

ERMIT NUMBER: B

80001101

DATE ACCEPTED:

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043

PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 5628 Doso Court	Unit:
City: Clarksville	State: MD
Zip Code: 21029	
Subdivision/Village/Complex Name: The Woodlands	SDP/WP/BA #:
Lot: 3	Tax Map: 28
Parcel: 15	Grading Permit #: 22-083

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant Lot	Proposed Use: Single Family Home	Estimated Cost: \$ 874,679
Trade Work to Be Completed (Separate Permits Required):		
<input checked="" type="checkbox"/> Mechanical (HVAC)	<input checked="" type="checkbox"/> Electrical	<input checked="" type="checkbox"/> Plumbing
<input type="checkbox"/> None		

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Williamsburg Group LLC	Primary Residence: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Owner's Street Address: 5485 Murray's Farm Rd #200	
City: Columbia	State: MD
Zip Code: 21046	
Phone: 410-997-8800	Email:

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: same as above	Contact Name: Andrew Morris
Street Address:	
City:	State:
Zip Code:	
Phone:	Email:

CONTRACTOR INFORMATION REQUIRED

Business Name: same as above	
Licensee's Name:	License #: 155
Street Address:	
City:	State:
Zip Code:	
Phone:	Email:

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	Name:
Street Address:	
City:	State:
Zip Code:	
Phone:	Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input checked="" type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)
Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)	
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:	Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input checked="" type="checkbox"/> NFPA 13D <input type="checkbox"/> None	Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: R2Hedge	
# of Bedrooms (SF): 5	# of efficiency units (MF*):
# of 1 BR (MF*):	# of 2 BR (MF*):
# of 3 BR (MF*):	
# Rooms: 14	# Full Baths: 6
# Half Baths: 1	# Fireplaces:
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None	
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input checked="" type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial	
1st Fl Width: 79	1st Fl Depth: 63
2nd Fl Width: 79	2nd Fl Depth: 63
Bsmt Width: 79.0	Bsmt Depth: 63
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input checked="" type="checkbox"/> UA Alternative <input type="checkbox"/> ERI	Gross Area: 13468 sq ft
Occupiable Area: 10,375 sq ft	

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: *Andrew Morris* DATE SIGNED: 3/30/20

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:	
<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ
<input type="checkbox"/> DED	<input checked="" type="checkbox"/> Health
<input type="checkbox"/> SHA	<input checked="" type="checkbox"/> CID
SUBMITTAL FEES: 150.00	PAYMENT: 874,679
ACCEPTED BY: <i>[Signature]</i>	

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B20003247	09/24/2020
Description of Work		
SFD/ INSTALL (1) 1000 GAL UNDERGROUND PROPANE TANK		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
5628	DOSA	CT	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.95479	39.21994
City	State	Zip Code	Primary
CLARKSVILLE	MD	21029	Yes

Approved in DILP Accela
not in our
ACCELA → but it can
be approved & closed
in workflow.

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11059756	0015	0	0	0	0	RURAL

Legal Description

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
23	3	605101	5				

Plan Area	State Tax Id	Subdivision Name	
		THE WOODLANDS	
Section	Area	Tax Map	
		28	
Grid	Zoning District	ADC Map	
28-23	RC-DEO	4933-H5	
SDP No.	Final Plan No.	WP File No.	
	ECP-15-032		
Record Plat No.	WS Contract No.	FDP No.	Primary
25051-2505			Yes
Owner Occupied	Year Built	Historic District	
<input type="radio"/> Yes <input type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	
Historic District Registry No.	Stat Area	Flood Plain	
	5-02A	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Building No			

Owner * (This section is required.)

Search Reset Clear

Name *
 WILLIAMSBURG GROUP LLC

Address Line 1
 5458 HARPERS FARM ROAD

Address Line 2

Address Line 3

Mail City **Mail State** **Mail Zip Code**
 COLUMBIA MD 21044

Phone **Primary**
 443-610-7514 Yes

E-mail

Cell Number **Fax Number**

Professionals (This section is not required.)

Search Reset Clear

License # * **Business Name**
 20100081215 AIR GAS

License Type * **First Name** **Middle Name** **Last Name**
 Propane Gs DENNIS FEAGA

Primary **Address Line 1**
 Yes 6750 MACLEAN DRIVE STE B

Address Line 2
 1625 HENRYTON RD

City **State** **ZIP Code**
 GLEN BURNIE MD 210600000

Phone 1 **Phone 2** **Fax**
 4104425623 4104425623

E-mail

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * **First Name** **MI** **Last Name**
 Applicant MICHELLE CLANCY

Relationship **Full Name**
 Applicant MICHELLE CLANCY

Primary **Organization Name**
 Yes APPLIED & APPROVED PERMITS LLC

Street Address
 P.O. BOX 310

Address Line 2

City **State** **Zip Code**
 PERRY HALL MD 21128

Phone **Cell** **Fax**
 443-340-1229 _____

E-mail *
 MICHELLE@APPLIEDANDAPPROVED.COM

Owner * (This section is required.)

Search Reset Clear

Name *
 WILLIAMSBURG GROUP LLC

Address Line 1
 5458 HARPERS FARM ROAD

Address Line 2

Address Line 3

Mail City	Mail State	Mail Zip Code
COLUMBIA	MD	21044

Phone
 443-610-7514

Primary
 Yes

E-mail

Cell Number **Fax Number**

Professionals (This section is not required.)

Search Reset Clear

License # *	Business Name		
20100081215	AIR GAS		
License Type *	First Name	Middle Name	Last Name
Propane Gs	DENNIS		FEAGA
Primary	Address Line 1		
Yes	6750 MACLEAN DRIVE STE B		
	Address Line 2		
	1625 HENRYTON RD		
	City	State	ZIP Code
	GLEN BURNIE	MD	210600000
	Phone 1	Phone 2	Fax
	4104425623		4104425623
	E-mail		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	MICHELLE		CLANCY
Relationship	Full Name		
Applicant	MICHELLE CLANCY		
Primary	Organization Name		
Yes	APPLIED & APPROVED PERMITS LLC		
	Street Address		
	P.O. BOX 310		
	Address Line 2		

	City	State	Zip Code
	PERRY HALL	MD	21128
	Phone	Cell	Fax
	443-340-1229		
	E-mail *		
	MICHELLE@APPLIEDANDAPPROVED.COM		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
3000	0	0	No
Construction Type			
-Select-			

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use	Number of Tanks Installed *	Number of Tanks Removed *		
SFD	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	
Private	Private	3/27/2021	0	

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Submit Cancel



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: [HowardCoHealthDep](https://twitter.com/HowardCoHealthDep)

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: **Marina Morris, Williamsburg Group, LLC**

FROM: Robert Bricker, REHS/RS, L.E.H.S., Well & Septic Program

RE: 5628 Dosa Court, Potential Basement Bedroom

DATE: May 19, 2020

I have reviewed the floor plans in support of Building Permit B20001101 for a new home at 5628 Dosa Court and noted that there is a finished full bathroom in the partly finished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon further modification of the basement finished living space.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned are of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing five (5)-bedroom design to accommodate a future finished basement. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.

GENERAL NOTES

- SUBJECT PROPERTY ZONED RC-DEO PER 100013 COMPREHENSIVE ZONING PLAN.
- PROPERTY ADDRESS: 5628 DOSA COURT, CLARKSVILLE 21029
- TOTAL AREA OF PROPERTY = 1.1924 AC.
- PRIVATE WATER AND PRIVATE SEWER WILL BE USED WITHIN THIS SITE.
- ZONING: THIS AREA DESIGNATES A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SF AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.04.03). IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
- THE BOUNDARY SHOWN HEREON IS BASED ON A FIELD RUN BOUNDARY SURVEY PREPARED BY ADCOCK & ASSOCIATES, LLC ON SEPTEMBER 18, 2014.
- THE TOPOGRAPHY SHOWN HEREON HAS BEEN FIELD RUN BY ADCOCK & ASSOCIATES, LLC. ON SEPTEMBER 16, 2014. THE EXISTING TOPOGRAPHY SHOWN OUTSIDE THE SITE IS BASED ON HOWARD COUNTY AERIAL TOPOGRAPHY FLOWN IN 2004.
- REFERENCE: RECORD PLAT NO. 25551, F-18-094
- PREVIOUS HOWARD COUNTY FILE NUMBERS: RECORD PLAT NO. 5471, F-03-114, ECP-15-032, WP-16-017, WP-17-060, SP-16-008, PB 431, WP-18-127, RECORD PLAT NO. 25551, F-18-094
- THE SOILS SHOWN HAVE BEEN TAKEN FROM THE US DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, WEB SOIL SURVEY WEBSITE. HOWARD COUNTY SOILS GRID 12, SUB-GRID 205
- A WETLAND AND STREAM STUDY HAS BEEN PREPARED BY ECO SCIENCE PROFESSIONALS INC. IN NOVEMBER 2014.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- ALL EXISTING WELLS, SEPTIC SYSTEMS AND SEWAGE DISPOSAL AREAS WITHIN 100 FEET OF THE PROPERTY BOUNDARIES AND ALL EXISTING AND PROPOSED WELLS THAT ARE LOCATED WITHIN 200 FEET DOWN-GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS AND SEWAGE DISPOSAL AREAS HAVE BEEN FIELD LOCATED.
- EXISTING UTILITIES ARE LOCATED BY THE USE OF ANY OR ALL OF THE FOLLOWING: ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER PLANS AND OTHER AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- GEOTECHNICAL INFORMATION HAS BEEN TAKEN FROM THE US DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, WEB SOIL SURVEY WEBSITE AND FIELD INVESTIGATIONS. IF FUTURE INVESTIGATIONS SHOW UNSATISFACTORY SOIL CONDITIONS FOR ANY OF THE STORMWATER MANAGEMENT TREATMENTS SHOWN, EITHER UNDERDRAINS WILL BE PROVIDED OR A DIFFERENT PRACTICE WILL BE SUBSTITUTED.
- STORMWATER MANAGEMENT OBLIGATIONS FOR THIS SITE WILL BE MET ONE BIORETENTION FACILITY (M-6), ONE DRYWELL (M-5), AND TWO NON-ROOF TOP DISCONNECTS.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS NUMBERS 28HC AND 34BA WERE USED FOR THIS PROJECT.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS, UNLESS ALTERNATIVE COMPLIANCE HAVE BEEN APPROVED OR ACTIVITIES HAVE BEEN DETERMINED ESSENTIAL BY THE DEPARTMENT OF PLANNING AND ZONING.
- FOREST CONSERVATION OBLIGATIONS HAVE BEEN FULFILLED UNDER F-18-019
- ALL SWALES TO HAVE EROSION CONTROL MATTINGS.
- ANY VEGETATION WITHIN AND NEAR TO WELL ZONES OR SEWAGE DISPOSAL AREAS POTENTIALLY COULD BE DAMAGED OR DESTROYED DURING INSTALLATION OF WELLS OR SEPTIC SYSTEMS. ALL SPECIMEN TREES WITHIN OR NEAR SDA OR WELL ZONES HAVE BEEN DESIGNATED FOR REMOVAL AND APPROVED FOR REMOVAL UNDER SP-15-008 AND WP-17-060.
- BIORETENTION FACILITY 1 IS TO BE WRAPPED IN AN IMPERMEABLE LINER WHERE WITHIN 100' FROM EXISTING OR FUTURE WELLS.
- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO ISSUANCE OF AN USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING REQUIREMENTS:
 - WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE)
 - SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MINIMUM)
 - GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS
 - STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (25,000 LBS. LOADING)
 - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 - MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
 - DRIVEWAY ENTRANCES TO BE PER HOWARD COUNTY STANDARD DETAIL R-6.05 FOR DRIVEWAY LOTS, 1, 2, AND THE USE IN COMMON DRIVEWAY FOR LOTS 3, 4, 5, 6, 7 AND 8, AND BUILDABLE PRESERVATION PARCEL A.

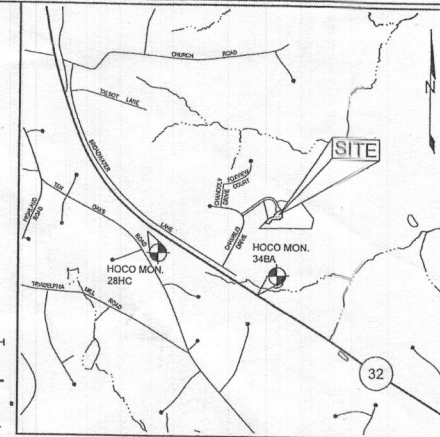
SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	K ¹ FACTOR
GaC	GAILA LOAM, 8 TO 15 PERCENT SLOPES	B	0.24
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	0.20
GmC	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	C	0.37
MaC	MANOR LOAM, 8 TO 15 PERCENT SLOPES	B	0.24
MdD	MANOR LOAM, 15 TO 32 PERCENT SLOPES	B	0.24
WmB	WILTSHIRE SILT LOAM, 3 TO 8 PERCENT SLOPES	C	0.24

NOTES:
 1) SOIL INFORMATION HAS BEEN TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, WEB SOIL SURVEY, SOILS GRID 12, SUB-GRID 205
 2) HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR 'K' GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- EXISTING TRENCHLINE
- SOIL BOUNDARY
- EXISTING SPECIMEN TREE
- APPROVED FOR REMOVAL IF NECESSARY
- EXISTING WELL
- FUTURE WELL LOCATION
- WALK OUT BASEMENT
- STABILIZED CONSTRUCTION ENTRANCE
- SUPER SILT FENCE
- EARTH DIKE
- LIMIT OF DISTURBANCE
- EROSION CONTROL MATTING
- EXISTING DRAINAGE DIVIDE

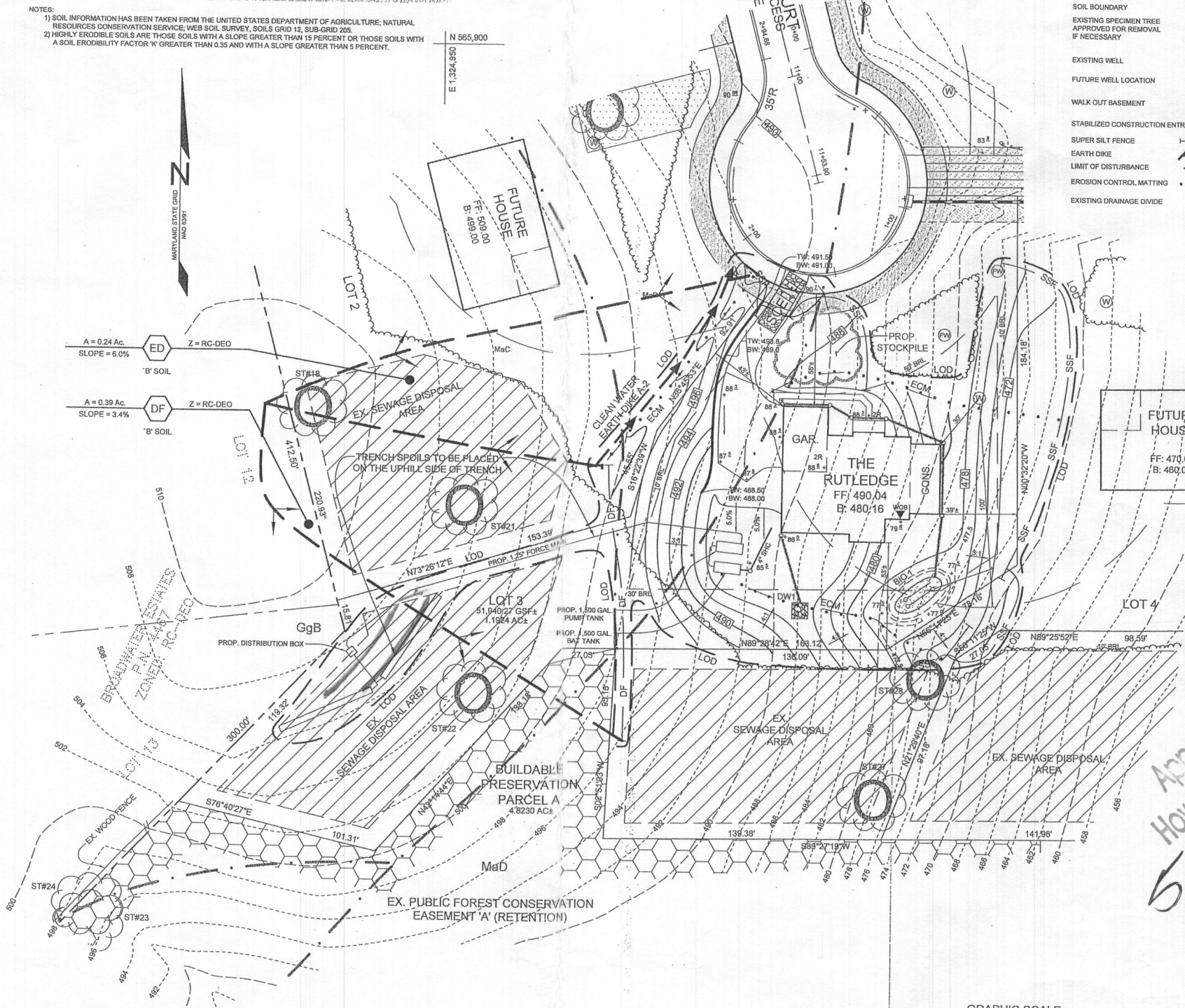


BENCHMARKS

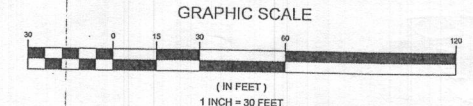
NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
28HC	985,351.762	1,332,102.463	552.207	S SIDE OF ROUTE 32, 0.2 MILES W OF EXIT 28 SIGN, 41-327 E OF GUANO RAIL
34BA	983,852.491	1,324,872.167	450.049	2.5' N OF EDGE OF PAVEMENT OF ROUTE 32, 13.3' SE OF EXIT 20 SIGN

SHEET INDEX

SHEET NO.	DESCRIPTION
1	SEDIMENT AND EROSION CONTROL PLAN
2	SEDIMENT AND EROSION CONTROL NOTES AND DETAILS
3	STORMWATER MANAGEMENT PLAN, NOTES, AND DETAILS



PLAN VIEW
SCALE: 1"=30'



*Approved Septic System Plan
 Howard County Health Department
 5-Bedroom w/ Bath in Partly Finished Basement
 SFD approved
 5/19/2020
 Date
 Signature*

OWNER/DEVELOPER

DOSA CLARKSVILLE LLC
 9900 WHALE BOAT DRIVE UNIT #208
 CLARKSVILLE MD, 21029
 301.370.6656

SEDIMENT AND EROSION CONTROL PLAN
THE WOODLANDS
 5628 DOSA COURT, LOT 3

TAX MAP 28 GRID 23
 5TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 PARCEL 15



SILL ENGINEERING GROUP, LLC
 16005 Frederick Road, 2nd Floor
 Woodbine, Maryland 21797
 Phone: 410.335.5076
 Fax: 410.696.2022
 Email: info@sillengineering.com
 Civil Engineering for Land Development

DESIGN BY: PS
 DRAWN BY: TB
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: MARCH 13, 2020
 PROJECT #: 14-029
 SHEET #: 1 of 3

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 23025, EXPIRATION DATE: JUNE 20, 2021

GP-20-083

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

John C. Robertson
 SIGNATURE OF ENGINEER
 PAUL M. SELL, P.E.

