH A SLEEVE TWO PIPES LARGER THAN THE SUBJECT PIPE.

15.08 PROVIDE OVER FLOW PANS AND DRAINS FOR WASHER AND OR WATER HEATER WHEN LOCATED ON WOOD FLOOR SYSTEM.

15.09 PROVIDE HOSE BIBBS (FREEZE-PROOF OR WITH SHUT OFF) AT FRONT AND REAR OF SINGLE FAMILY DWELLINGS.

15.10 PROVIDE 1-1/2" CONDENSATION LINE FROM WATER HEATER AND AIR HANDLER TO POSITIVE OUT FALL OR TO SUMP PUMP IF PROVIDED.

**ELECTRICAL:**

16.01 WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE LOCAL REGULATIONS. FIXTURES AND APPLIANCES AS SELECTED BY THE OWNER.

16.02 ALL RECEPTACLES AT KITCHEN COUNTERS, VANITIES AND REFRIGERATOR TO BE 42" AFF ALL OTHERS TO BE 16" AFF

16.03 PROVIDE G.F.I RECEPTACLES AT ALL WET LOCATIONS IN ACCORDANCE WITH NEC

16.04 PROVIDE HARDWIRED SMOKE DETECTORS AT EACH FLOOR LEVEL WITH IN 10' OF SLEEPING AREA, NOT CLOSER THAN FOUR FEET FROM RETURN AIR INLETS. ALL DETECTORS SHALL BE INTERCONNECTED TO SOUND SIMULTANEOUSLY. IF PERMIT IS ISSUED UNDER 2015 BC CODE AND DWELLINGS IS NOT SPRINKLERED, INSTALL ADDITIONAL SMOKE DETECTORS IN EACH SLEEPING ROOM.

REVISIONS	BY
11/15/18	RB
12/5/18	RB
2/6/19	RB
3/6/19	RB

**RB Home Design**

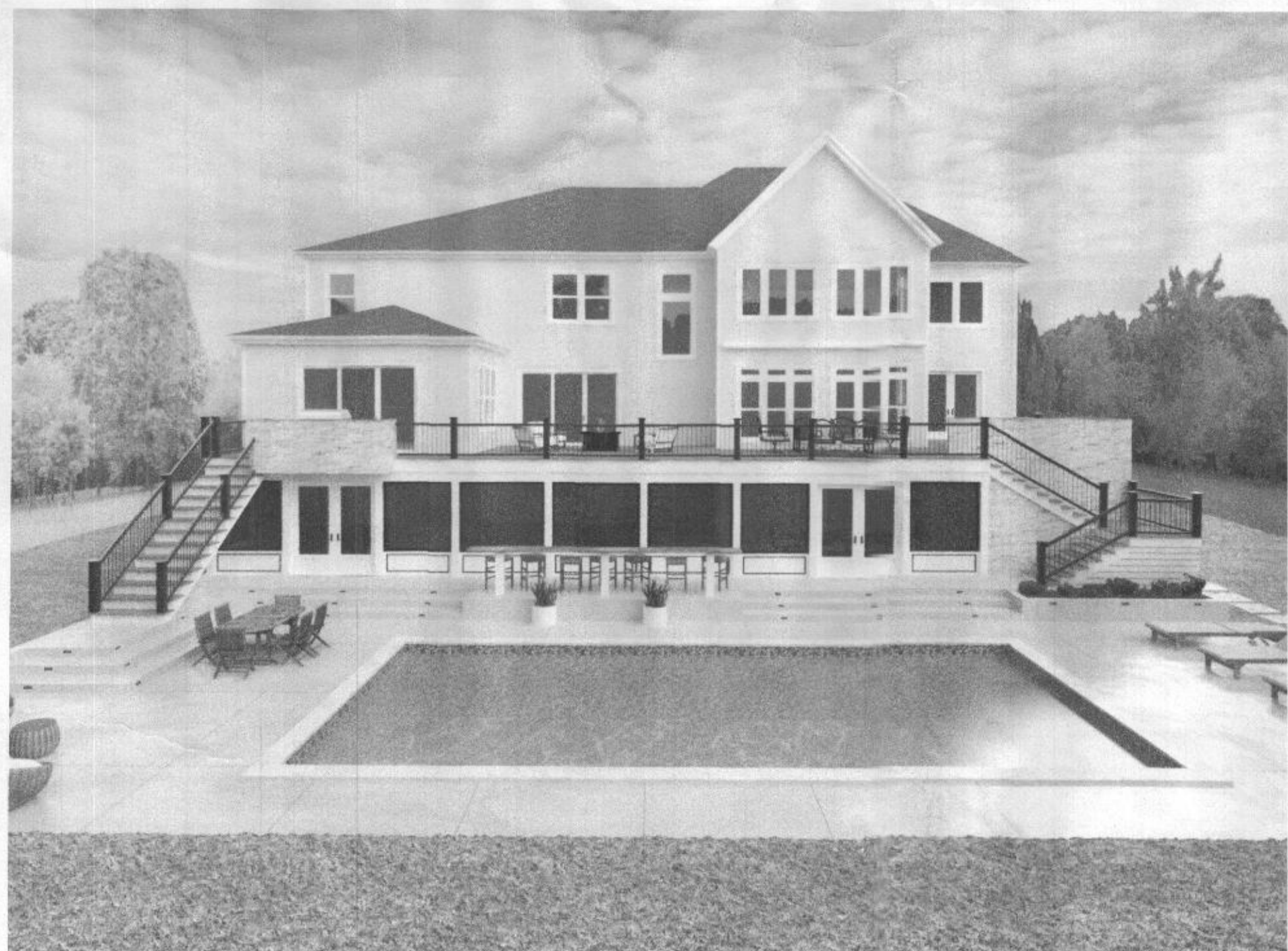
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RBHOMEDSIGN@HOTMAIL.COM  
443-613-5115

