

MAY 15 2020

PERMIT NUMBER: B 20001536

DATE ACCEPTED:

LICENSES & PERMITS DIVISION



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 1801 Davis Branch Road
City: Woodstock
State: MD
Zip Code: 21163
Subdivision/Village/Complex Name: Myrtue Property
SDP/WP/BA #:
Lot: 4
Tax Map: 10, Grid 24
Parcel: 225
Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant improved lot
Proposed Use: SFD
Estimated Cost: \$517,100.00
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVAC) Electrical Plumbing None

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Sonshine MD, LP
Primary Residence: Yes No
Owner's Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 464-9060
Email: billb@keystonecustomhome.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Keystone Custom Homes
Contact Name: Gregg Reinsmith
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 719-1362
Email: greinsmith@keystonecustomhome.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Keystone Custom Homes
Licensee's Name:
License #: MHBR# 2937 (exp 12/01/2021)
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 719-1362
Email: greinsmith@keystonecustomhome.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Paul B. Elser, P.E.
Name: Paul Elser
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster
State: PA
Zip Code: 17601
Phone: (717) 719-1370
Email: pels@keystonecustomhome.com

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Samson Heritage
of Bedrooms (SF): 5 # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
Rooms: 20 # Full Baths: 3 # Half Baths: 0 # Fireplaces: 1
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 72 1st Fl Depth: 50 2nd Fl Width: 60 2nd Fl Depth: 50 Bsmt Width: 72 Bsmt Depth: 50
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 6,098 sq ft Occupiable Area: 6,054 sq ft

AGREEMENT/ DISCALIMER REQUIRED

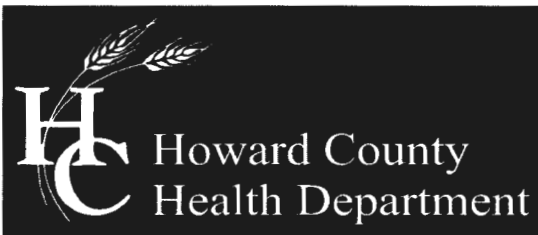
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED 5/14/2020

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID
SUBMITTAL FEES: \$150.00 PAYMENT: CF#1295 ACCEPTED BY: MAIL



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: [HowardCoHealthDep](https://twitter.com/HowardCoHealthDep)

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: Gregg Reinsmith, Keystone Custom Homes

FROM: Robert Bricker, REHS/RS, L.E.H.S.

RE: 1801 Davis Branch Road, Potential Basement Bedroom

DATE: April 13, 2020

I have reviewed the floor plans submitted with the Onsite Sewage Disposal System (OSDS) Design Plan in support of anticipated Building Permit Application for a new home at 1801 Davis Branch Road (Myrtue Property, Lot 4) and noted that there is a rough-in for a full bathroom in the unfinished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the basement to finished living space.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned are of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing five (5)-bedroom design to accommodate a future finished basement. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.



Professional Disclaimer: I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer in the State of Maryland License No. 35478, Expiration Date 06-30-2028.

FRONT ELEVATION
SCALE: 1/8" = 1'-0"