3/18/20
 DATE

ENGINEERS CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John C. Robertson
 SIGNATURE OF ENGINEER
 PAUL M. SELL, P.E.

3/18/20
 DATE

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Mark M. Mami
 SIGNATURE OF DEVELOPER

3/18/20
 DATE

The Rutledge

Williamsburg Group, LLC
5485 Harpers Farm Rd. #200
Columbia, MD 21044
(410) 997-8800

Energy Method- UA Alternative
Rutledge, front porch, 2 story, full basement,
14r, 5BR, 6PB, 1HB, 1FP, 3 car garage,
(Basement has- rec rm, media room + full bath)
Gross area - 10,468 SF
Occupiable 10,375 SF
5628 Dosa Court, Clarksville, MD 21029

INDEX OF DRAWINGS	
COVER SHEET	
D1	WALL SECTIONS
D2	AREAWAY DETAILS
D3	GENERAL REQUIREMENTS
D4	SHEAR WALL DETAILS & LOCATIONS
1A	ELEV. 1 STANDARD
1B	ELEV. 1 W/ CONSERVATORY
1C	ELEV. 2
1D	ELEV. 3
1E	ELEV. 4
1F	ELEV. 5
1G	ELEV. 6
2A	BASEMENT/FOUNDATION PLAN
2B	FINISHED BASEMENT PLAN
3A	FIRST FLOOR PLAN
4A	SECOND FLOOR PLAN
5A	PARTIAL PLANS ELEV. 2
5B	PARTIAL PLANS ELEV. 3
5C	PARTIAL PLANS ELEV. 4
5D	PARTIAL PLANS ELEV. 5
5E	PARTIAL PLANS ELEV. 6
6	SECTION A
7	SECTION B
8A	TWO STORY ADDITION
8B	MORNING RM.
8C	CONSERVATORY
8D	OPT. SECOND FL. FAMILY RM.
8E	OPT. ELEVATOR
8F	OPT. WALL OF WINDOWS
8G	THREE CAR SIDE LOAD
8H	GRADE BEAM DETAILS
8I	SEPERATE GARAGE ELEV
8J	SEPERATE GARAGE PLAN

PROJECT DATA		
CONSTRUCTION:		
GROUND FLOOR	CONCRETE	
FIRST FLOOR	WOOD	
SECOND FLOOR	WOOD	
ROOF	WOOD	
WALLS	WOOD	
BUILDING AREA: SQ. FT.		INCLUDED:
RUTLEDGE ELEVATION 1,4,5,6		
FIRST FLOOR CONDITIONED	2780	
SECOND FLOOR CONDITIONED	2525	
UNFINISHED BASEMENT	2780	
OPT. FIN. BASEMENT	1685	
GARAGE	715	
RUTLEDGE ELEVATION 2		
FIRST FLOOR CONDITIONED	2864	
SECOND FLOOR CONDITIONED	2609	
UNFINISHED BASEMENT	2864	
OPT. FIN. BASEMENT	1685	
GARAGE	715	
RUTLEDGE ELEVATION 3		
FIRST FLOOR CONDITIONED	2843	
SECOND FLOOR CONDITIONED	2580	
UNFINISHED BASEMENT	2843	
OPT. FIN. BASEMENT	1685	
GARAGE	715	
OPTIONS		
PORCHES:		
ELEV. 1A,4,6	94	
ELEV. 1B	360	
ELEV. 2	86	
ELEV. 3	170	
ELEV. 5	93	
SECOND FLOOR FAMILY RM.		
	420	
TWO STORY CONSERVATORY:		
BASEMENT	525	
FIRST FL.	525	
SECOND FL.	525	
MORNING RM.:		
BASEMENT	288	
FIRST FL.	288	
CONSERVATORY:		
BASEMENT	340	
FIRST FL.	340	
DETACHED GARAGE		
BREEZEWAY	576	
	48	
TOTAL CONDITIONED SPACE		
TOTAL GROSS SPACE		

PROJECT DESIGN CRITERIA		
THE FOLLOWING STANDARDS ARE BASED ON THE GENERAL REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 EDITION FOR ONE AND TWO FAMILY DWELLINGS ALL STATE AND LOCAL AMENDMENTS. CONSTRUCTION CLASSIFICATION TYPE: 5B (UNPROTECTED) USE GROUP: R3		
2018 IECC CODE COMPLIANCE		BUILDING DATA
CODE SECTION	STANDARD (MINIMUM)	CLIMATE & GEOGRAPHIC DESIGN CRITERIA
R301.1 CLIMATE ZONE	4A	FLOOR LIVE LOAD 40 PSF
R401.2 COMPLIANCE METHOD	MANDATORY AND PRESCRIPTIVE PROVISIONS	ROOF LIVE LOAD 40 PSF
R402.1.1 VAPOR RETARDER:	WALL ASSEMBLIES IN THE THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 OF THE IRC 2015	WIND SPEED ULTIMATE 115 MPH EXPOSE C
R402.1.2 ATTIC INSULATION-	R-49. R-38 WILL SATISFY THE REQUIREMENT IF FULL OVER THE TOP PLATE @ EAVES (REQUIRES RAISED HEEL TRUSS).	ATTICS W/O STORAGE 10 PSF
R402.1.2 WOOD FRAME WALL	R-20 OR R13 + R5 CONTINUOUS INSULATION.	ATTICS W/ STORAGE 20 PSF
R402.1.2 BASEMENT WALL INSULATION:	R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HIGHT R-13 IN CAVITY IF FINISHED.	HABITABLE ATTICS 30 PSF
R402.1.2 CRAWL SPACE WALL INSULATION:	R-10 FOIL FACED CONTINUOUS BATTS FULL HIGHT. EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0".	STAIRS 40 PSF
R402.1.2 FLOOR INSULATION OVER UNCONDITIONED SPACE:	R-30 BATT INSULATION	DECKS & BALCONIES (EXT) 40 PSF
R402.1.2 WINDOW U-VALUE/ SHGC	0.32 (U-VALUE) & 0.40 (SHGC)	GUARDHANDRAILS 200# (CONT.)
R402.1.1.0 SLAB ON GRADE FLOORS LESS THAN 12' BELOW GRADE:	R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR VERTICALLY.	SEISMIC CATEGORY B LIGHT FRAME STRUCTURAL W/ SHEAR WALLS
R402.2.4 ATTIC ACCESS:	ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49.	CONCRETE WEATHERING SEVERE
R402.4.1.2 BUILDING THERMAL ENVELOPE (AIR LEAKAGE)	EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2018 IECC WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OR SUITABLE MATERIAL.	TERMITE MODERATE TO HEAVY
R402.4.1.2 BUILDING ENVELOPE TEST OPTION:	BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 W/ BLOWER DOOR AT A PRESSURE OF 2 INCHES W.G. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY.	DECAY PROBABILITY MODERATE
R402.4.2 FIREPLACES	NEW WOODBURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR.	ICE UNDERLAYMENT YES
R402.4.4 FUEL-BURNING APPLIANCES	ROOMS CONTAINING FUEL BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE EXCEPTIONS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R1006 OF THE IRC. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.	FROST DEPTH 32"
R402.4.5 RECESSED LIGHTING	ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPERATE HEATING AND COOLING SYSTEM.	NOTE: MINIMUM VALUES SHOWN- CONFIRM WITH LOCAL CODE OFFICIAL PRIOR TO CONSTRUCTION.
R403.1 THERMOSTAT	WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.	
R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT	SUPPLY & RETURN DUCTS IN ATTIC R-8 MIN.	
R403.3.1 MECHANICAL DUCT INSULATION	SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACE R-8 MIN. ALL OTHER DUCTS EXCEPT THOSE LOCATED INSIDE THE BUILDING THERMAL ENVELOPE R-6 MIN. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MIN.	
R403.3.2 DUCT SEALING	ALL DUCTS, AIR HANDLERS AND FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M1601.4.1 OF THE IRC.	
R403.6 MECHANICAL VENTILATION	A DUCT TIGHTNESS TEST (DUCT BLASTER LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONS. TEST OR A ROUGH IN TEST. DUCT TIGHTNESS TEST IS NOT REQD. IF AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE.	
403.6.1 WHOLE HOUSE MECH. VENT SYSTEM FAN EFFICIENCY	OUTDOOR AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER TO COMPLY WITH TABLE R403.6.1.	
R403.7 EQUIPMENT SIZING		
R404.1 LIGHTING EQUIPMENT WATER HEATER MECHANICAL TESTING	SHALL COMPLY WITH R403.7	
	A MIN. OF 90% OF ALL LAMPS MUST BE HIGH-EFFICIENCY LAMPS. MIN EFFICIENCY ESTABLISHED BY NAECA.	
	ALL MECH. TESTING TO BE PERFORMED BY APPROVED THIRD PARTY. THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL.	

GENERAL NOTES

GENERAL NOTES ARE ACKNOWLEDGED AND SHALL BE ADHERED TO DURING THE CONSTRUCTION

MISC. NOTES:

1. ALL WORK INCLUDING ALL STRUCTURAL, HVAC, ELECTRICAL AND OTHER SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.
2. CONTRACTOR TO VERIFY AND COORDINATE ALL THE CONDITIONS AND DIMENSIONS AT THE SITE BEFORE BEGINNING OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECTURE GROUP IMMEDIATELY.
3. ALL PRE-ENGINEERED MATERIALS, EQUIPMENT, FIXTURES, AND ETC. SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND REQUIREMENTS.
4. PRE-ENGINEERED WOOD ROOF TRUSSES AND FLOOR JOISTS SHALL BE DESIGNED FOR THE LOAD INDICATED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF MARYLAND. SHOP DRAWINGS SHALL BE SUBMITTED TO THE COUNTY PLAN REVIEWER FOR APPROVAL PRIOR TO FABRICATION.

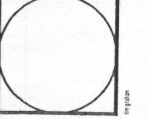
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DATE	REVISION

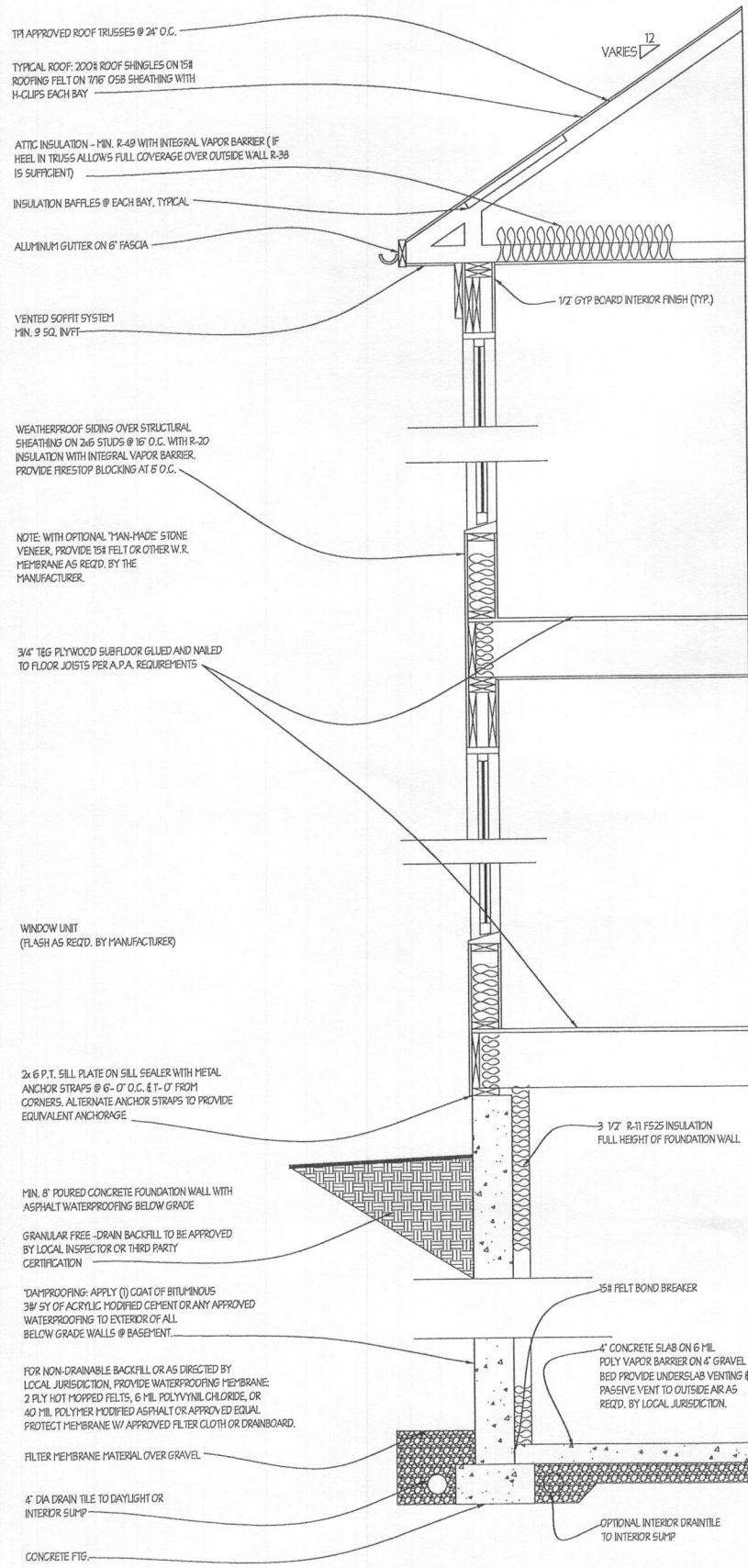
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Drawing: COVER PAGE
Project: WILLIAMSBURG GROUP
THE RUTLEDGE ESTATE HOME

