

PERMIT NUMBER: B 21001607

DATE ACCEPTED:

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APR 23 2021



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS LICENSURE PERMITS
3430 COURT HOUSE DRIVE, ELICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 DIVISION
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 13613 Highland rd
City: Clarksville
State: MD
Zip Code: 21029
Subdivision/Village/Complex Name:
SDP/WP/BA #:
Lot:
Tax Map: 34
Parcel: 303
Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use:
Proposed Use:
Estimated Cost: \$27,000.00
Trade Work to Be Completed (Separate Permits Required):
Extend a wall, elevate roof install a beam to support wall
FAMILY ROOM ADDITION
WI FP + FRONT PORCH

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Veronica Mellinos
Primary Residence: Yes No
Owner's Street Address: 13613 Highland rd
City: Clarksville
State: MD
Zip Code: 21029
Phone:
Email:

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name:
Contact Name: Wendy Garcia
Street Address: 409 Harlem Ave.
City: Pasadena
State: MD
Zip Code: 21122
Phone: (443) 454-2318
Email: wgpermits@gmail.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Dream Homes Remodeling, LLC
Licensee's Name: MHIC
License #: 135886
Street Address: 1417 Gordon dr
City: Glen Burnie
State: MD
Zip Code: 21061
Phone: (443) 980-6949
Email:

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: JR Architect, LLC
Name: Jose R. Morales
Street Address: 306 Nicole LN
City: Glen Burnie
State: MD
Zip Code: 21061
Phone: (443) 570-7634
Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Oil Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:
of Bedrooms (SF): # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
Rooms: 5 # Full Baths: 3 # Half Baths: # Fireplaces:
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 1st Fl Depth: 2nd Fl Width: 2nd Fl Depth: Bsmt Width: Bsmt Depth:
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 2,622 sq ft Occupiable Area: 1,064 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

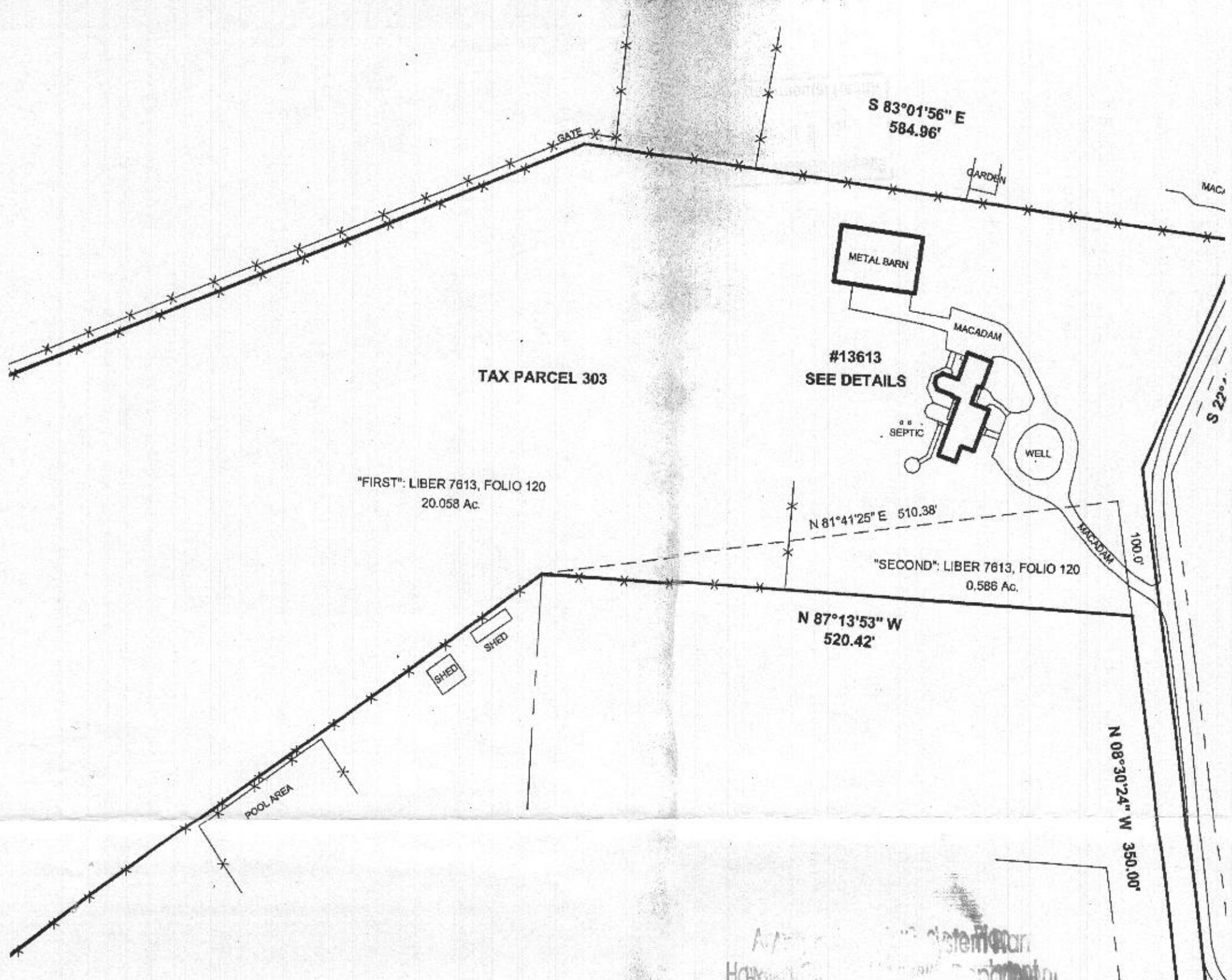
Signature of Applicant: Date Signed: 4/23/21