227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystoncustomhomes.com



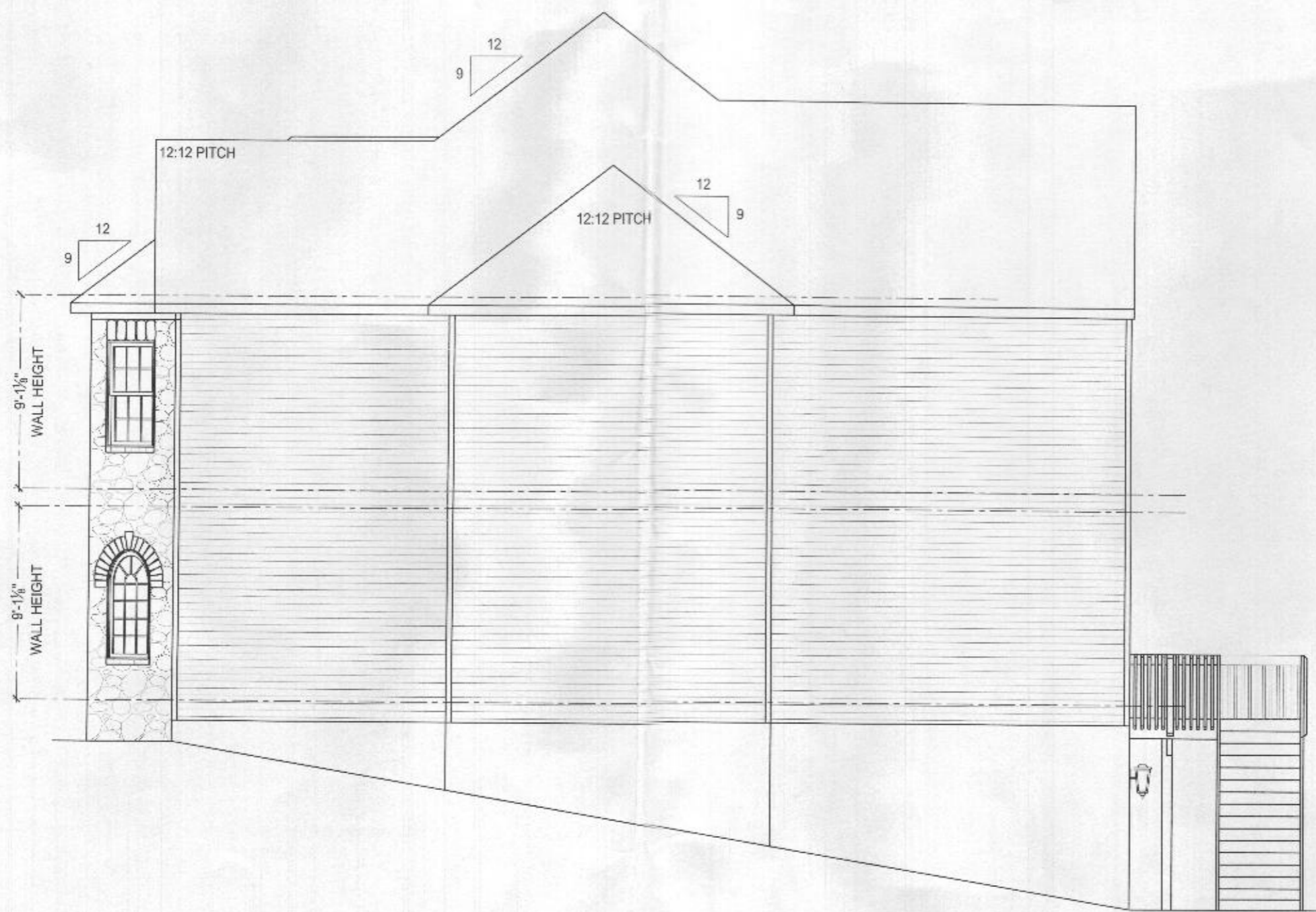
KEYSTONE CUSTOM HOMES, INC.

PROJECT: FRONT ELEVATION
CLIENT: MRS004
DATE: RAO

DATE: DEC 12 2019
SCALE: AS NOTED
DRAWN BY: M. HERSHEY

SHEET NO. A1.0

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LIVING SIDE ELEVATION
SCALE 1/4" = 1'-0"



Professional Engineer, State of Maryland
Paul B. Elser
License No. 35478
Expiration Date 10-19-2021

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KEYSTONE CUSTOM HOMES, INC.

SHEET DESCRIPTION	LIVING SIDE ELEVATION
PROJECT	MIR5004
DESIGNER	RAO
DATE	DEC 12 2019
SCALE	AS NOTED
DRAWN BY	M.HERSHEY
CHECKED BY	ALL



Professional Engineer, State of Maryland
 License No. 35478, Expiration Date 02-18-2027

REAR ELEVATION
 SCALE: 1/8" = 1'-0"