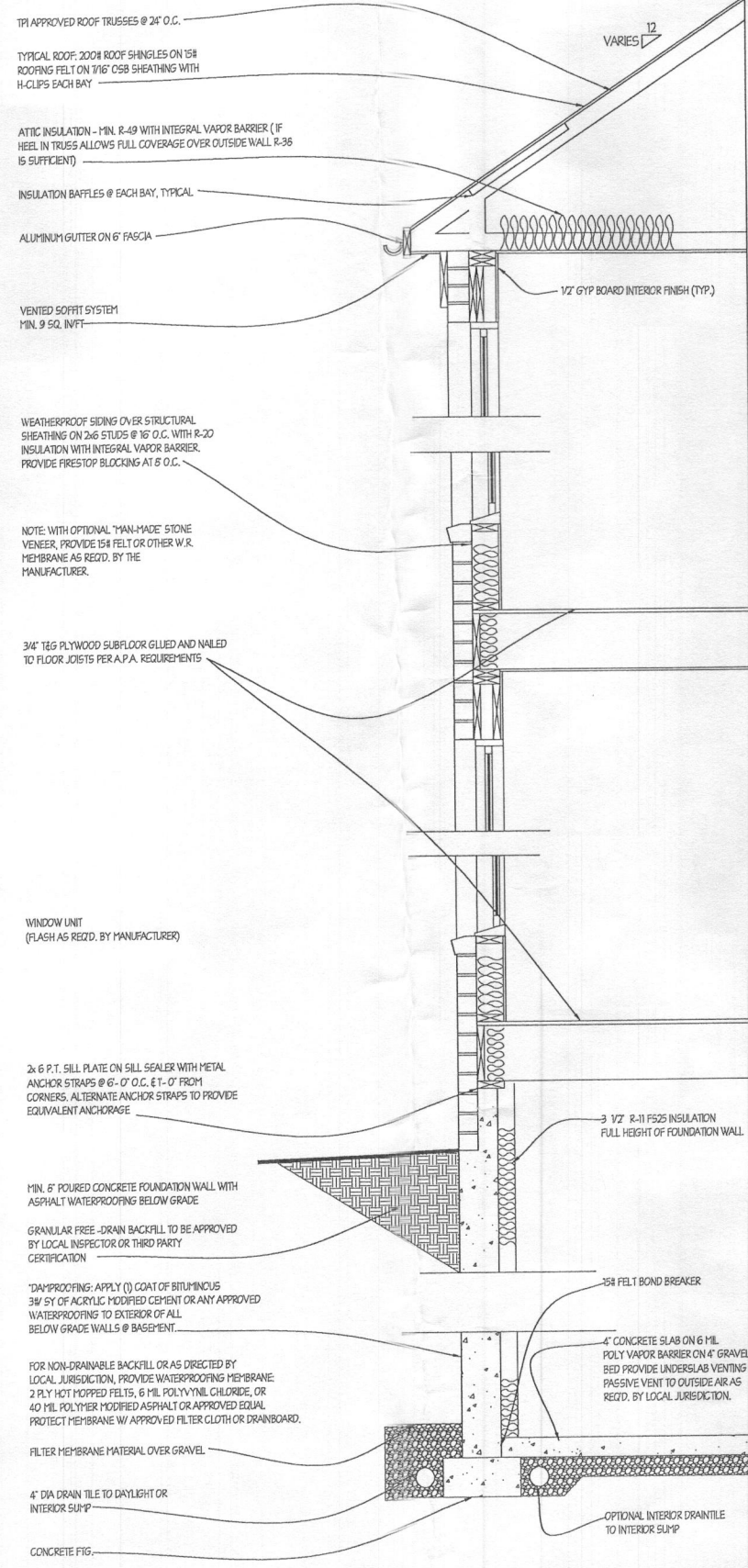
1067 RE
Project No.



wsl003 5628 Dosa Court, Clarksville, MD 21029
The Woodlands Lot 3



WALL SECTION W/ SIDING
 SCALE: 3/4"=1'-0"



WALL SECTION W/ BRICK VENEER
 SCALE: 3/4"=1'-0"

FOUNDATION DESIGN SCHEDULES

PLAIN CONCRETE WALLS BASED ON GROUP 1 SOILS (GW, GP, SW, SP)			PLAIN CONCRETE WALLS BASED ON GROUP 2 OR 3 SOILS.		
WALL THICKNESS	WALL HEIGHT	MAX. UNBALANCED FILL	WALL THICKNESS	WALL HEIGHT	MAX. UNBALANCED FILL
8"	5' OR 5'	7'	8" W/ #6@24" O.C.	5'	7'
10"	5' OR 5'	5'	8" W/ #8@24" O.C.	5'	5'
BASED ON GROUP 2 (GM, GC, SM, SM-SC, & M) GROUP 3 (SC, ML, ML-CL, & CL)			8" W/ #8@24" O.C.		
WALL THICKNESS	WALL HEIGHT	MAX. UNBALANCED FILL	10" W/ #8@24" O.C.	5'	7'
6"	5' OR 5'	6'	10" W/ #8@24" O.C.	5'	5'
10"	5' OR 5'	7'	12" W/ #8@24" O.C.	5'	7'
12"	5' OR 5'	5'	12" W/ #8@24" O.C.	5'	5'

* MIN. 10" WALL THICKNESS W/ BRICK VENEER
 NOTE: PLACE REBAR MIN. 1 1/2" FROM INSIDE WALL FACE.

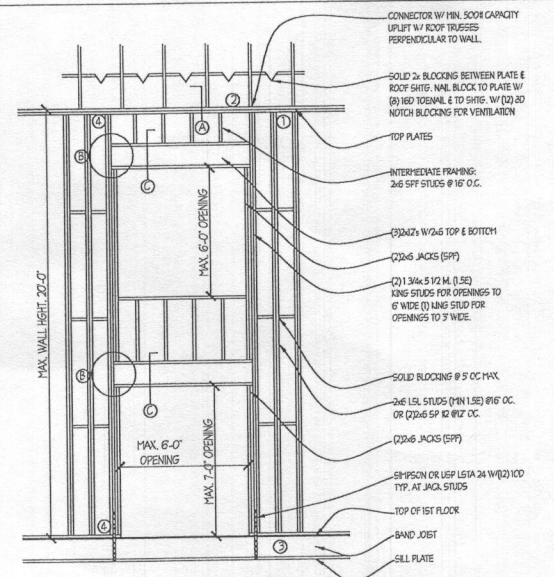
PERIMETER SPREAD FOOTINGS:
 MIN. WIDTHS BASED ON SOIL BEARING CAPACITY NOTED, MIN. THICKNESS IS 6".

SUPPORTING	1500# PSF SOIL	2000# PSF SOIL
1 FLOOR AND ROOF	16"	16"
2 FLOORS AND ROOF	20"	16"
3 FLOORS AND ROOF	24"	15"
1 FLOOR AND ROOF W/ BRICK	20"	20"
2 FLOORS AND ROOF W/ BRICK	26"	20"
3 FLOORS AND ROOF W/ BRICK	32"	24"

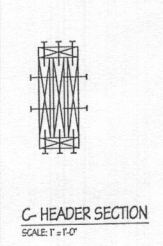
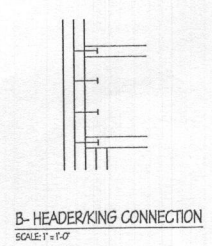
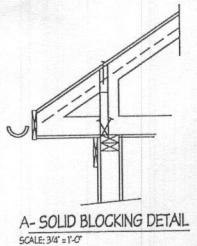
PIER FOOTINGS AND COLUMNS:
 MIN. PLAIN CONCRETE FOOTING SIZES BASED ON COLUMN DESIGN LOADS AND SOIL BEARING CAPACITY NOTED.

KEY	MAX. VERT. LOAD	MAX. COLUMN HEIGHT	COLUMN SIZE	1500# PSF SOIL FTG.	2000# PSF SOIL FTG.
A	13,400#	100'	3' 11" dia.	36"x36"x16'	37"x37"x16'
B	11,500#	100'	3' 5" dia.	42"x42"x20'	36"x36"x16'
C	7,500#	100'	4' 11" dia.	45"x45"x22'	40"x40"x15'
D	32,400#	100'	3' 5" dia.	56"x56"x26'	50"x50"x24'

NOTE: FIG. DEPTHS MAYBE REDUCED TO MIN. 12" THICKNESS W/ REIN. : 85 BARS @ 8" OC. EACH WAY, 3" FROM BOTTOM



WALL FRAMING ELEVATION



WALLING SCHEDULE:
 1 STUDS TO TOP & BOTTOM PLATES : (2) 160
 2 PLATE TO PLATE : 100 @ 8" O.C. W/ (2) 100# KING
 3 ROOF PLATE TO SAND : 80 @ 8" O.C. W/ (2) 160 # KING
 NOTE: DOUBLE SAND JOIST 2" EACH SIDE OF OPENING
 4 SHIPSON A 34 ANGLE, TYP. @ KINGS

TYP. 2 STORY WALL CONSTRUCTION DETAIL
 SCALE: 1/4"=1'-0"

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REVISION:	DATE:

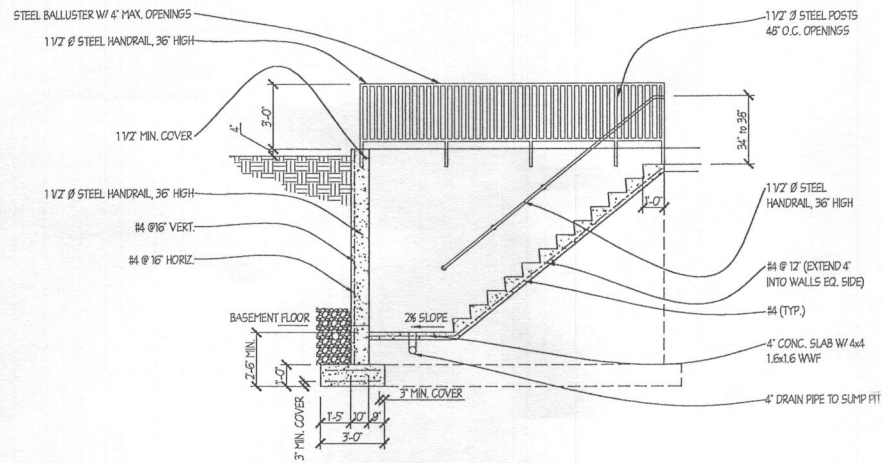
Date: 5/15
 Scale: NOTED
 Drawn: TIM

Drawing: WALL SECTIONS
 Project: WILLIAMSBURG GROUP
 THE RUTLEDGE ESTATE HOME

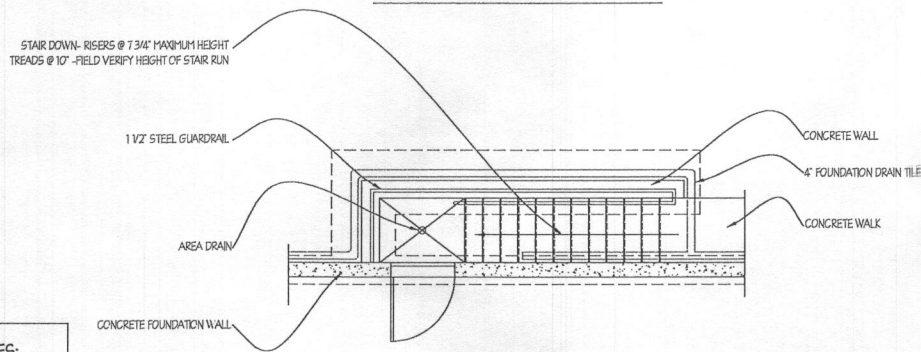
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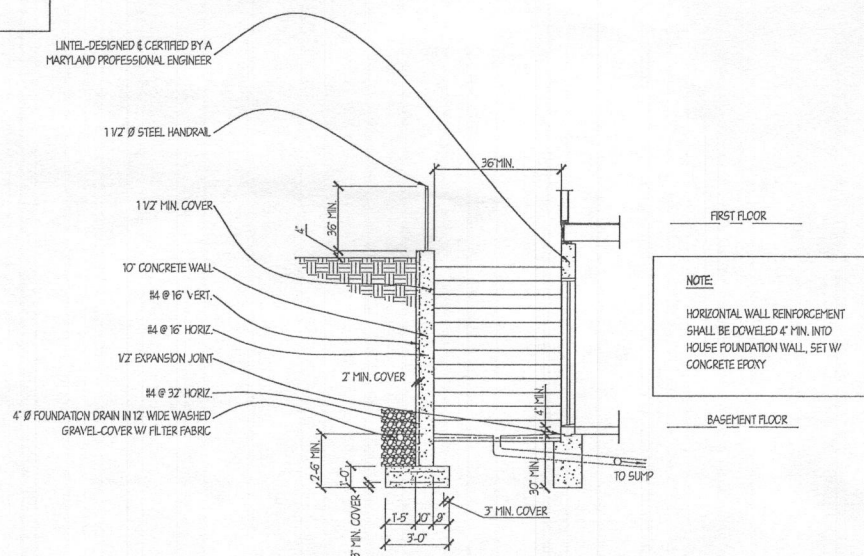
LONGITUDINAL SECTION-AREAWAY STAIR



AREA FLOOR PLAN

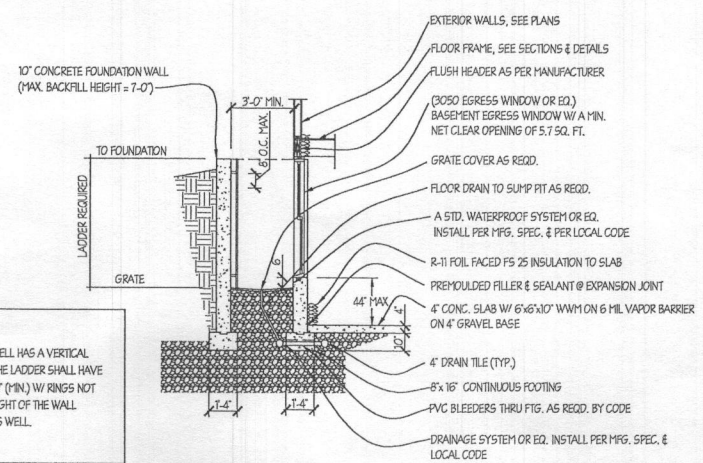
BASEMENT AREAWAY/DRAIN NOTES:

- 1- THE AREAWAY STAIR LANDING SHALL BE AT LEAST 4" BELOW THE INTERIOR FLOOR SLAB AND SLOPE TO DRAIN TO AN APPROVED GENERAL PURPOSE AREA DRAIN.
- 2- THE GENERAL PURPOSE DRAIN SHALL HAVE AN INTAKE OR STRAINER WITH A MINIMUM DIAMETER OF 6" AND A MINIMUM PIPE OUTFALL OF 4".
- 3- THE DRAIN SHALL HAVE A STRAINER LID OR BODY THAT PROVIDES ACCESSIBILITY FOR MAINTENANCE OF DRAIN BODY AND PIPE.
- 4- THE AREA DRAIN SHALL BE CONNECTED TO A RIGID PIPE WITH MINIMUM FALL OF 1/8" PER FOOT PIPED TO SUMP PUMP CROCK OR A DAY-LIGHTED OUTFALL AT GRADE.
- 5- THE RIGID PIPE SHALL NOT BE CONNECTED TO THE INTERIOR OR EXTERIOR FOUNDATION DRAIN OR DRAIN TILE.
- 6- THE PIPE SHALL BE SLEEVED WHERE IT PASSES THROUGH THE FOUNDATION WALL OR FROST PROTECTED FOOTING.
- 7- THE GENERAL PURPOSE DRAIN ASSEMBLY AND RIGID PIPE MAY BE CONSTRUCTED OF SCHEDULE 40 PVC, CAST IRON, OR EQUIVALENT APPROVED RIGID PIPE.



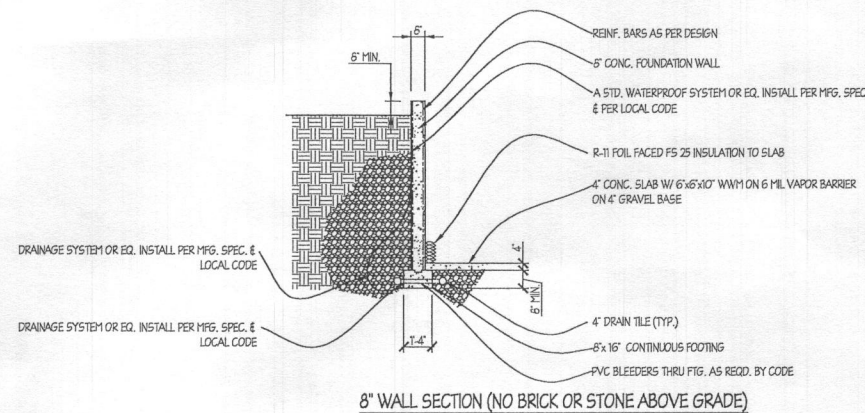
CROSS SECTION-AREAWAY

NOTE:
HORIZONTAL WALL REINFORCEMENT SHALL BE DOWELED 4" MIN. INTO HOUSE FOUNDATION WALL, SET W/ CONCRETE EPOXY

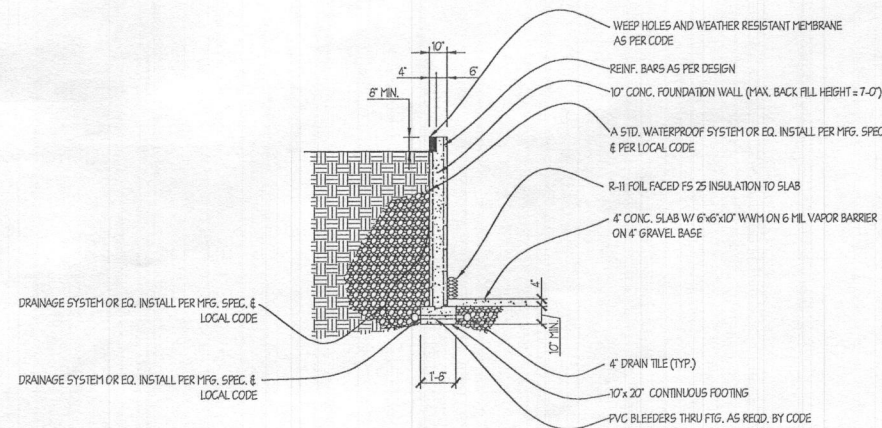


WINDOW WELL DETAIL

NOTE:
LADDER TO BE PROVIDED WHEN WINDOW WELL HAS A VERTICAL DEPTH GREATER THAN 44" BELOW GRADE. THE LADDER SHALL HAVE AN INSIDE DIMENSION OF NOT LESS THAN 12" (1" MIN) W/ RINGS NOT MORE THAN 18" O.C. VERT. FOR THE FULL HEIGHT OF THE WALL LADDER LOCATED ON SIDE WALL OF EGRESS WELL.