**THE LYTLE RESIDENCE  
OUTDOOR LIVING PLANS  
11017 BLEVINS DRIVE  
CLARKSVILLE MD 21029**

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RB HOME DESIGNS
DATE : 3/15/19
SCALE : 1/4" = 1'
DRAWN : R. BREDLOW
COVER SHEET
SHEET NO.

**C.S.**




**DRAWING LIST**

- A-1 REAR ELEVATION
- A-2 LEFT / RIGHT ELEVATION
- A-3 REAR DECK PLAN
- A-4 LOWER LEVEL OUTDOOR LIVING PLAN
- A-5 FOUNDATION/ FOOTING PLAN
- A-6 DECK FRAMING PLAN
- A-7 BUILDING SECTIONS
- A-8 BUILDING SECTIONS
- A-9 LOWER FLOOR LAYOUT PLAN
- A-10 REFLECTED CEILING PLAN
- A-11 EXISTING ELEVATIONS
- A-12 EXISTING PLANS

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**RB HOME DESIGNS**

**DATE : 3/15/19**

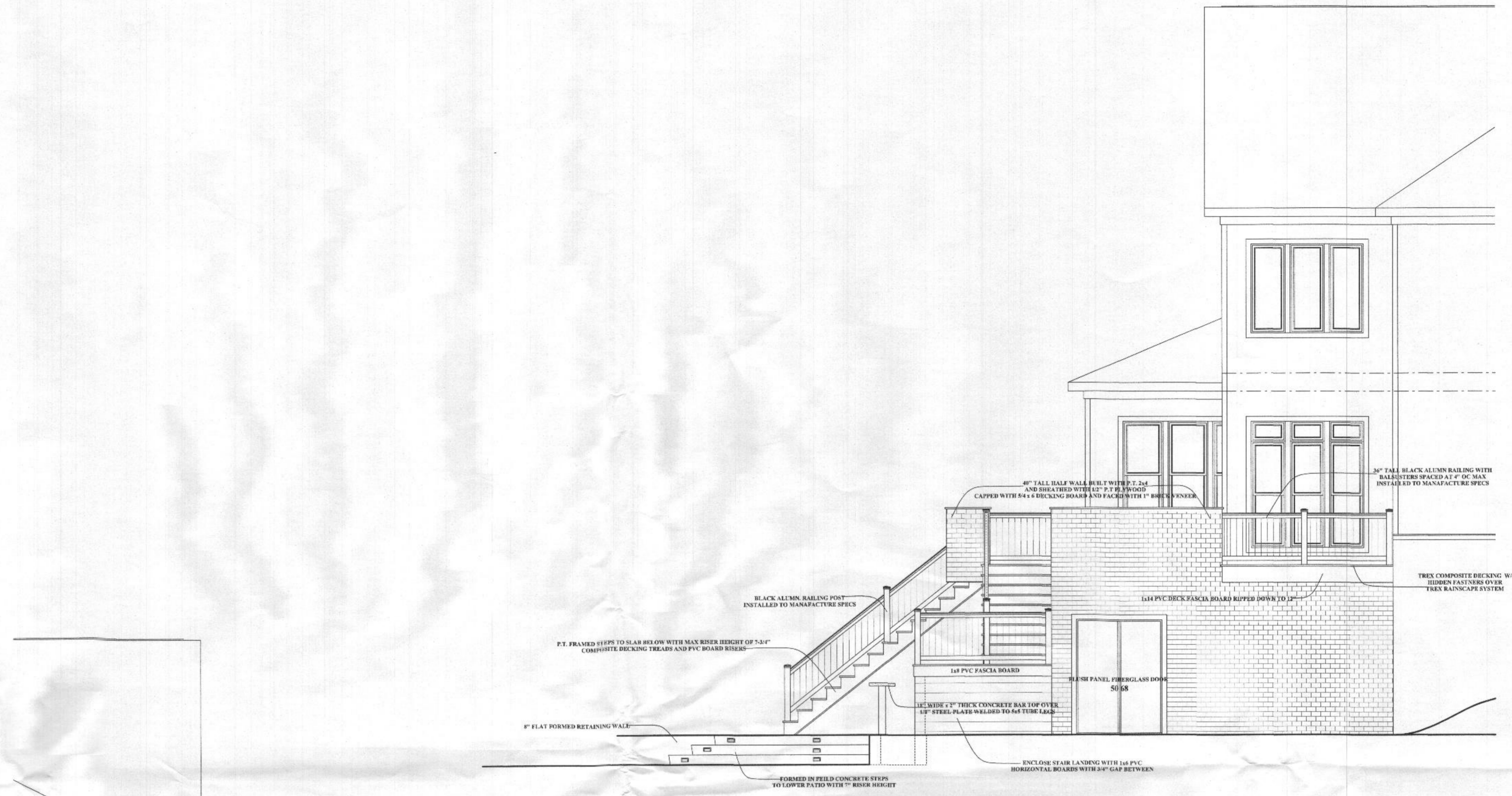