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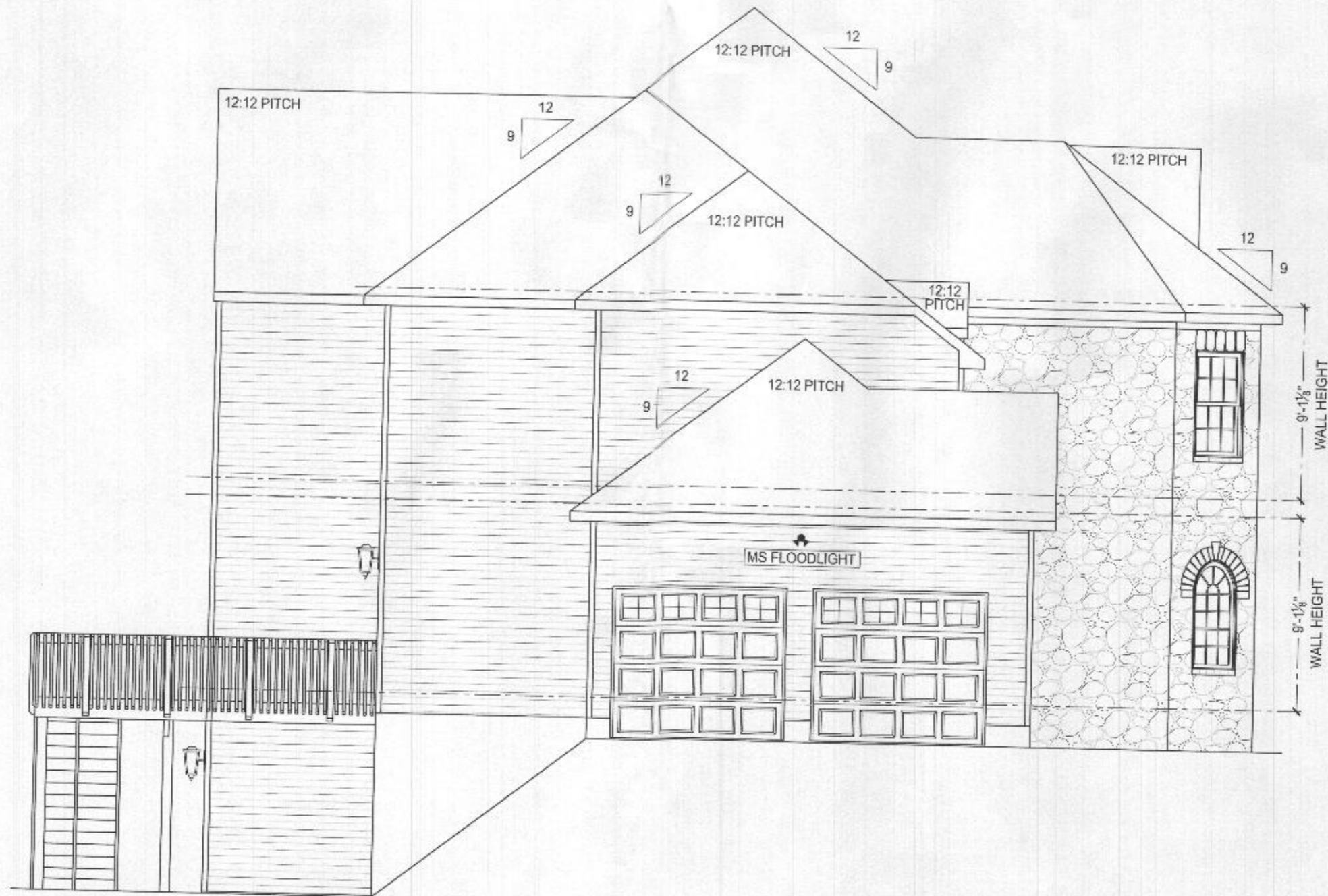
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KEYSTONE CUSTOM HOMES, INC.

REAR ELEVATION	MRS004	RAO
DATE	DEC 12 2019	
SCALE	AS NOTED	
DRAWN BY	W. HERSHEY	

1/2



GARAGE SIDE ELEVATION

SCALE: 1/8" = 1'-0"



This seal certifies that the design was prepared or reviewed by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 35478 Expiration Date: 12-31-2020

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KEYSTONE CUSTOM HOMES, INC.