8" WALL SECTION (NO BRICK OR STONE ABOVE GRADE)



10" WALL SECTION (TO SUPPORT BRICK OR STONE VENEER ABOVE GRADE)

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640 Plymouth Road, Catonsville, MD 21229 410-788-0281

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10/15				

Date: 5/15
Scale: 1/4" = 1'-0"
Drawn: TIM

Drawing: WILLIAMSBURG GROUP
Project: THE RUTLEDGE ESTATE HOME

1067 RE
Project No.

D2

REVISED 10/15

GENERAL REQUIREMENTS

WRITE DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.

SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER BEFORE PROCEEDING WITH FABRICATION OF STRUCTS, ROOF AND/OR FLOOR TRUSSES.

- 1. DRAWINGS SHALL NOT BE SCALED FOR CONSTRUCTION. WHERE DRAWINGS ARE IN CONFLICT WITH OTHER DRAWINGS, SPECS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION. LARGER SCALE DRAWINGS AND WRITTEN SPECIFICATION HAVE PRECEDENCE.
2. IN THE EVENT THAT CERTAIN FEATURES OR DETAILS ARE NOT FULLY SHOWN, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
3. ALL PRODUCTS AND MATERIALS MUST BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. IF A CONFLICT EXISTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S RECOMMENDATION, CONTACT THE ARCHITECT FOR CLARIFICATION. THE CONTRACTOR SHALL VERIFY THAT ALL MATERIAL INSTALLED SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS.
4. PROVIDE 22 1/2" x 30" ATTIC ACCESS WITH SWITCHED LIGHT, UNLESS OTHERWISE NOTED.
5. PROVIDE HANDRAILS 34"-38" ABOVE NOSINGS ON ALL STAIRS W/ THREE OR MORE RISERS. RETURN RAILS TO WALL OR NEWEL. REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIR. HANDRAILS MAY BE INTERRUPTED BY A NEWEL AT A TURN. PROVIDE GUARDRAILS AT RAISED FLOORS, BALCONIES, ETC. 30" OR MORE ABOVE GRADE OR FLOOR LEVEL. GUARDS SHALL BE MIN. 36" HIGH (UNLESS NOTED OTHERWISE) AND HAVE CLOSURES SPACED TO PREVENT PASSAGE OF A 4" SPHERE. HANDRAILS SHALL HAVE MAX. 2 1/2" GRIP CROSS SECTION.
6. PROVIDE NOMINAL 2x FLOOR BLOCKING AT EVERY FLOOR INTERVAL, BULKHEADS, CHASES, AND MIN-HEIGHT FOR WALLS OVER 9' TALL. IF OPEN WEB FLOOR TRUSSES ARE UTILIZED, PROVIDE 1/2" GYP. BRD. DRAFTSTOPPING, NOT TO EXCEED 500 S.F. UNLESS DWELLINGS ARE FULLY SPRINKLERED.
7. PROVIDE A MINIMUM OF 6'-9" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 7 1/2" AND TREADS SHALL BE AT LEAST 10" WITH 1" NOSING, UNLESS LOCAL JURISDICTION REQUIRES OTHERWISE. MAX. RISER AT EXTERIOR DOORS SHALL BE 7".
8. THE CONTRACTOR SHALL SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS & MOISTURE. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECIFICATIONS.
9. SLOPE ALL CONCRETE FLOORS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12" TO DRAIN, OR AS NOTED ON PLANS.
10. ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS, AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.
11. CHIMNEYS SHALL EXTEND A MINIMUM OF 2' ABOVE ANY ROOF STRUCTURE WITHIN 10 FEET, BUT NO LESS THAN 3' AT POINT OF ROOF PENETRATION.
12. FLOOR JOISTS/TRUSSES AND ROOF TRUSSES SHALL ALIGN WITH BEARING STUDS +/- 1", OR PROVIDE TRIPLE PLATES.
13. PRIVATE GARAGES SHALL BE SEPARATED FROM ADJACENT DWELLING AND ATTIC WITH MINIMUM 5/8" GYP. BRD. ON GARAGE SIDE, AND 20 MINUTE SELF-CLOSING DOOR, WHEN BENEATH LIVING SPACE INSTALL 5/8" RATED G.B. ON CEILING & ALL SUPPORTING STRUCTURE.

SITE WORK

- 2.1. PROVIDE HOUSE NUMBERS CLEARLY VISIBLE FROM THE STREET.
2.2. EXCAVATION SHALL BE SUFFICIENT TO PROVIDE FULL DESIGN DIMENSIONS OR TO ALLOW FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON UNSUITABLE MATERIAL (PROVIDING LESS THAN 1500 PSF CAPACITY).
2.3. SOIL BEARING CAPACITY SHALL BE VERIFIED BY THE CONTRACTOR.
2.4. BACKFILL SHALL ONLY BE CLEAN EARTH CONTAINING NO ORGANIC MATTER, GRADED WITH POSITIVE SLOPE, MIN. 4" IN FIRST 10'. FILL BENEATH STRUCTURE SHALL BE COMPACTED TO 95% DENSITY AS PER ASTM D1557 METHOD D.
2.5. PROVIDE 4" MINIMUM CONTINUOUS DRAIN TILE AROUND PERIMETER OF BASEMENT FOUNDATION. OPTIONAL INTERIOR DRAIN TILE MAY BE INSTALLED AT THE BUILDER'S DISCRETION.
2.6. PROVIDE PASSIVE UNDER SLAB RADON VENTING W/ MIN. 3" DIA. VENT THRU ROOF WHEN REQUIRED BY LOCAL JURISDICTION AND IN ACCORDANCE WITH APPENDIX F OF THE IRC.
2.7. APPLY TERMITICIDE WITH 2 FEET OF ENTIRE STRUCTURE IN ACCORDANCE WITH LOCAL AND APA STANDARDS. TREATMENT MUST HAVE A 5 YEAR GUARANTEE.
2.8. EXTREME CARE AND PROPER MEASURES SHALL BE USED WHILE INSTALLING BACKFILL SO AS NOT TO DAMAGE, BURST, OR TIP WALL, SHEET PILING, ETC., SHALL BE EMPLOYED UNTIL THE FULL DEAD LOAD OF THE BUILDING IS ON THE WALLS.

CONCRETE

- 3.1. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE STANDARDS, ACI-301, ACI-308, & ACI-306.
3.2. CONCRETE FOOTINGS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI (UNLESS OTHERWISE NOTED).
3.3. ALL INTERIOR CONCRETE SLABS EXCEPT GARAGES SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.
3.4. FOUNDATION WALLS: SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI FOR MODERATE WEATHER & 3500 PSI FOR SEVERE WEATHER.
3.5. REINFORCING STEEL SHALL MEET ASTM A-615, WELDED WIRE MESH (WWM) ASTM A-185, REINFORCING IN FOOTINGS IS REQUIRED WHERE VARIATIONS IN SOIL CONDITIONS MAY EXIST OR AS NOTED ON COVER SHEET.
3.6. EXTERIOR CONCRETE AND GARAGE SLABS SHALL BE 2" TO 7/8" AIR ENTRAINED AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.
3.7. ALL INTERIOR CONCRETE SLABS 30 FEET OR MORE IN ANY DIMENSION SHALL HAVE W/WF, CONTROL JOINTS, OR FIBER REINFORCEMENT, PROVIDED "X" EXPANSION MATERIAL AT ALL COLD JOINTS.
3.8. PROVIDED GYP. BARRIERS UNDER ALL SLABS, 6 MIL POLYETHYLENE, LAP ALL EDGES 6", LAY OVER 4" POROUS FILL.
3.9. THE BOTTOM OF ANY FOOTING SHALL BE PLACED AT MINIMUM FROST DEPTH AS NOTED ON COVER SHEET.
3.10. POURED WALL VERTICAL REINFORCING WHEN REQUIRED SHALL BE PLACED MIN. 5" FROM SOIL FACE.
3.11. WATERPROOF FOUNDATION WALLS WITH A MEMBRANE EXTENDING FROM THE TOP OF THE FOOTING TO FINISH GRADE. LAY 4" DRAIN TILE IN VDOT NO. 57 GRAVEL. GRAVEL SHALL EXTEND 1'-0" BEYOND FOOTING AND 6" ABOVE DRAIN TO DAYLIGHT OR A SUMP PUMP PER ENGINEER'S DRAWING.

VERTICAL MASONRY

- 4.1. ALL MASONRY CONSTRUCTION & MATERIAL SHALL CONFORM TO ASCE 6-13 & ACI-530.1-13.
4.2. THE MAXIMUM VERTICAL DISTANCE OF UNBALANCED FILL MEASURED FROM THE TOP OF THE FLOOR SLAB TO THE OUTSIDE FINISHED GRADE SHALL NOT EXCEED THE FOLLOWING:
HEIGHTS ARE FOR UNREINFORCED WALLS WHERE BACKFILL SOIL PROVIDES MEDIUM TO POOR DRAINAGE.
TYPE OF WALL HEIGHT OF FILL
8" C.M.U. (HOLLOW) 4'-0"
12" C.M.U. (HOLLOW) 5'-0"
12" C.M.U. (SOLID) 6'-0"
HEIGHTS MAY BE INCREASED WITH THE APPROVAL OF THE LOCAL JURISDICTION, OR REINFORCING.
4.3. CONCRETE MASONRY UNITS SHALL BE MANUFACTURED TO MEET ASTM C-90, GRADE A SOLID BLOCK OR ASTM C-145, GRADE B STANDARDS AND BE 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSION STRENGTH OF BLOCK TO BE 2000 PSI.
4.4. PARING OVER CMU WALLS TO BE NOT LESS THAN 3/8" PORTLAND CEMENT PARING FROM FOOTING TO FINISHED GRADE.
4.5. MASONRY LINTELS: PROVIDE LIGHT WEIGHT PRE-CAST LINTELS FOR ALL OPENINGS AND RECESSES IN CMU WALLS. PROVIDE (1) 4x8 LINTEL FOR EACH 4' OF WALL THICKNESS. REINFORCE EACH LINTEL WITH TWO #4 BARS AT TOP AND BOTTOM AND WITH #2 TIES SPACED 9" O.C., UNLESS OTHERWISE NOTED. PRECAST LINTEL TO HAVE MINIMUM 8" BEARING AT EACH END, SUCH LINTELS SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.
4.6. USE TYPE "M" MORTAR FOR MASONRY IN CONTACT WITH EARTH.
4.7. USE TYPE "S" MORTAR FOR EXTERIOR ABOVE GRADE LOAD BEARING AND NON-LOAD BEARING WALLS.
4.8. MASONRY VENEER SHALL BE INSTALLED OVER A MOISTURE BARRIER OR APPROVED WATER REPELLENT SHEATHING, THROUGH-WALL FLASHING AND WEEPS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER MAY POTENTIALLY ENTER THE BUILDING ENVELOPE.
4.9. MASONRY VENEER SHALL BEAR ON MIN. 4" LEDGE W/ TIES TO BACK-UP AT 24" O.C. HORIZ. & 16" O.C. VERT., 12" FROM EDGE OF OPENINGS. VENEER SHOULD NOT EXCEED 30' ABOVE TOP OF FOUNDATION, EXCEPT GABLE ENDS MAY BE 38" MAX.
4.10. IF BRICK LEDGES ARE RECESSED INTO FOUNDATIONS WALLS, THE RESULTING STEM WALL SHALL BE MIN. 8" THICK FOR CMU WALLS AND 6" FOR POURED IN PLACE WALLS.
4.11. PROVIDE WEEP HOLES ABOVE ALL FLASHING AT A MAX. OF 33" O.C., MAINTAIN MIN. 1" AIR SPACE BETWEEN VENEER & SHEATHING.
4.12. MANUFACTURED THIN STONE VENEER SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS.

METALS

- 5.1. ALL STRUCTURAL STL SHALL CONFORM TO ASTM SPECIFICATION A-36.
5.2. STRAP ANCHORS OR ANCHOR BOLTS SHALL BE BUILDING INSPECTOR APPROVED. MINIMUM (2) 1/2" DIA. BOLTS PER SECTION OR PLATING, 12" FROM EACH END WITH INTERMEDIATE BOLTS AT 6'-0" O.C. MAXIMUM STRA SPACING NOT TO EXCEED MANUFACTURER'S SPECIFICATIONS.
5.3. METAL JOIST HANGERS SHALL BE USED AT ALL FLUSH CONNECTIONS TO SUPPORT THE FULL CAPACITY OF THE JOIST OR BEAM. CONNECTORS USED FOR P.T. LUMBER SHALL BE CORROSION RESISTANT AS APPROVED BY THE MANUFACTURER. ALUM. FLASHING SHALL BE USED IN DIRECT CONTACT WITH P.T. LUMBER.
5.4. NAELS-NUMBER AND TYPE FOR EACH APPLICATION AS CALLED FOR IN THE CURRENT MODEL CODE OR MANUFACTURER'S RECOMMENDED STANDARD.
5.5. VENEER TIES SHALL BE 1" WIDE, 22GA. GALVANIZED STEEL INSTALLED 24" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY.
5.6. PROVIDE STEEL LINTELS FOR ALL OPENINGS AND RECESSES IN BRICK OR BRICK FACED MASONRY WALL SO IF NOT SPECIFICALLY DETAILED PROVIDE (1) STEEL ANGLE FOR EACH 4' OF WALL THICKNESS. STEEL ANGLES TO HAVE MINIMUM 6" BEARING AT EACH END. HORIZONTAL LEG SHALL BE 3" UNLESS OTHERWISE SHOWN.
5.7. LINTEL SCHEDULE (UNLESS OTHERWISE NOTED ON PLANS):
L-1 3 1/2" x 3 1/2" x 5/16" STEEL ANGLE UP TO 3' OPG.
L-2 4" x 3 1/2" x 5/16" STEEL ANGLE 3' TO 5' OPG.
L-3 5" x 3 1/2" x 3/8" STEEL ANGLE 5' TO 6'-6" OPG.
L-4 6" x 3 1/2" x 1/2" STEEL ANGLE UP TO 9' OPG.
5.8. LINTELS SHOWN SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.
5.9. ALL STEEL ANGLES IN MASONRY WALLS SHALL BE FLASHED AND PAINTED.
5.10. COAT ALL FERROUS METALS EXCEPT COMPLETELY PRE-FINISHED FACTORY ITEMS, WITH RUST INHIBITIVE PAINT.
5.11. ADJUSTABLE STEEL COLUMNS SHOWN ON THE DRAWINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH CURRENT MODEL CODE STANDARDS IN O.D. SIZES SPECIFIED.
5.12. WOOD PLATE ATTACHMENT TO STEEL BEAMS SHALL BE WITH 1/2" DIA. BOLTS AT 24" STAGGERED O.C.