**SCALE : 1/4" = 1'**

**DRAWN : R. BREDLOW**

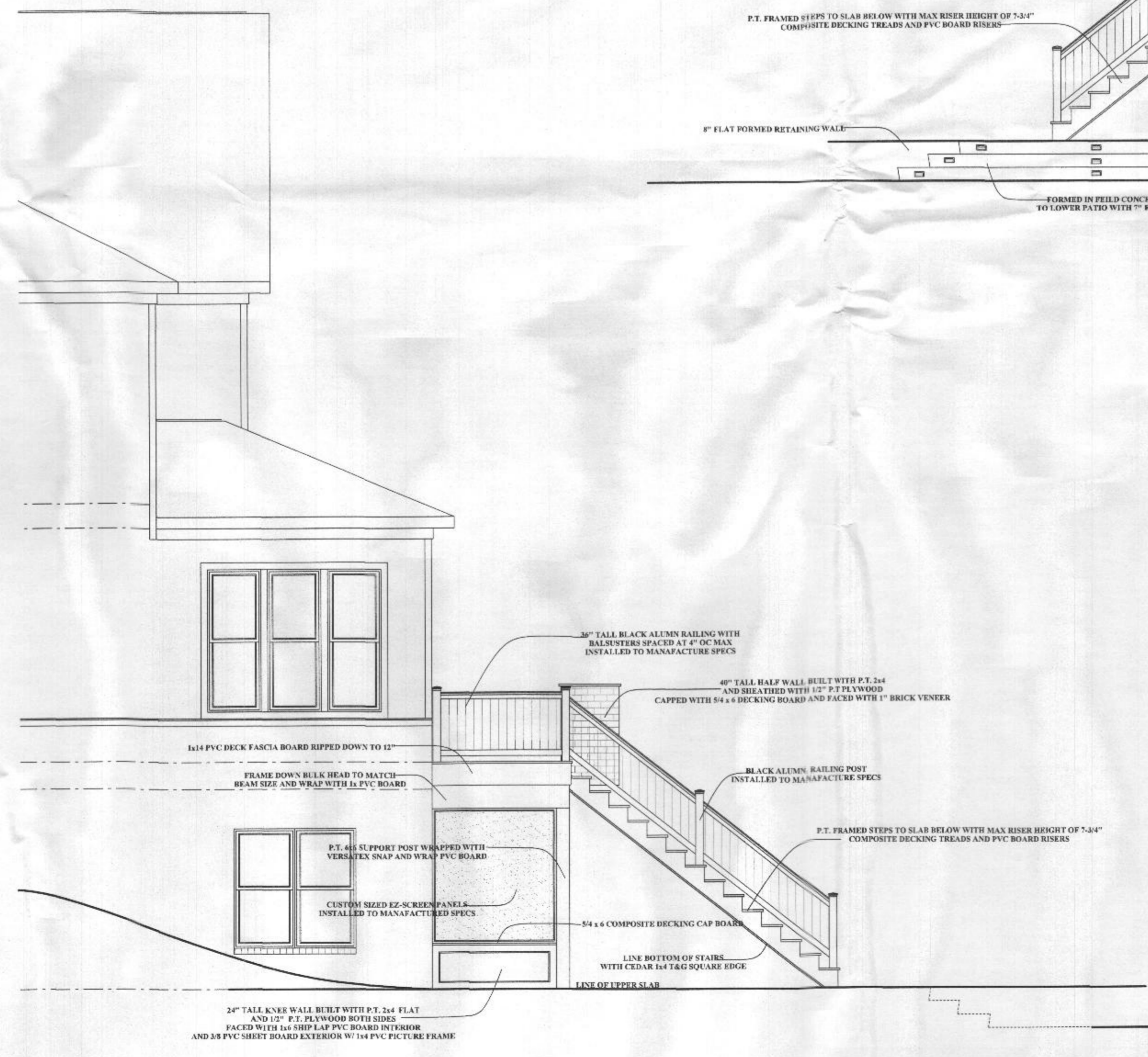
**LEFT / RIGHT ELEVATIONS**

**SHEET NO.**

**A-2**



**LEFT ELEVATION**



**RIGHT ELEVATION**



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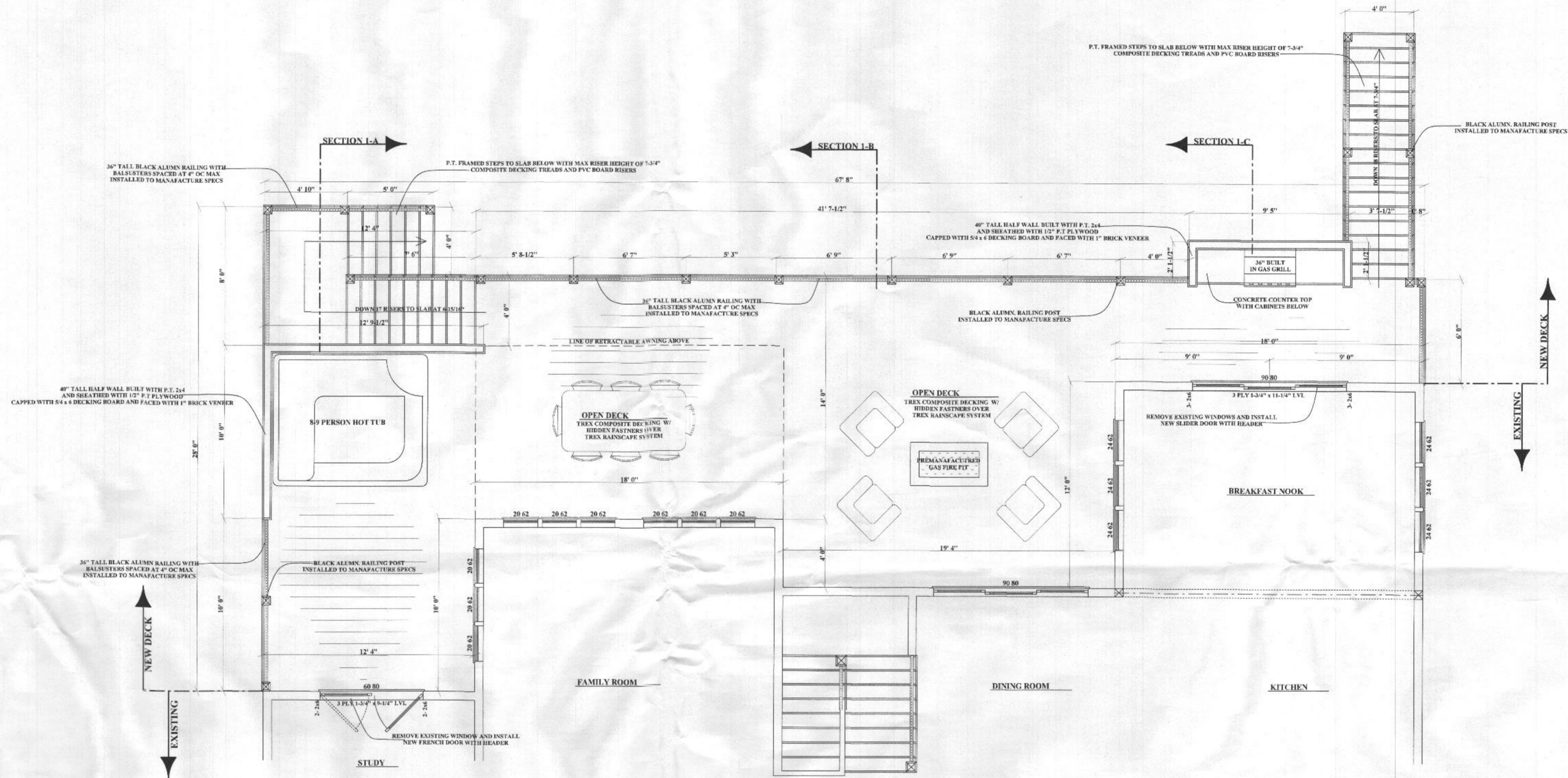

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 DATE : 3/15/19  
 SCALE : 1/4" = 1'  
 DRAWN :  
 R. BREDLOW