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

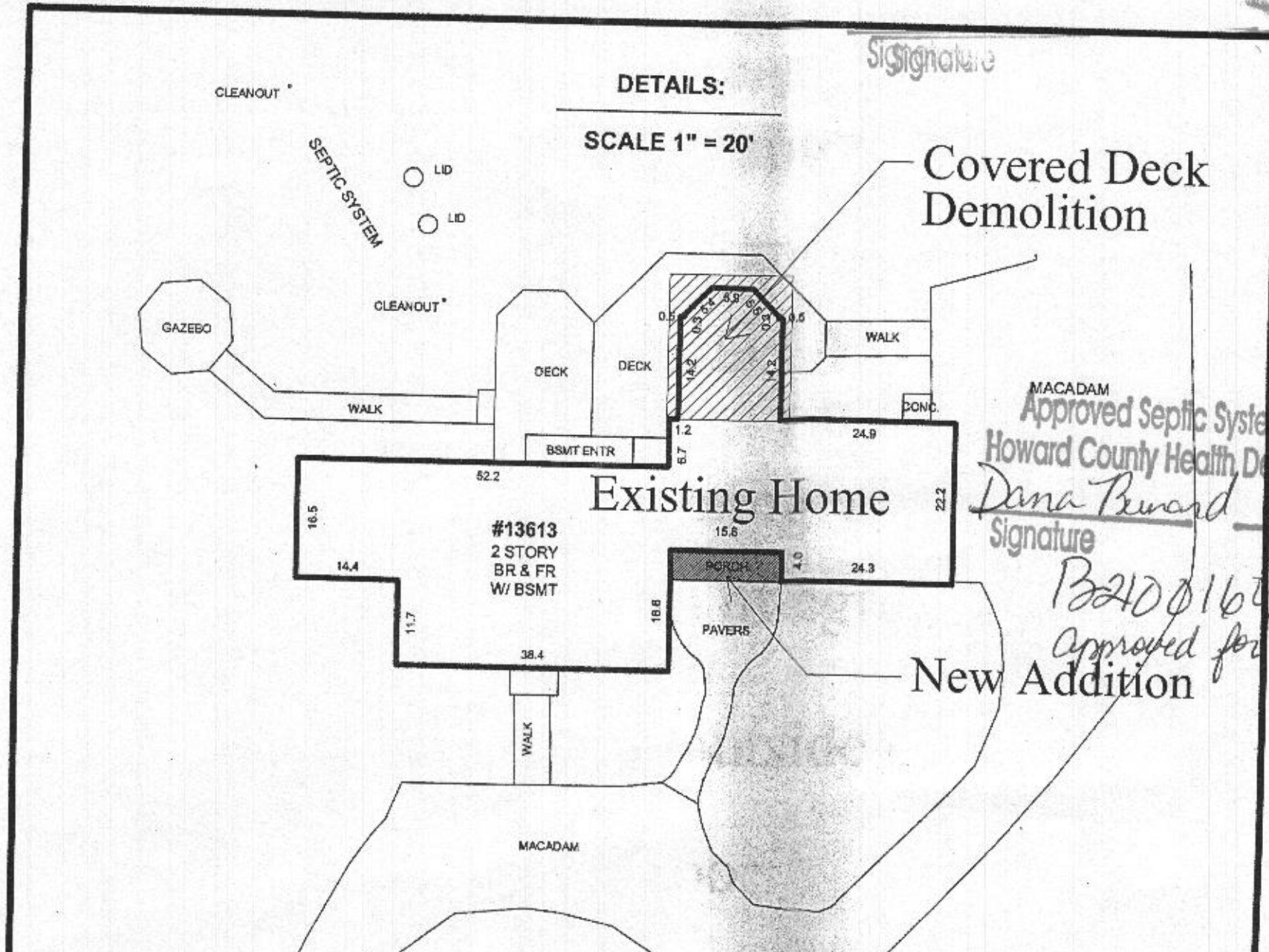
AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID
SUBMITTAL FEES: \$25.00 PAYMENT: ACCEPTED BY: Drmpay