WOOD

- 6.1. ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE "CONSTRUCTION MANUAL" OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND STORE IN DRY LOCATION.
6.2. PRESSURE TREATED LUMBER SHALL CONFORM WITH AWPA-U1 & M4. FOR THE SPECIES, PRODUCT, PRESERVATIVE, AND END USE.
6.3. JOISTS AND GIRDERS: SEE PLANS FOR SIZE, SPACING AND MINIMUM GRADE AND SPECIES. HEM FIR AND SPRUCE-PINE-FIR (SPF) SHALL BE NORTHERN SPECIES ONLY. MAX. MOISTURE CONTENT SHALL NOT EXCEED 19%.
6.4. PROVIDE DOUBLE SOLID JOISTS UNDER ALL PARALLEL PARTITIONS OVER 5'-0" IN LENGTH UNLESS MANUFACTURER'S SHOP DRAWINGS SHOW OTHERWISE.
6.5. WHEN ENGINEERING BEAMS ARE SPECIFIED ON THE DRAWINGS AS LVL OR PSL, THEY ARE INTERCHANGEABLE. (MIN. Fy = 2600 PSD NO OTHER SUBSTITUTIONS ARE TO BE MADE WITHOUT ARCHITECT'S APPROVAL. ALL SUCH BEAMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
6.6. BEARING WALL STUDS SHALL BE MINIMUM SPF STUD GRADE, KD19 OR BETTER AT 16" O.C. LAP ALL DOUBLE TOP PLATE JOINTS A MIN. OF 24".
6.7. EXTERIOR WALLS, UP TO 10' SUPPORTING (1) FLOOR & ROOF MAY BE 2x4 @ 16" O.C. SUPPORTING (2) FLOORS AND ROOF SHALL BE 2x6 @ 16" O.C.
6.8. INTERIOR NON-BEARING WALLS MAY BE #FF #2 2x4 STUDS, 24" O.C.
6.9. LATERAL WALL BRACING SHALL BE PROVIDED BY CONTINUOUS, APPROVED STRUCTURAL SHEATHING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECS. ALTERNATIVE WALL BRACING MUST COMPLY W/ IRC SECTION R602.10.
6.10. RAFTERS- SEE PLANS FOR SIZE, SPACING, MINIMUM GRADE AND SPECIES.
6.11. DESIGN, FABRICATION AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE TP-82. STRUCTURAL DESIGN OR MODIFICATION SHALL BE BY A REGISTERED ENGINEER.
6.12. BRACING OF WOOD TRUSSES TO BE IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS.
6.13. ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF APPLICABLE U.S. COMMERCIAL STANDARDS FOR THAT TYPE, GRADE AND SPECIES OF WOOD, AND SHALL BE IDENTIFIED BY AN APPROVED TESTING AGENCY.
6.14. FLOOR SHEATHING SHALL CONFORM WITH SECTION R503. THICKNESS OF SHEATHING BASED ON TABLE R503.1.1.
6.15. WOOD STRUCTURAL PANEL (WSP) SHEATHING SHALL CONFORM WITH SECTION R503.2. INSTALLATION PER TABLE R503.2.1.1.
6.16. EACH WSP SHEET SHALL BEAR THE "APA" GRADE TRADEMARK.
6.17. ALL END JOINTS SHALL BE STAGGERED AND SHALL BUTT ALONG THE CENTERLINES OF FRAMING MEMBERS.
6.18. THE FACE GRAIN OF PLYWOOD SHALL BE LAID AT RIGHT ANGLES OF THE JOISTS AND TRUSSES AND PARALLEL TO THE STUDS.
6.19. WALLS SHALL BE PLACED A MINIMUM 3/4" FROM THE EDGE OF SHEETS.
6.20. ALL FLOORS SHALL BE GLUED AND NAILLED WITH AN APA APPROVED ELASTOMERIC STRUCTURAL ADHESIVE AND 8d COMMON WALLS SPACED AT 6" O.C. AT PANEL EDGES AND 104 AT INTERMEDIATE SUPPORTS.
6.21. ALL FIRE RETARDENT SHEATHING SHALL BE PROVIDED WITH WRITTEN VERIFICATION FROM THE TREATMENT COMPANY CERTIFYING THAT THE TREATMENT USED WILL NOT CAUSE ACID HYDROLYSIS TO OCCUR IN MOIST CONDITIONS.
6.22. NOTCHES IN TOP OR BOTTOM OF SOLID JOIST SHALL NOT EXCEED 1/6 OF DEPTH AND SHALL NOT OCCUR IN CENTER THIRD OF SPAN.
6.23. HOLES BORED IN SOLID JOIST SHALL NOT BE WITHIN 2" OF TOP OR BOTTOM, AND SHALL NOT EXCEED 1/3 DEPTH.
6.24. UNLESS NOTED ELSEWHERE ON THESE DRAWINGS, STRUCTURAL WINDOW AND DOOR HEADERS SHALL BE MIN. SPF NO. 2 (Fb = 875 PSI) OF SIZE SPECIFIED ON DRAWINGS. OPENINGS 3' OR LESS SHALL HAVE MIN. (2) 2x10 HEADERS.
6.25. UNLESS NOTED ELSEWHERE ON THESE DRAWINGS, STRUCTURAL WINDOW AND DOOR JACK STUDS SHALL BE MIN. STUD GRADE, KD OR BETTER, PROVIDE SINGLE JACK STUDS AT OPENINGS LESS THAN 4'-0" AND DOUBLE JACK STUDS AT OPENINGS UP TO 7'-0".
6.26. ALL FASTENERS SHALL BE IN ACCORDANCE WITH THE NAILING SCHEDULES IN IRC LATEST EDITION.
6.27. MULTIPLE STUDS OR POSTS SHALL BE BLOCKED SOLID THROUGH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO THE FOUNDATION.

THERMAL & MOISTURE PROTECTION

- 7.1. WATERPROOF FOUNDATION WALLS WITH A MEMBRANE EXTENDING FROM THE TOP OF THE FOOTING TO FINISH GRADE. THE MEMBRANE TO CONSIST OF (2) COATS HOT MOPPED FELTS WITH JOINTS LAPPED AND SEALED OR ANOTHER CODE APPROVED SYSTEM.
7.2. SLAB VAPOR BARRIER: 6 MIL POLYETHYLENE SHEET SHALL BE NOTED ON DRAWINGS, OVERLAY ALL EDGES 6".
7.3. SILL SEALER: 1/2" x 5/8" COMPRESSIBLE FIBERGLASS BENEATH ALL EXTERIOR SILL PLATES, OR OTHER APPROVED SILL SEALER.
7.4. PROVIDE APPROVED CORROSION-RESISTIVE FLASHING AT THE INTERSECTIONS OF MASONRY AND WOOD FRAME CONSTRUCTION, OVER PROJECTING WOOD TRIM, WHERE DECKS, PORCHES, ETC. ARE ATTACHED TO WOOD FRAME CONSTRUCTION: AT WALL AND ROOF INTERSECTIONS, AT CHIMNEY AND ROOF INTERSECTIONS, IN ROOF VALLEYS, AT ALL ROOF PENETRATIONS, AND AT WALL OPENINGS IF RECOMMENDED BY WINDOW AND DOOR MANUFACTURER.
7.5. UNLESS OTHERWISE SPECIFIED ON DRAWINGS, PROVIDE AND INSTALL THERMAL INSULATION AS SHOWN ON THE COVER SHEET. ALL INSULATION SHALL INCLUDE AN INTEGRAL VAPOR BARRIER POSITIONED IN DIRECT CONTACT WITH THE WARM SIDE OF THE WALL/CEILING/FLOOR.
7.6. ROOFING: UNLESS NOTED OTHERWISE, ROOFING SHALL BE MIN. CLASS "C" FIBERGLASS BASED ASPHALT BASED SHINGLE OVER 15 LBS. FELT. ATTACH STRIP SHINGLE W/ MIN. OF 4 FASTENERS. EAVE FLASHING TO A POINT 24" INSIDE OF INTERIOR FACE OF WALL LINE MAY BE INSTALLED AT THE OWNER'S DISCRETION OR AS SPECIFIED ON THE COVER SHEET. USE DOUBLE UNDERLAYMENT FOR ROOF SLOPES LESS THAN 4:12 PITCH.
7.7. PROVIDE AND INSTALL CONTINUOUS STRUCTURAL WOOD PANEL SHEATHING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND MODEL CODE REQUIREMENTS.
7.8. PROVIDE SIDING MATERIAL AS SHOWN ON DRAWINGS AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS. INSTALL OVER 15# FELT OR EQUIVALENT WEATHER RESISTIVE MATERIALS, AIR INFILTRATION BARRIER OR MOISTURE RESISTANT SHEATHING MEETING ASTM D779 STANDARDS.
7.9. GUTTERS SHALL BE .032" PREFINISHED ALUMINUM GUTTERS WITH .024" PREFINISHED ALUMINUM LEADERS. LEAD TO SPLASH BLOCKS OR AS REQUIRED BY THE LOCAL JURISDICTION, COORDINATE WITH SITE PLAN.
7.10. PROVIDE SOFFIT VENTS, RIDGE VENTS, OR GABLE END VENTS AS SHOWN ON THE DRAWINGS. MAINTAIN MINIMUM 1/500 FREE VENTILATION FOR HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARDBOARD BAFFLES IN EACH TRUSS/RAFTER BAY TO MAINTAIN FREE AIR FLOW. ALL REVERSE GABLES SHALL BE OPEN TO MAIN ROOF ATTIC TO ALLOW FREE AIR FLOW.

DOORS AND WINDOWS

- 8.1. THE CONTRACTOR SHALL VERIFY & COORDINATE ROUGH OPENINGS FOR ALL DOORS & WINDOWS PRIOR TO START OF CONSTRUCTION. INSTALLATION SHALL BE IN ACCORD W/ MANUFACTURER'S INSTRUCTIONS.
8.2. ALL DWELLINGS SHALL BE PROVIDED WITH MEANS OF EGRESS IN ACCORDANCE WITH SECTION R311.
8.3. EXTERIOR WINDOW AND DOORS SHALL BE IN ACCORDANCE WITH SECTION R609.
8.4. WINDOW FALL PREVENTION DEVICES SHALL BE INSTALLED WHEN THE WINDOW SILL IS BELOW 24" FROM THE INTERIOR FLOOR IN ACCORDANCE WITH SECTION R312.2.
8.5. ALL WINDOWS SHALL HAVE INSULATED GLASS.
8.6. BASEMENTS, HABITABLE ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. SUCH OPENINGS SHALL HAVE A SILL HEIGHT, NOT TO EXCEED 44" ABOVE THE FLOOR.
8.7. ALL EGRESS OPENINGS SHALL HAVE A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET WITH A MINIMUM NET CLEAR HEIGHT OF 24" AND A MINIMUM CLEAR WIDTH OF 20".
8.8. BELOW GRADE EMERGENCY EGRESS WINDOWS SHALL HAVE A WINDOW WELL WITH A MINIMUM HORIZONTAL AREA OF 9 SQUARE FEET AND A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36" A LADDER OR STEPS SHALL BE PROVIDED FOR WELLS DEEPER THAN 44".
8.9. SAFETY (TEMPERED) GLAZING SHALL BE PROVIDED IN:
- GLASS DOORS, & SIDELIGHTS
- SHOWER AND TUB ENCLOSURES AND WINDOWS WITHIN 6" OF TUB
- GLAZING ON STAIR LANDINGS
- FIXED PANELS GREATER THAN 9 S.F., WITHIN 18" A.F.F.
- GLAZING WITHIN 12" OF A STAIR RAILING
- GLAZING WITHIN 24" RADIUS OF CLOSED DOORS
8.10. IF APPLICABLE, PROVIDE SELF-CLOSING DOOR BETWEEN DWELLING AND GARAGE. DOOR SHALL BE 1 1/4" THICK W/ MIN. 20 MINUTE RATING.

FINISHES

- 9.1. GYPSUM WALLBOARD SHALL COMPLY WITH ASTM C39 AND C442 WITH AMENDMENTS.
9.2. ALL GYPSUM WALLBOARD SHALL BE INSTALLED IN ACCORDANCE WITH PROVISIONS OF IRC AS WELL AS STATE AND LOCAL CODES AND ORDINANCES.
9.3. GYPSUM WALLBOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR INSTALLATION IS PROVIDED. STORAGE PROVISIONS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. A MINIMUM TEMPERATURE IN AREAS TO RECEIVE DRYWALL SHALL BE 50 DEGREES FAHRENHEIT. ALL JOINTS SHALL BE BUTTED LOOSELY TOGETHER. END JOINTS SHALL BE SUPPORTED ON FRAMING MEMBERS.
9.4. THE SIZING AND SPACING OF FASTENERS SHALL COMPLY WITH THE IRC AS WELL AS STATE AND LOCAL CODES.
9.5. PROVIDE WATER RESISTANT BACKERS IN COMPLIANCE WITH ASTM C 1288, C 1288.C 1325.C 1178, OR C 1278 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AS BACKER BOARD FOR WALL TILE AT TUB AND SHOWER AREA AND WALL PANELS IN SHOWER AREAS.
9.6. FIRE-RESISTIVE CONSTRUCTION: GARAGE CEILING, WALLS AND BULKHEADS WHEN ADJACENT TO A DWELLING UNIT SHALL BE OF 1/2" TYPE X OR OTHER RATED CONSTRUCTION ACCORDING TO THE UL DESIGNED UNDER IRC STANDARDS.
9.7. FLEM SPREAD AND SMOKE INDEX FOR WALLS AND CEILING FINISHES SHALL BE IN ACCORDANCE WITH SECTION R302.9.
9.8. CERAMIC TILE SURFACES SHALL BE INSTALLED IN ACCORDANCE WITH ANSI A108.1, A108-4, A108.5, A108.6, A108.11, A118.1A, 118.2A, 136.1, AND A137.1.

SPECIALTIES

- 10.1. IF APPLICABLE, PRE BUILT FIREPLACES AND CHIMNEYS SHALL BE U.L. APPROVED AND INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND CHAPTERS 10 & 24 OF THE IRC.
10.2. TOILET AND BATH ACCESSORIES SHALL BE AS SPECIFIED BY THE OWNER.
10.3. MIRRORS: MIRROR QUALITY & SIZES PER PLANS, OR AS SPECIFIED BY THE OWNER.
10.4. PROVIDE ETHER SHOWER RODS 80" A.F.F. OR TEMPERED OR SAFETY LAMINATE GLASS DOORS, AS SPECIFIED BY THE OWNER.

MECHANICAL

- 11.1. HVAC AND PLUMBING CONTRACTORS SHALL COORDINATE ALL OPENINGS IN JOISTS, TRUSSES, ETC. WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK.
11.2. ALL WORK SHALL BE IN COMPLIANCE WITH ALL LOCAL MECHANICAL AND PLUMBING CODES.
11.3. PROVIDE ONE DAMPER REGISTER PER 400 SQUARE FEET OF UNFINISHED BASEMENT SPACE IF APPLICABLE.
11.4. PROVIDE EXHAUST FANS AT EACH BATH, AND VENT TO EXTERIOR OF DWELLING, MIN. 50 CFM.
11.5. ALL NEW SINGLE FAMILY HOMES MUST BE FULLY SPRINKLERED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH IRC SECTION P2904 OR NFPA 13D.
11.6. ALL DUCTWORK THAT PENETRATES A RATED WALL OR FLOOR ASSEMBLY SHALL BE PROVIDED WITH FIRE DAMPERS.
11.7. DUCTWORK IN UNCONDITIONED SPACES SHALL BE INSULATED TO A MIN. R-8.
11.8. DEVELOPED LENGTH OF DRYER VENTS SHALL NOT EXCEED 20 FEET OR IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
11.9. ALL VENTS AND FLUES SHALL BE INSTALLED WITH A MINIMUM OF 1" CLEARANCE TO ADJACENT WOOD FRAMING, GREATER IF SPECIFIED BY MANUFACTURER.
11.10. ANY PIPING PASSING UNDER FOOTINGS OR THROUGH A FOUNDATION WALL OR SLAB SHALL BE PROVIDED WITH A SLEEVE TWO PIPE SIZES LARGER THAN THE SUBJECT PIPE.
11.11. PROVIDE OVERFLOW PANS AND DRAINS FOR WASHER AND/OR DRYER WITH WATER HEATER WHEN LOCATED ON A WOOD FLOOR SYSTEM.
11.12. PROVIDE HOSE BIBS FREEZE-PROOF OR WITH SHUT-OFFS AT FRONT AND REAR OF DWELLINGS, OR AS SHOWN IN THE DRAWINGS.
11.13. PROVIDE 1 1/2" CONDENSATE LINE FROM WATER HEATER AND AIR HANDLER TO POSITIVE OUTFALL OR TO SUMP PUMP IF PROVIDED OR AS DIRECTED BY LOCAL JURISDICTION.
11.14. PIPING SHALL BE INSULATED PER IRC-A1103.5 WHERE WATER SERVICE ENTERS THE DWELLING, ADJACENT TO WATER METER.
11.15. PROVIDE A DUAL CHECK VALVE TYPE BACKFLOW PREVENTER CONFORMING TO ASSE 1024 OR CSA B64.6 WHERE WATER SERVICE ENTERS THE DWELLING, ADJACENT TO WATER METER.

ELECTRICAL

- 12.1. WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY, AND ALL APPLICABLE LOCAL REGULATIONS, FIXTURES AND APPLIANCES, AS SPECIFIED BY THE OWNER OR AS NOTED IN THE DRAWINGS.
12.2. ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHERPROOF.
12.3. BOTTOMS OF RECEPTACLES AND SWITCHES SHALL BE LOCATED 5" ABOVE COUNTERTOPS UNLESS OTHERWISE NOTED.
12.4. RECEPTACLES SHALL BE INSTALLED 12" ABOVE FINISHED FLOOR AND MAXIMUM 12'-0" OC HORIZONTALLY. ALL RECEPTACLES WITHIN 6'-0" HORIZONTALLY OF A SINK, LAVATORY OR TUB SHALL BE WIRED TO A GROUND FAULT INTERRUPTED CIRCUIT.
12.5. IF REQUIRED BY THE LOCAL JURISDICTION, PROVIDE FOR FUTURE INSTALLATION OF AN ACTIVE RADON EXTRACTION FAN (W/ SWITCH) LOCATED IN ATTIC SPACE OR AS SPECIFIED BY THE OWNER.
12.6. ALL SMOKE DETECTORS SHALL BE INSTALLED IN A MANNER SUCH THAT ACTIVATION OF ONE WILL ACTIVATE ALL APPLIANCES ARE USED. CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN ALL NEW CONSTRUCTION OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
12.7. ALL SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R314.
12.8. ALL CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R315. WHEN FUEL BURNING APPLIANCES ARE USED, CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN ALL NEW CONSTRUCTION OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
12.9. AUTOMATIC GARAGE DOOR OPENERS SHALL BE LISTED IN ACCORDANCE WITH UL325.

Plymouth Road Architects
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

Table with columns for DATE, REVISION, and empty rows for tracking changes.