**EXTERIOR  
 RENDERINGS**  
 SHEET NO.  
**A-2.1**



**1ST FLOOR PLAN**  
**REAR DECK PLAN**

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DRAWN :  
 R. BREDLOW

**REAR DECK PLAN**

SHEET NO.  
**A-3**

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3/6/18	RB


  
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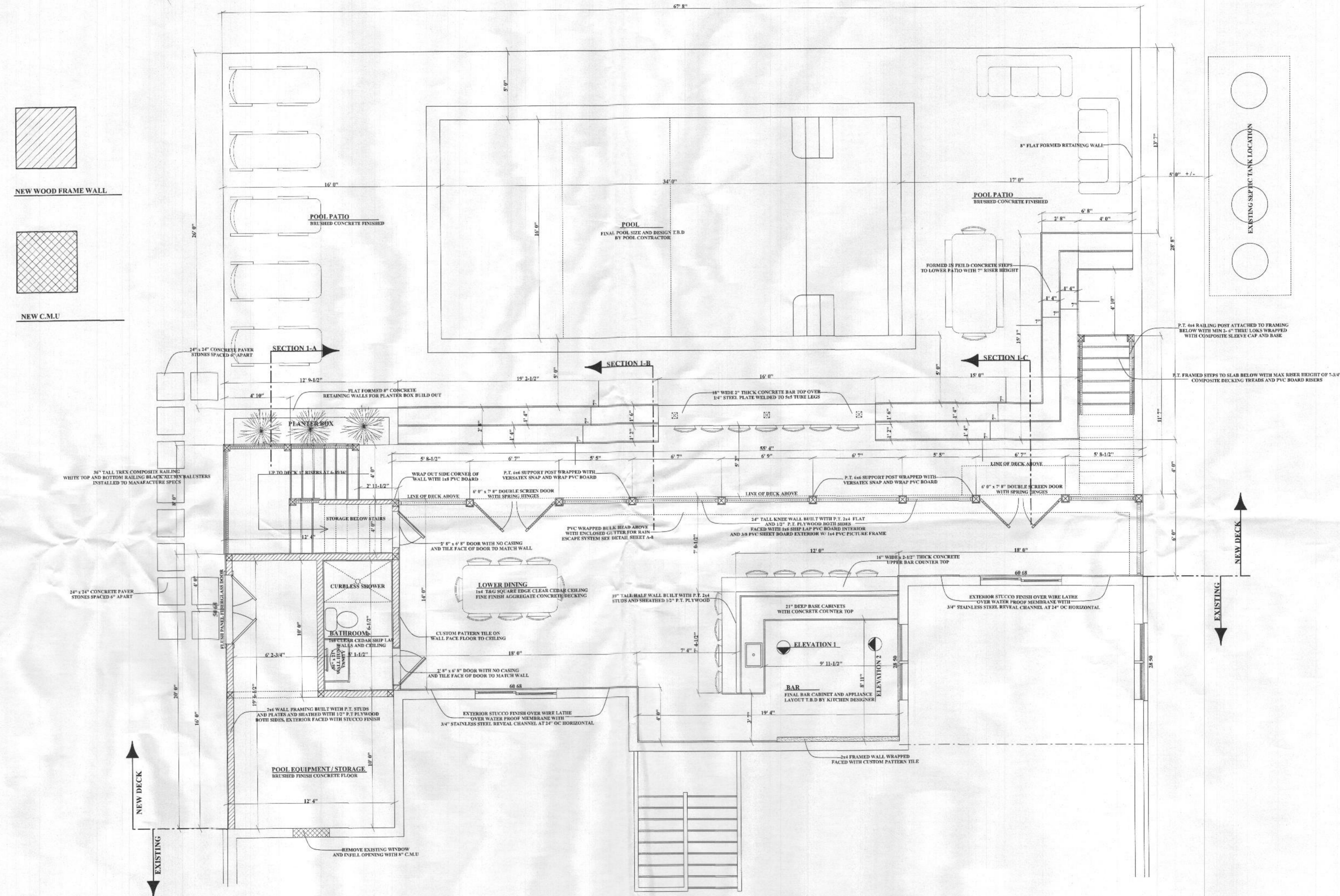
SCALE : 1/4" = 1'

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LOWER LEVEL PLAN

SHEET NO.

**A-4**



**LOWER LEVEL**  
**OUTDOOR LIVING PLAN**