no ck



Approved Septic System Plan
 Howard County Health Department

Signature



DETAILS:

SCALE 1" = 20'

Covered Deck Demolition

Existing Home

#13613
 2 STORY
 BR & FR
 W/ BSMT

MACADAM
 Approved Septic System Plan
 Howard County Health Department
 Dana Beward
 Signature
 5-17-21
 Date

New Addition

B2100167
 Approved for Deck Covered

HIGH

L
 #1:
 TA:

GENERAL REQUIREMENTS IRC 2018 & IEC 2018 - Allwork shall be done in accordance with the current IRC 2018 Code Requirements for one and two story family dwellings. Allwork shall comply with all rules, regulations, authorities and applicable codes having jurisdiction in the State of Maryland and Howard's County DPS requirements.

Air Barriers and insulation requirements must comply with the current IRC 2018 Section 1103 Table N1102.4.2 and as per local Howard's County DPS requirements.

IRC 2018 Section R202 Habitable rooms and other non habitable spaces, hallways, corridors, bathrooms, toilets rooms, laundry rooms and basements shall have a minimum ceiling height of not less than 7 feet from the finished floor.

All new heating and cooling equipment shall comply with IRC Chapter 14.

The Electrical, Mechanical, Structural and Plumbing Plans are schematic only. GC shall provide a design build service for all proposed work. Outlets adjacent to wet areas shall be ground-fault disconnect type (GFI), as required by code. Smoke detectors shall be installed as required on every level and as per local and state code. Detectors shall be hardwired with battery back-up, IRC Section R317.2 & NFPA 72 Section 2-2.1.1.1.

Building Insulation shall be as per IRC 2018 Chapter 11 "Energy Efficiency" and Table N1102.4.2 "Air Barrier and Insulation Inspection".

Drywall and Gypsum Board Finishes shall conform to the recommendations of the U.S.G. Provide 1/2" regular gypsum board on walls and provide 1/2" Type "X" gypsum wallboard on ceilings. Provide 1/2" green wallboard for damp locations; i.e., bathroom walls & ceilings and other specified rooms. Provide 1/2" cement board "Durock" behind / under tiled walls, floors and ceilings. All cut edges, joints, partitions shall be taped, spackled and sanded smooth with no visible joints.

All framing to be in accordance with national design specifications for wood construction, published by National Forest Products Association. Stud spacing shall comply with IRC 2018 Section R602.3 and Table 602.3 (5). Provide and install blocking in partitions as required. Provide and install blocking in partitions as required to securely anchor wall hung items, such as cabinets, shelving, countertops, etc.

All windows to be Low E with .30 U-factor double glaze insulated. Every new sleeping room shall have at least one operable

"Emergency Escape and Rescue" window or exterior door opening as per IRC 2018 Section R310. Escape and rescue window shall have a maximum sill height of 44 inches above finished floor. Means of egress shall comply with IRC 2018 section R311.

Hardwired smoke detectors to be installed on sleeping rooms, outside each sleeping area and on each level of the dwelling unit.

Every door opening to the out side shall have a storm screen door.

All plate and gauge steel connectors and fasteners shall be Zmax or hot dip galvanized when in contact with pressure treated wood.

JR DESIGN ARCHITECT, LLC
Jose R. Morales, R.A.
Architect
306 Nicole Lane
Glen Burnie, MD 21061
443.570.7634
jrmorales_arch@yahoo.com

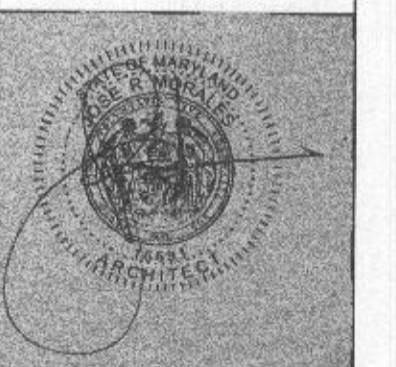
OWNER:
VERONICA MELLINOS
13613 Highland Road
Clarksville, MD 21029
954.673.8779