Date: 5/15
Scale: N.A.
Drawn: TIM

Drawing: GENERAL REQUIREMENTS
Project: WILLIAMSBURG GROUP THE RUTLEDGE ESTATE HOME

1067 RE
Project No.



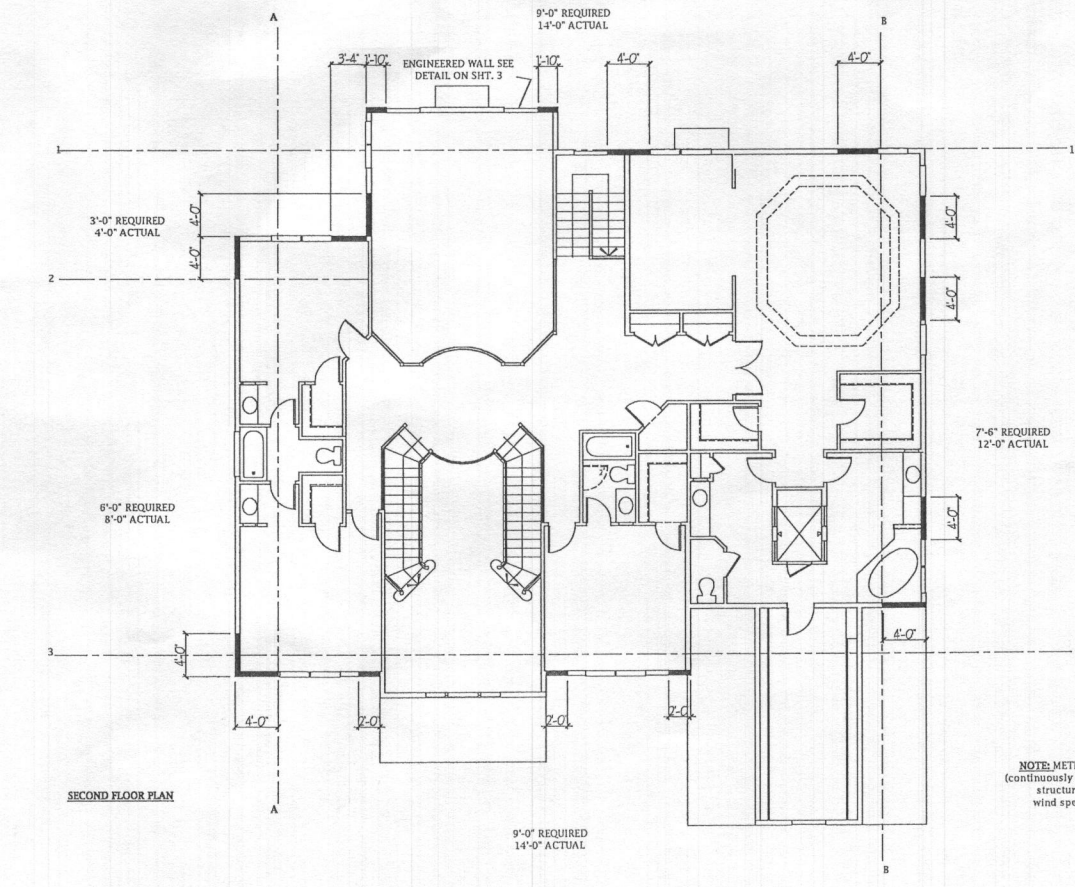
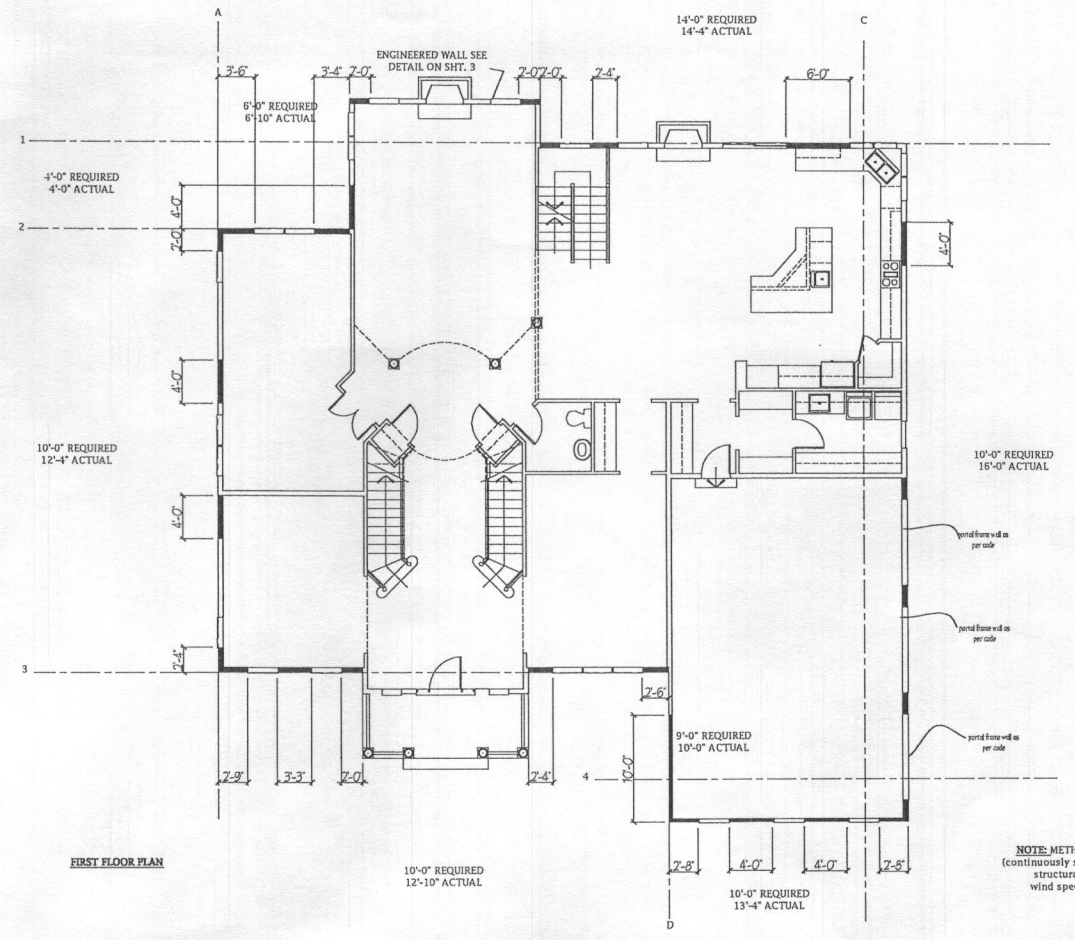
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Date: 5/15
 Scale: N.A.
 Drawn: TIM

Drawing: SHEAR WALL DETAILS
 Project: WILLIAMSBURG GROUP
 THE RUTLEDGE ESTATE HOME

1067 RE
 Project No.

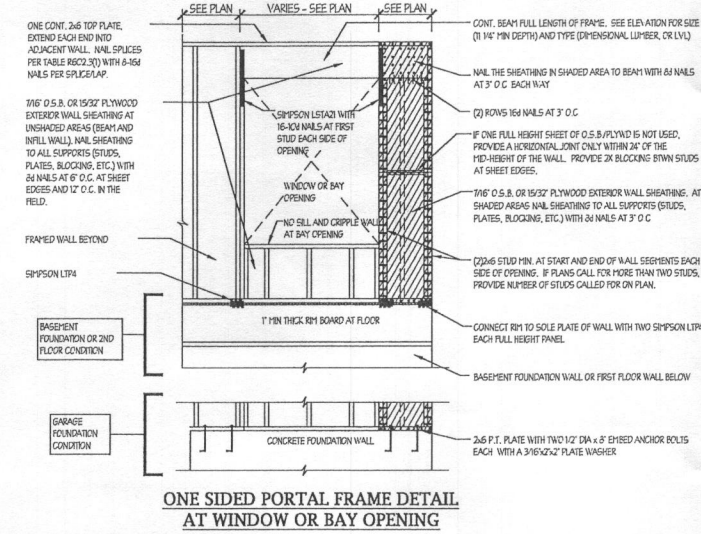
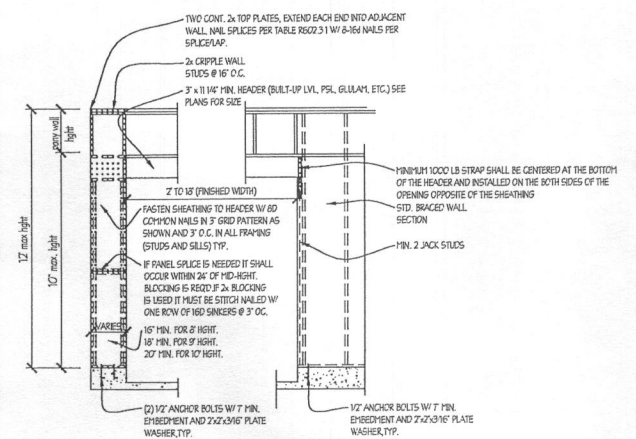
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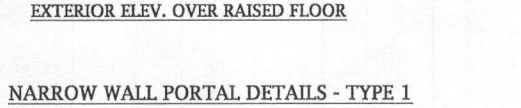
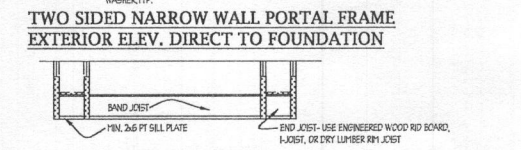
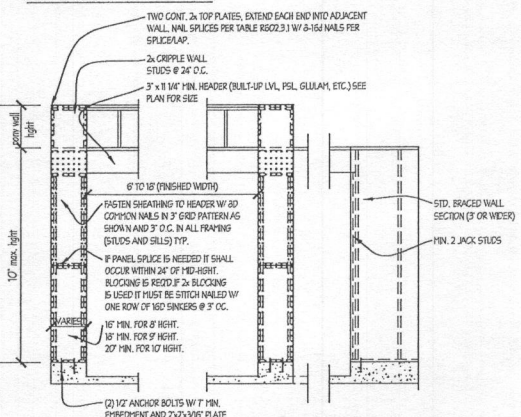
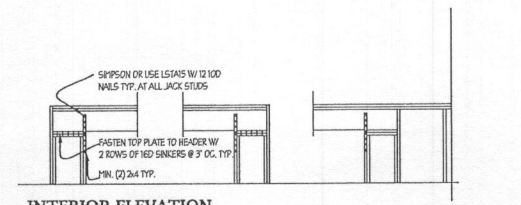
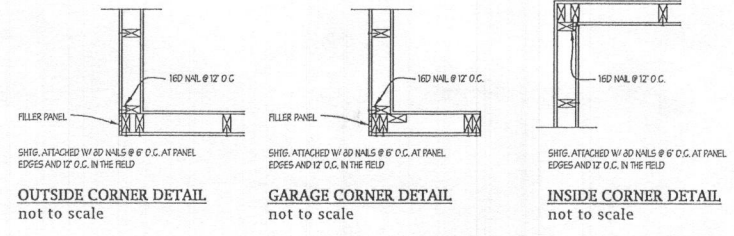
NOTE: METHOD CS-WSP (continuously sheathed wood structural panel) wind speed ≤ 115

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REVISED 10/19

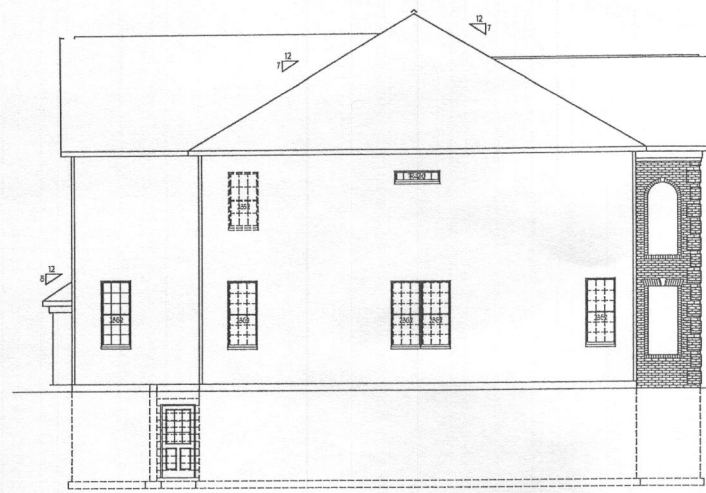


NOTE: PORTAL FRAME ARE DESIGNED TO REPLACE THE REQD. BRACED WALL SEGMENT UP TO 40' LONG, FOR BR. WALL 6' 3" FOR 10FT. WALL ADJACENT TO GAR. OPENING. LOCATIONS AND SPACING TO FOLLOW IBC REQUIREMENTS.

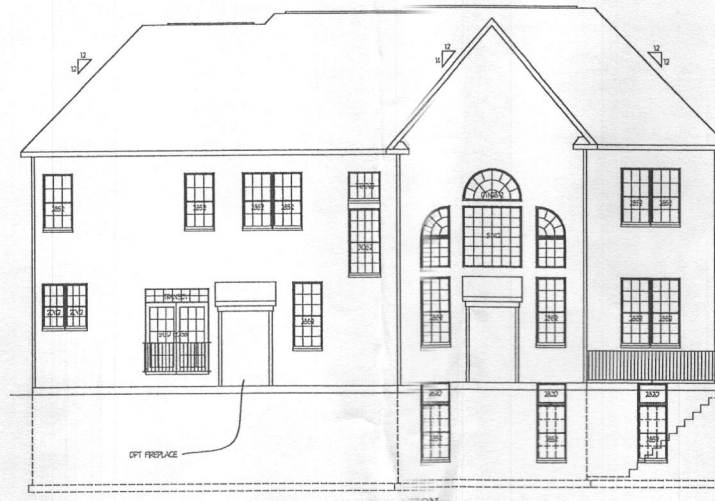


PANEL TYPE	PANEL TYPE	MINIMUM	REVISION
WSP	WSP	100 OBP	08-08-08
WSP-1	WSP-1	100 OBP	08-08-08
WSP-2	WSP-2	100 OBP	08-08-08
WSP-3	WSP-3	100 OBP	08-08-08
WSP-4	WSP-4	100 OBP	08-08-08
WSP-5	WSP-5	100 OBP	08-08-08
WSP-6	WSP-6	100 OBP	08-08-08
WSP-7	WSP-7	100 OBP	08-08-08
WSP-8	WSP-8	100 OBP	08-08-08
WSP-9	WSP-9	100 OBP	08-08-08
WSP-10	WSP-10	100 OBP	08-08-08
WSP-11	WSP-11	100 OBP	08-08-08
WSP-12	WSP-12	100 OBP	08-08-08
WSP-13	WSP-13	100 OBP	08-08-08
WSP-14	WSP-14	100 OBP	08-08-08
WSP-15	WSP-15	100 OBP	08-08-08
WSP-16	WSP-16	100 OBP	08-08-08
WSP-17	WSP-17	100 OBP	08-08-08
WSP-18	WSP-18	100 OBP	08-08-08
WSP-19	WSP-19	100 OBP	08-08-08
WSP-20	WSP-20	100 OBP	08-08-08

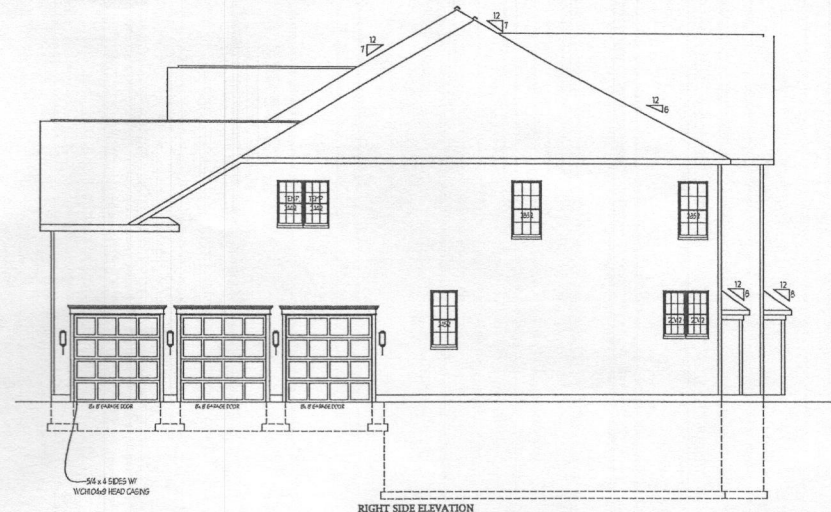
- NOTES:
1. ALL BRACED WALL PANEL TYPES (AND ENGINEERED SHEAR WALLS), EXCEPT GRC(1) AND GRC(2) WITH SHEATHING INSTALLED HORIZONTALLY, SHALL HAVE 2x BLOCKING BETWEEN WALL STUDS AT ALL HORIZONTAL SHEET EDGES.
 2. PROVIDE NAILING/BLOCKING ABOVE AND BELOW ALL BRACED WALL PANELS.
 3. ALL EXTERIOR WALLS ARE SHEATHED WITH 2x6 O.S.B. OR 15/32" PLYWOOD, FASTENED PER TABLE RSC2.3.1. AT EXTERIOR CORNERS SHEATHING SHALL BE FASTENED AS SHOWN.
 4. BRACED WALL PANELS ARE PROVIDED PER SECTIONS RSC2.3.1. PANEL LENGTH SHOWN ON PLANS ARE THE MINIMUM LENGTH REQUIRED.
 5. WHERE ENGINEERED SHEAR WALLS (E.G., TYPES CS-SHW(1) OR CS-SHW(2)) THE SHEAR WALLS HAVE BEEN DESIGNED TO RESIST THE CODE REQUIRED WIND LOAD.