DATE: DEC 12 2019
SCALE: AS NOTED
DRAWN BY: M. ERSHEY
PROJECT: GARAGE SIDE ELEVATION
NO. MR5004
NAME: RAO

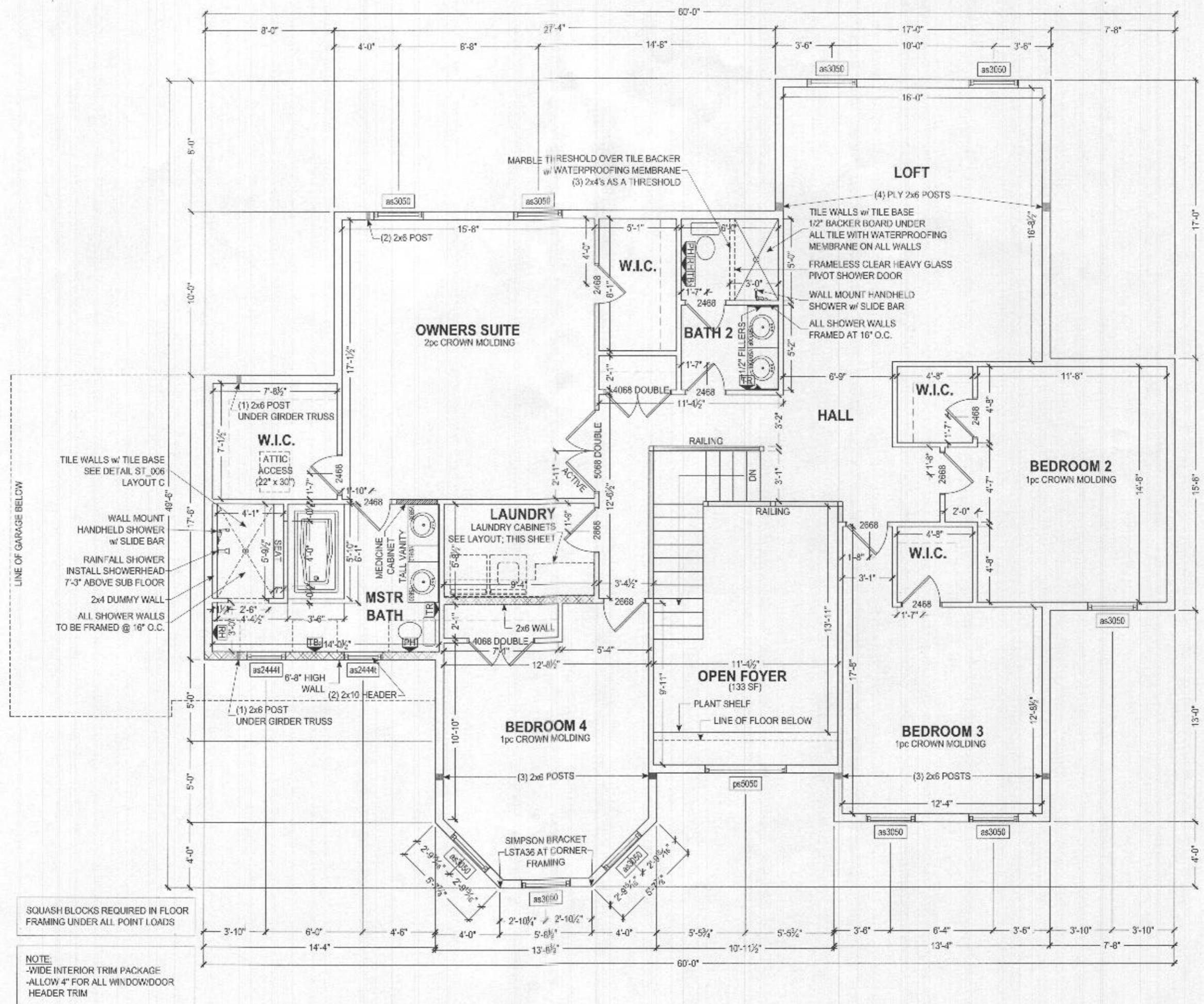
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KEYSTONE CUSTOM HOMES, INC.

PROJECT DESCRIPTION: SECOND FLOOR PLAN
MODEL: MRs004
DRAWN BY: RAO
DATE: DEC 12 2019
SCALE: AS NOTED
DRAWN BY: MUMFERSHEY
SHEET NO: P11



Professional Certificate, I hereby certify that the information herein was prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 35478, Expiration Date 06/16/2027.