MELLINOS' RESIDENCE
NEW ADDITION / RENOVATION

PROJECT

GENERAL NOTES

"Professional Certification: I hereby certify that these documents were prepared or approved by me and that I am a duly licensed Registered Architect under the laws of the state of Maryland." License No. 16691, Expiration Date: September 19, 2021



SEAL

NO.	REVISION	DATE

SCALE: AS NOTED

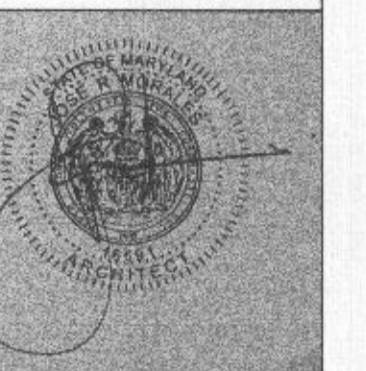
DRAWING NUMBER

N.1

MELLINOS' RESIDENCE
NEW ADDITION / RENOVATION

PROJECT
DRAWING NAME
EXISTING FLOOR & ROOF PLANS DEMOLITION

"Professional Certification: I hereby certify that these documents were prepared or approved by me and that I am a duly licensed Registered Architect under the laws of the state of Maryland." License No. 16691, Expiration Date: September 19, 2021