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION #5
SCALE: 1/4" = 1'-0"

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DATE	REVISION

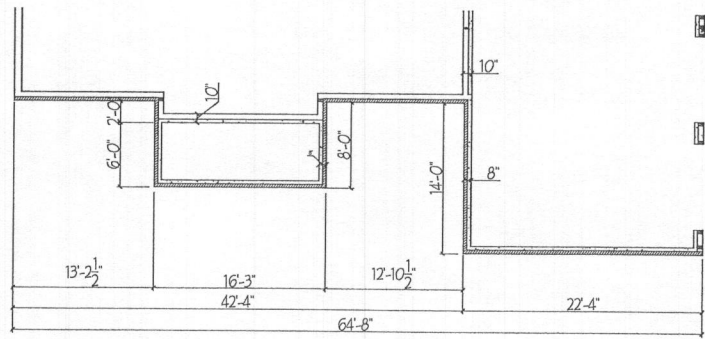
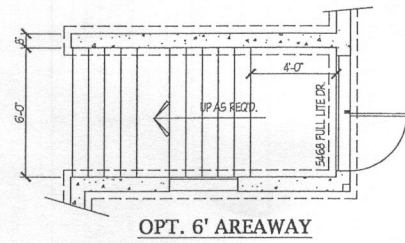
Date: 5/15
Scale: NOTED
Drawn: TMM
Checked:

Drawing: ELEVATION 5
Project: WILLIAMSBURG GROUP
THE RUTLEDGE ESTATE HOMES

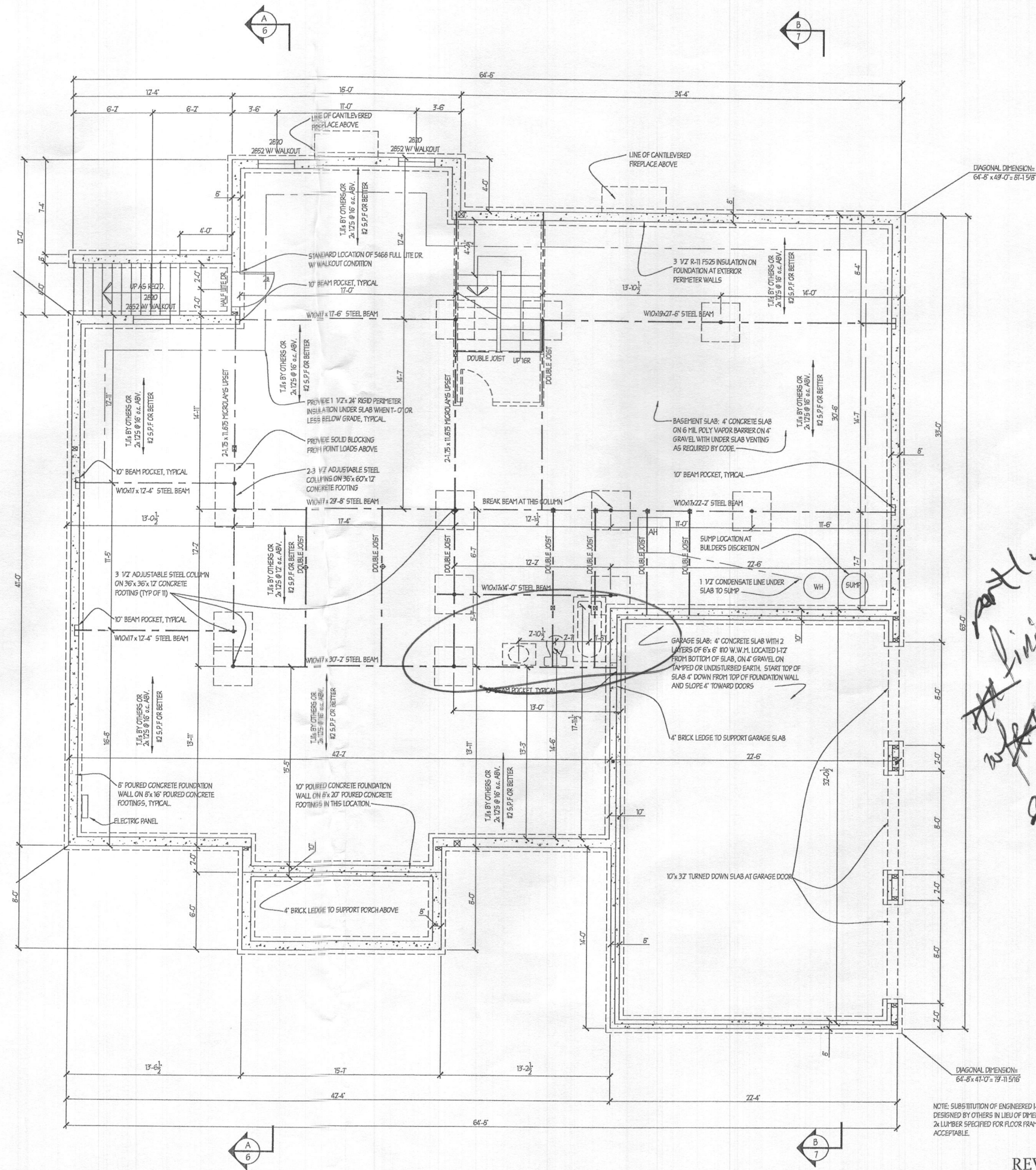
1067RE
Project No.



REVISED 1/19



FOUNDATION W/ BRICK FRONT



*partly
not finished basement
w/ bath
Send Memo*

NOTE: SUBSTITUTION OF ENGINEERED JOISTS DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL 2x LUMBER SPECIFIED FOR FLOOR FRAMING IS ACCEPTABLE.

DATE	REVISION

Date: 5/15
Scale: 1/4" = 1'-0"
Drawn: TIM

Drawing: BSMY/FOUNDATION PLAN
Project: WILLIAMSBURG GROUP
THE RUTLEDGE ESTATE HOME

1067RE
Project No.

2a

DATE	REVISION
11/10/10	PORTAL WALL DETAIL

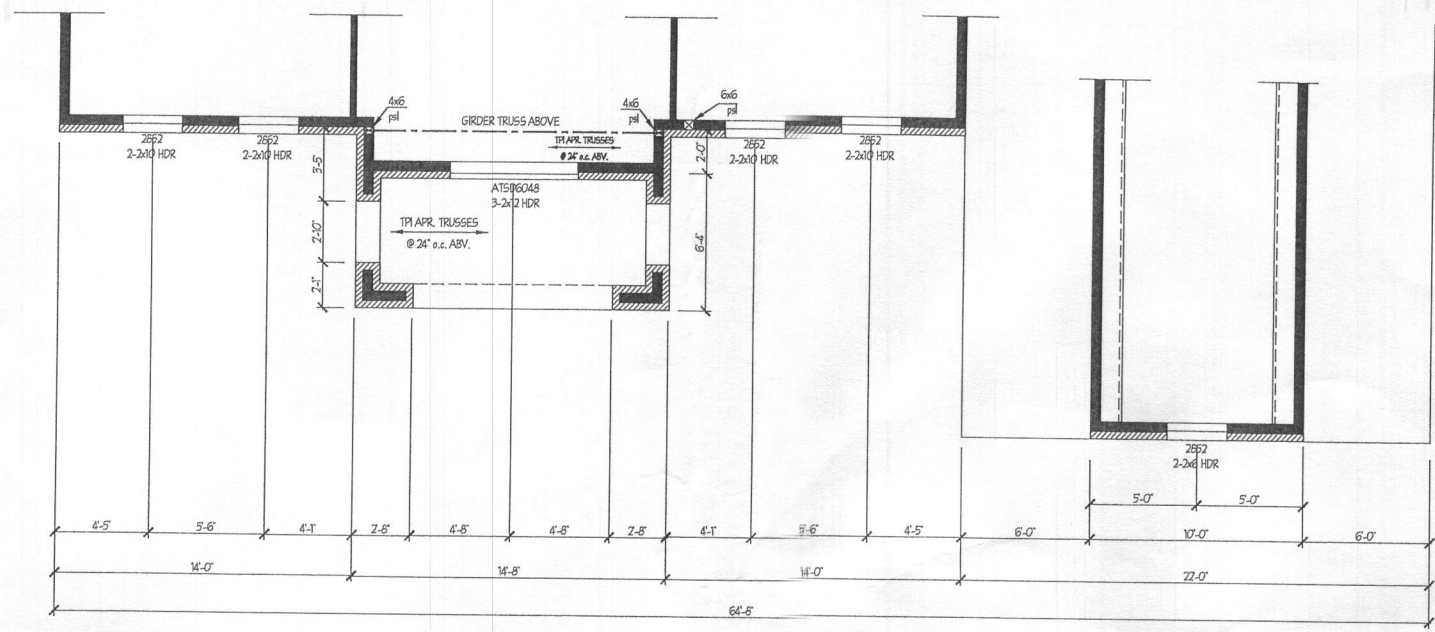
Date: 5/15
 Scale: 1/4" = 1'-0"
 Drawn: TIM

Drawing: PARTIAL PLANS - LEVELATION 5
 Project: WILLIAMSBURG GROUP
 THE RUTLEDGE ESTATE HOME

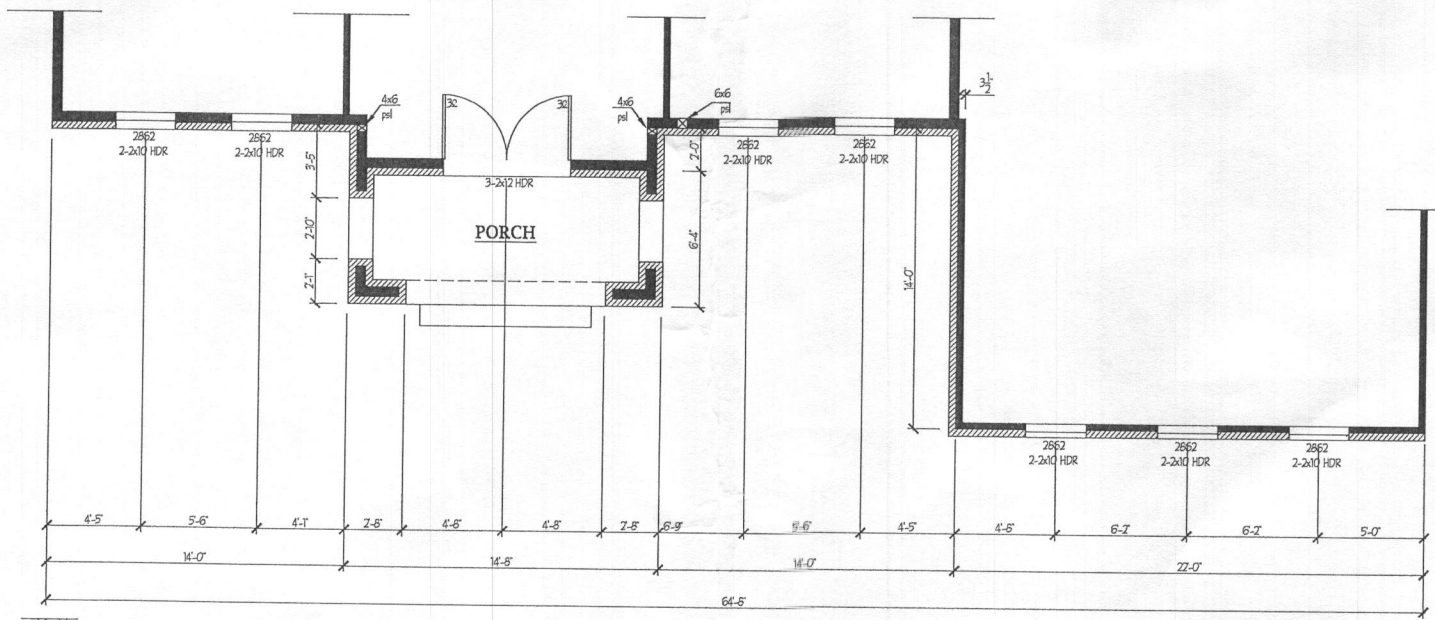
1067 RE
 Project No.

5e

PARTIAL SECOND FLOOR PLAN
 ELEVATION #5

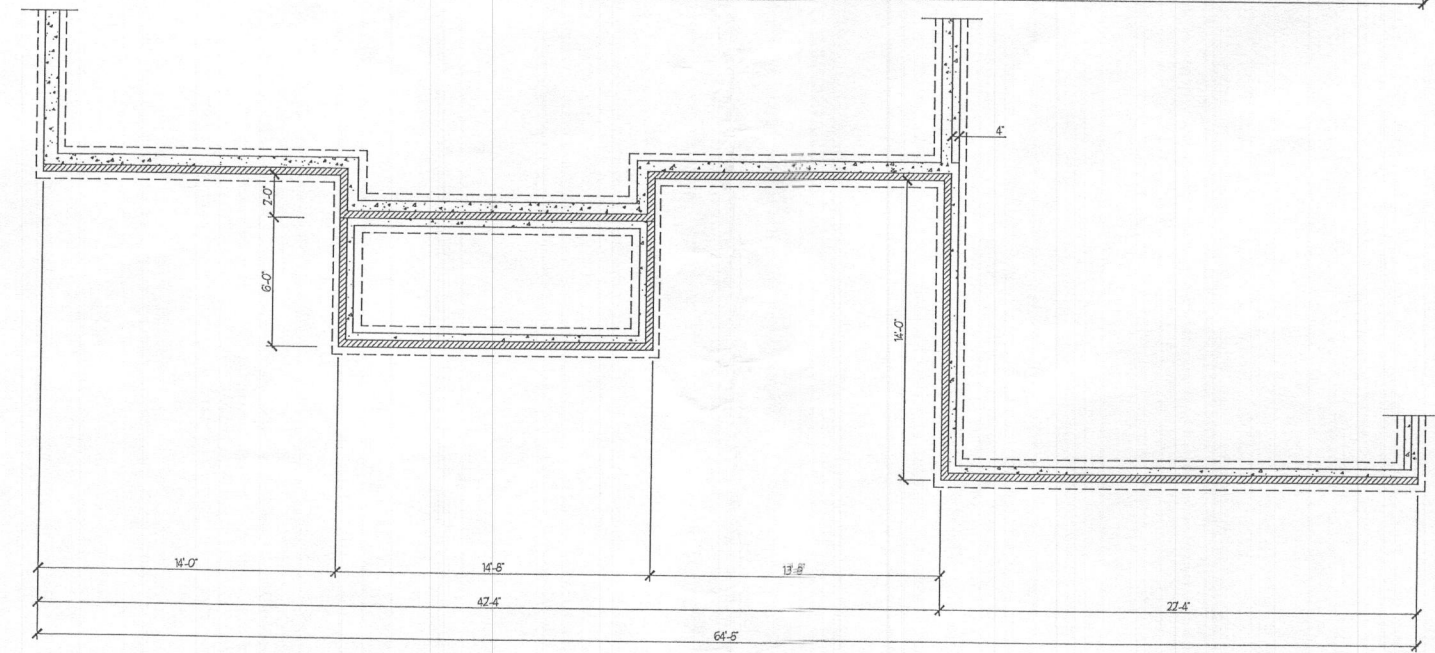


PARTIAL FIRST FLOOR PLAN
 ELEVATION #5



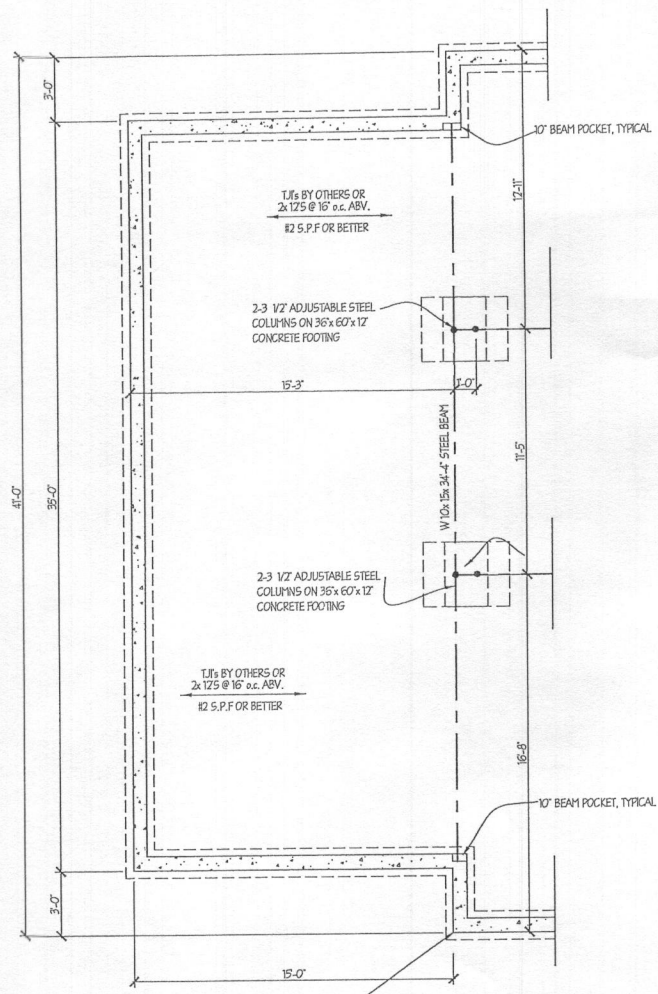
OVERALL DEPTH -41'-0"
 41'-4" W/ BRICK FRONT
 41'-8" W/ BRICK ALL 4 SIDES