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

NOTE:
-WIDE INTERIOR TRIM PACKAGE
-ALLOW 4" FOR ALL WINDOW/DOOR HEADER TRIM

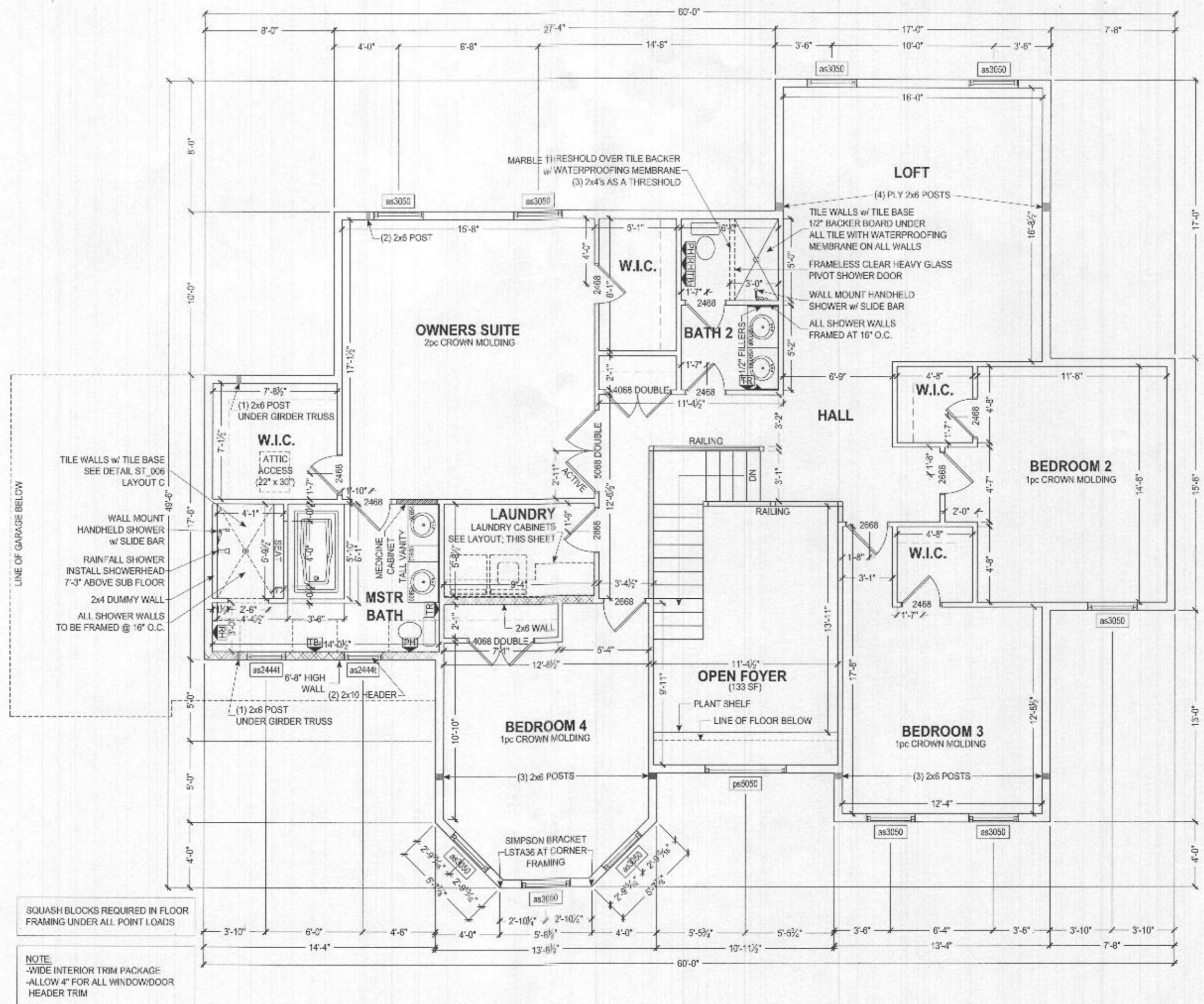
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SHEET NO: P11