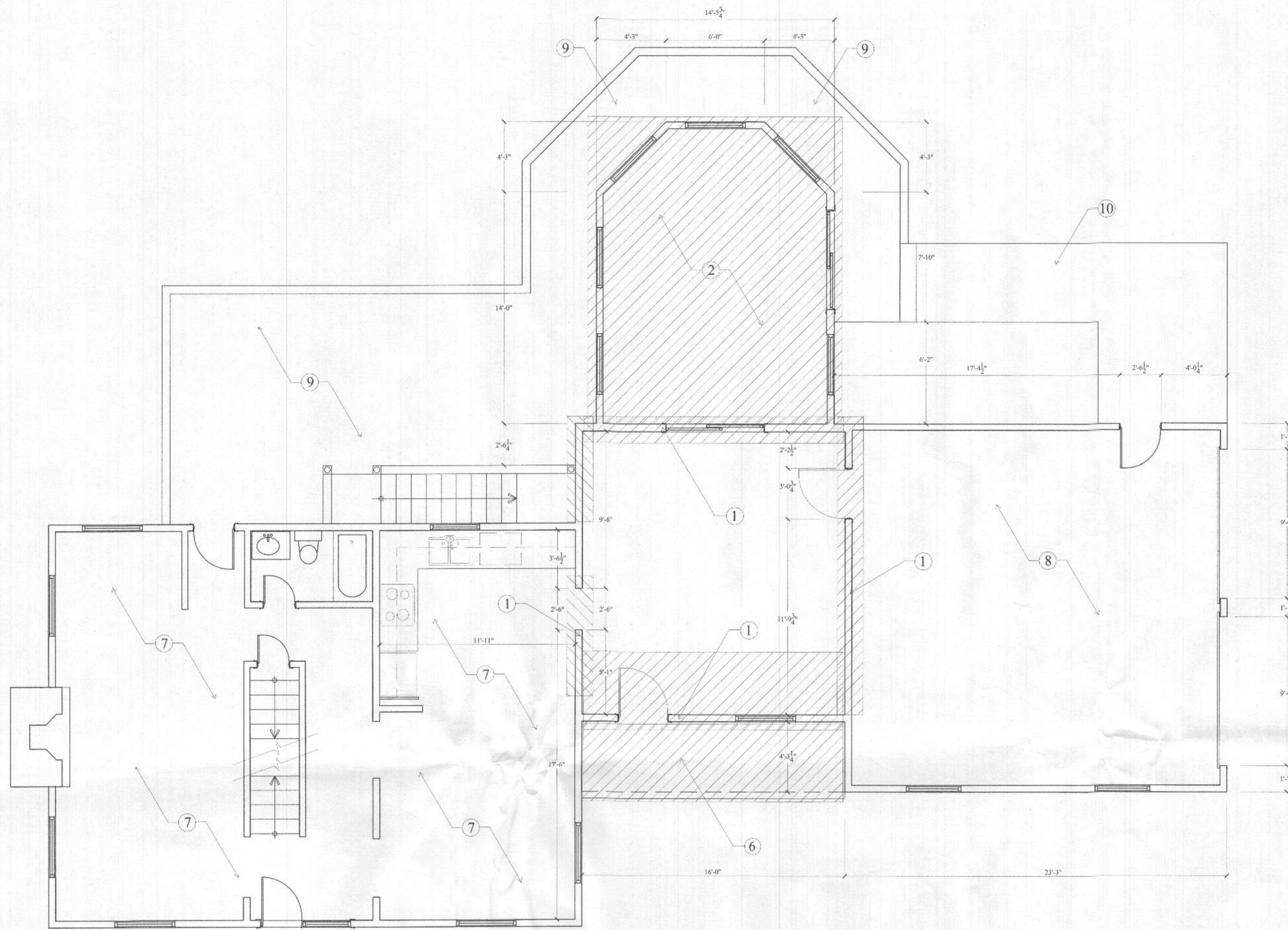


SEAL		
NO.	REVISION	DATE

SCALE: AS NOTED

DRAWING NUMBER

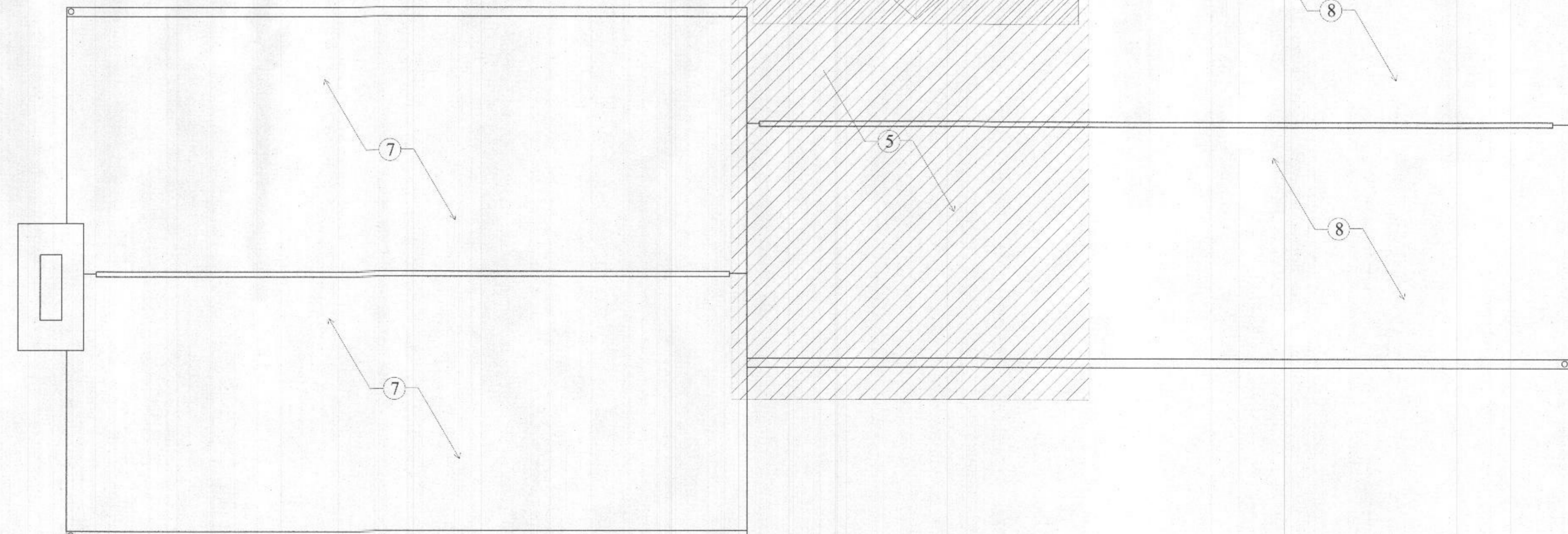
ED.1



1 EXISTING FIRST FLOOR PLAN / DEMO
SCALE: 1/4" = 1'-0"

Notes:

- 1 Existing Wall / Door to be Removed. Opening to be Prepare for new Work.
- 2 Existing Wall Framing, Windows and Door (for existing Covered Patio) to be Removed.
- 4 Existing Roof (for existing Covered Patio) to be Removed.
- 5 Existing Roof Area to be Removed for New Roof Application.
- 6 Existing Concrete Slab to be Removed for New Addition Application.
- 7 Existing House (No Work)
- 8 Existing Garage (No Work)
- 9 Existing Deck (No Work)
- 10 Concrete Sidewalk to Remain



2 EXISTING ROOF PLAN / DEMO
SCALE: 1/4" = 1'-0"