PARTIAL FOUNDATION PLAN
 ELEVATION #5

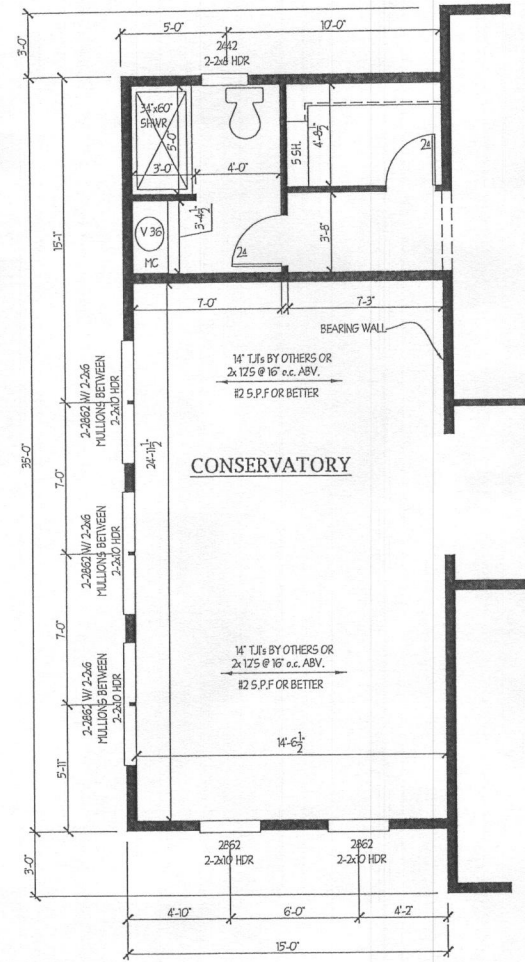


NOTES:
 ALL HEADERS IN BEARING WALLS ARE 2-2x10 UNLESS NOTED OTHERWISE
 WOOD COLLUMS SPECIFIED MAY BE BUILT UP OF 2x MEMBERS, FASTENED TOGETHER AS REQUIRED.
 ALL EXTERIOR WALLS TO BE 2x6 @ 16" oc. UNLESS OTHERWISE NOTED
 NOTE: SUBSTITUTION OF ENGINEERED L-JOISTS DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL 2x LUMBER SPECIFIED FOR FLOOR FRAMING IS ACCEPTABLE
 STEEL COLLUMS TO SUPPORT GARAGE BEAM ARE STANDARD WEIGHT PIPE COLLUMS A501 OR A63 GRADE B, TO CARRY 13,000 LBS

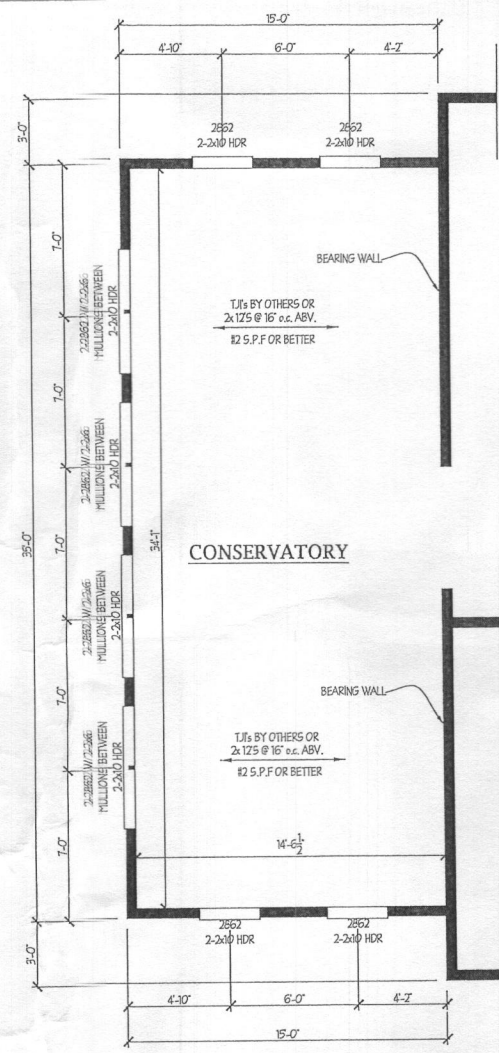
REVISED 7/19



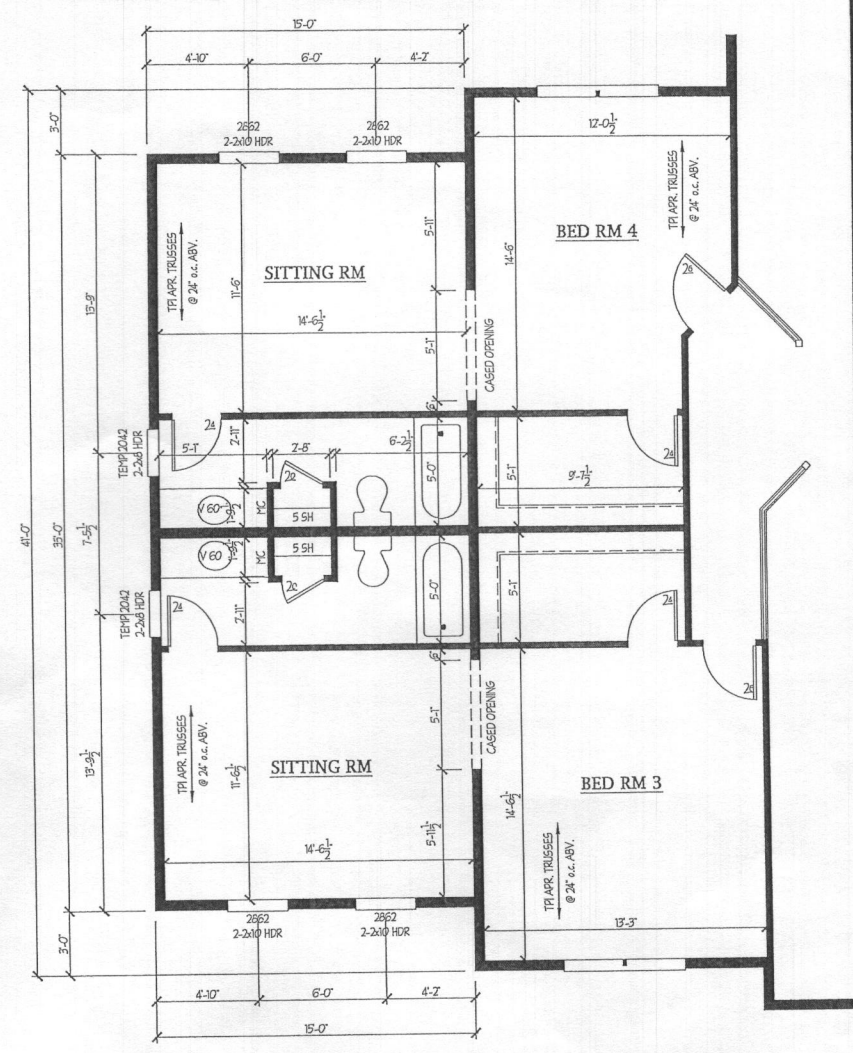
BASEMENT PLAN
SCALE - 1/4" = 1'-0"



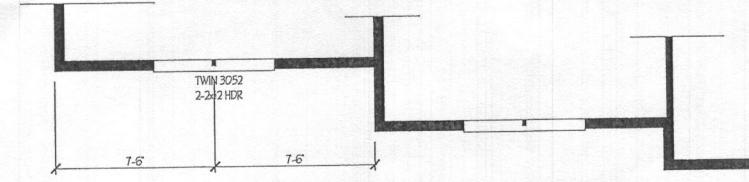
FIRST FLOOR PLAN B
SCALE - 1/4" = 1'-0"



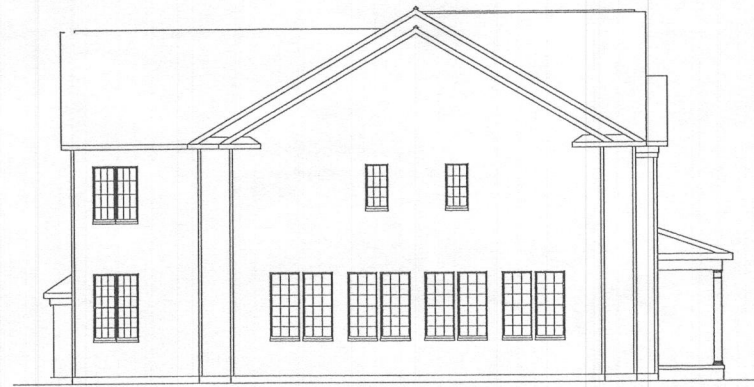
FIRST FLOOR PLAN
SCALE - 1/4" = 1'-0"



SECOND FLOOR PLAN - FOR ELEVATIONS 1C, 1D, 1E, 1F, 1G
SCALE - 1/4" = 1'-0"



SECOND FLOOR PLAN - FOR ELEVATIONS 1A AND 1B
SCALE - 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE - 1/8" = 1'-0"



FRONT ELEVATION
SCALE - 1/8" = 1'-0"

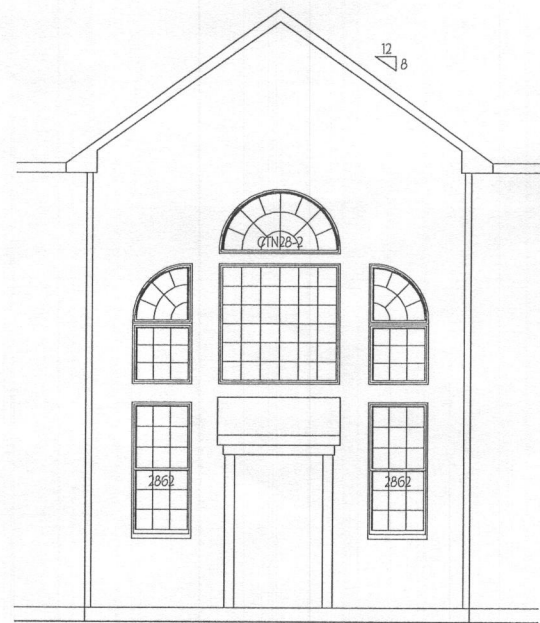
REVISED 1/19

Notes:

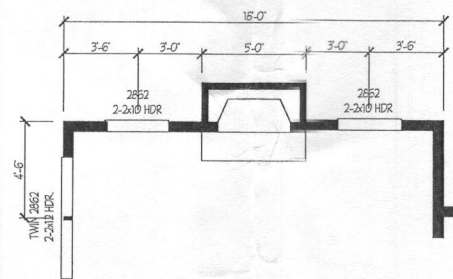
Drawing: TWO STORY OPTION
Project: WILLIAMSBURG GROUP
RUTLEDGE
ESTATE HOME

Project No.: 1067 RE
Date: 5/15
Scale: NOTED

8a



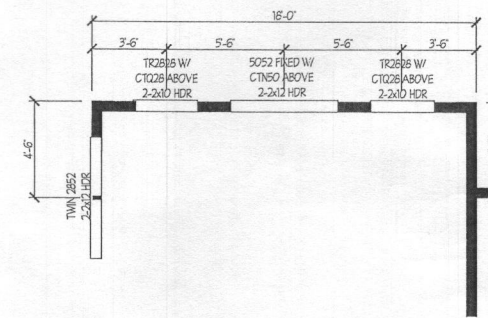
PARTIAL REAR LEVATION



FIRST FLOOR PLAN
SCALE - 1/4" = 1'-0"

PARTIAL FIRST FLOOR PLAN

NOTE: STANDARD WALL OF
WINDOWS FOR RUTLEDGE
MODEL



SECOND FLOOR PLAN
SCALE - 1/4" = 1'-0"

PARTIAL SECOND FLOOR PLAN

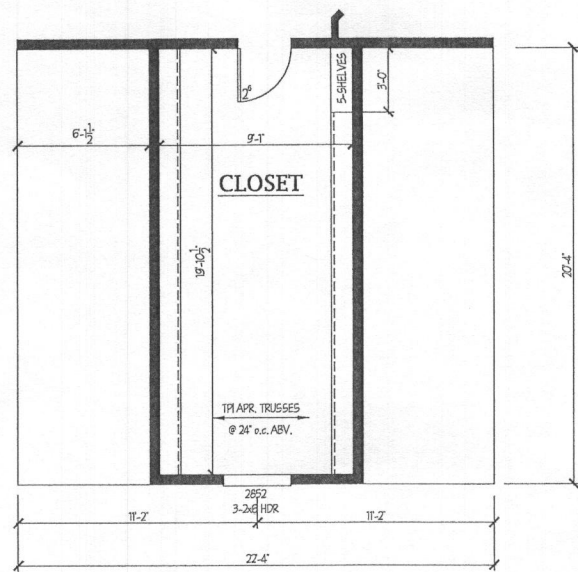
DATE	REVISION

Date: 5/15
Scale: 1/4" = 1'-0"
Drawn: TIM
Checked:

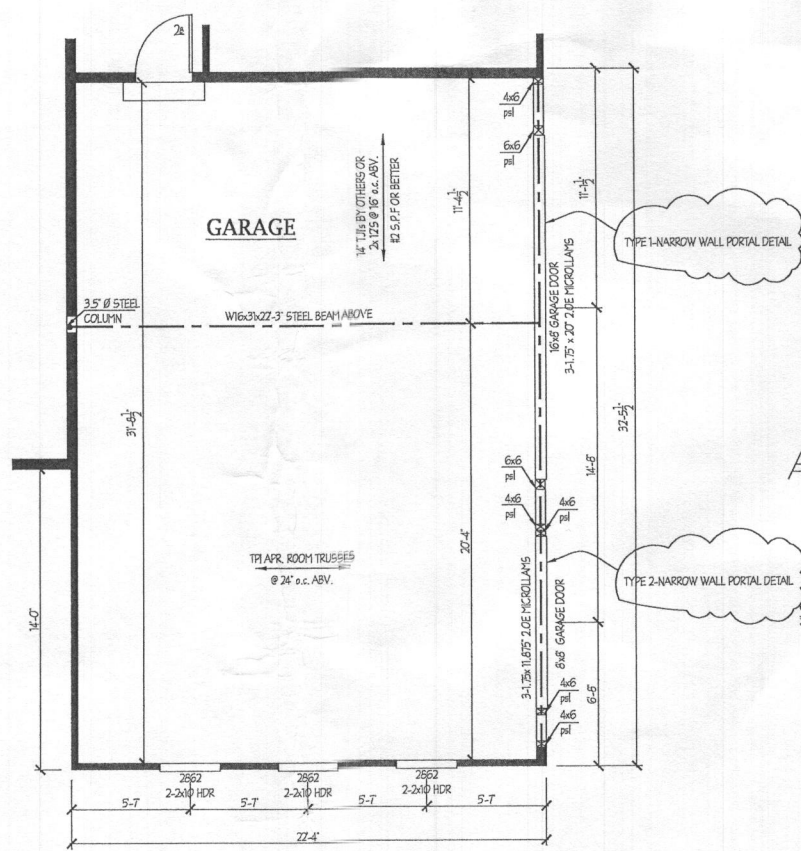
Drawing: OPTIONAL WALL OF WINDOWS
Project: WILLIAMSBURG GROUP
THE RUTLEDGE
ESTATE HOME

1067 RE
Project No.

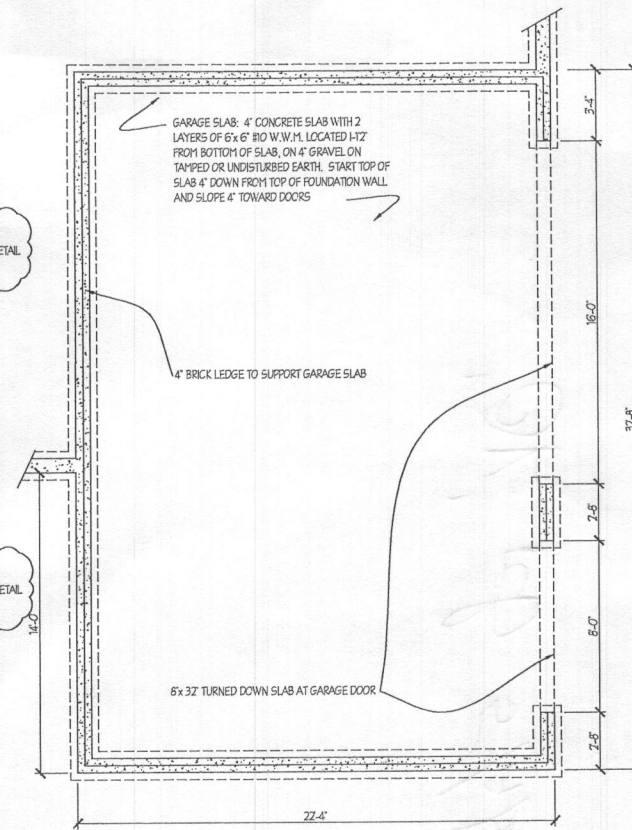




SECOND FLOOR PLAN
2 doors



FIRST FLOOR PLAN
2 doors



FOUNDATION
2 doors

REVISED 11/19

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640 Plymouth Road, Catonsville, MD 21229 410-788-0281

DATE	REVISION

Date: 5/13
Scale: 1/4" = 1'-0"
Drawn: TIM

Drawing: 3 CAR SIDE LOAD GARAGE PLANS
Project: WILLIAMSBURG GROUP
RUTLEDGE

1067.R
Project No.



10/22/2013 10:51:23 AM