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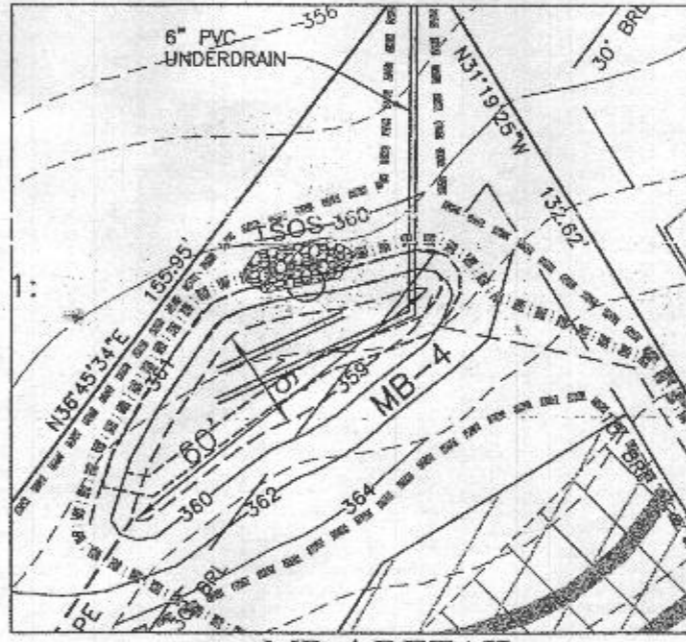
PLAN VIEW
1" = 50'

LEGEND

	400	PROPOSED CONTOURS
	398	EXISTING CONTOURS
	400	EXISTING PRIVATE SEWAGE AREA
	398	PROPOSED PRIVATE SEWAGE AREA
		EXISTING WELL BOX
		PROPOSED TREELINE
		EXISTING TREELINE
		SOILS MAP SYMBOL
		SOILS DELINEATION LINE
		PERC TEST PASSED
		PERC TEST FAILED

GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR THE MYRTUE PROPERTY, PLAT No. 23865. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER GP-20-67
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS F-06-104, PREPARED BY DAFT, McCUNE WALKER, INC. SEPT. 2007 AND REVISED BY BENCHMARK ENGINEERING, INC., DEC. 2015.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-95-1180, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY ONE MICRO-BIORETENTION FACILITY (MDE M-6), WHICH IS IN COMPLIANCE WITH F-06-104.
10. RAINWATER SHALL BE CONVEYED TO THE MICRO-BIORETENTION WITH 4" OR 6" ROOF LEADERS, AS SHOWN.
11. BOLLARDS ARE REQUIRED FOR THE PROTECTION OF ANY WELL THAT MAY BE INSTALLED WITHIN 10' OF THE DRIVEWAY.



MB-4 DETAIL
1" = 30'

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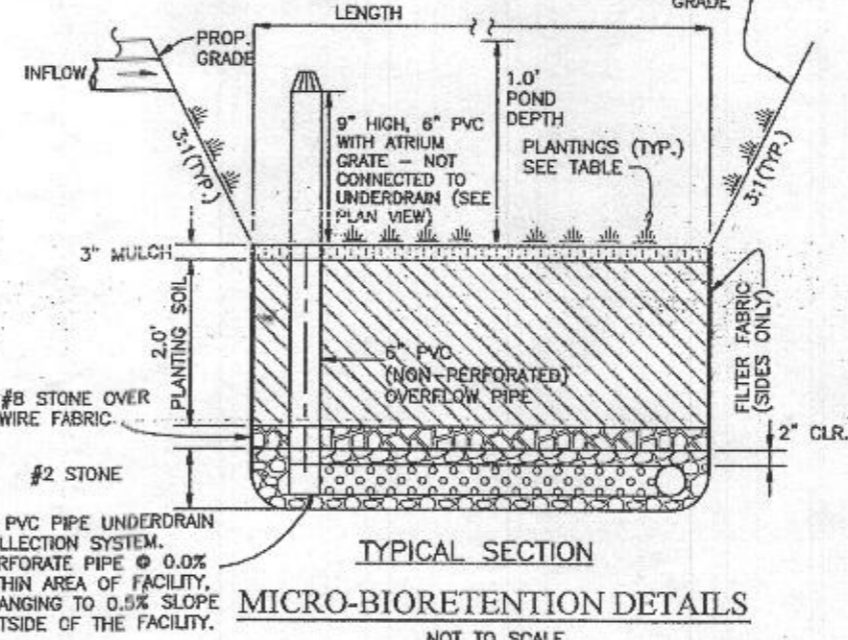
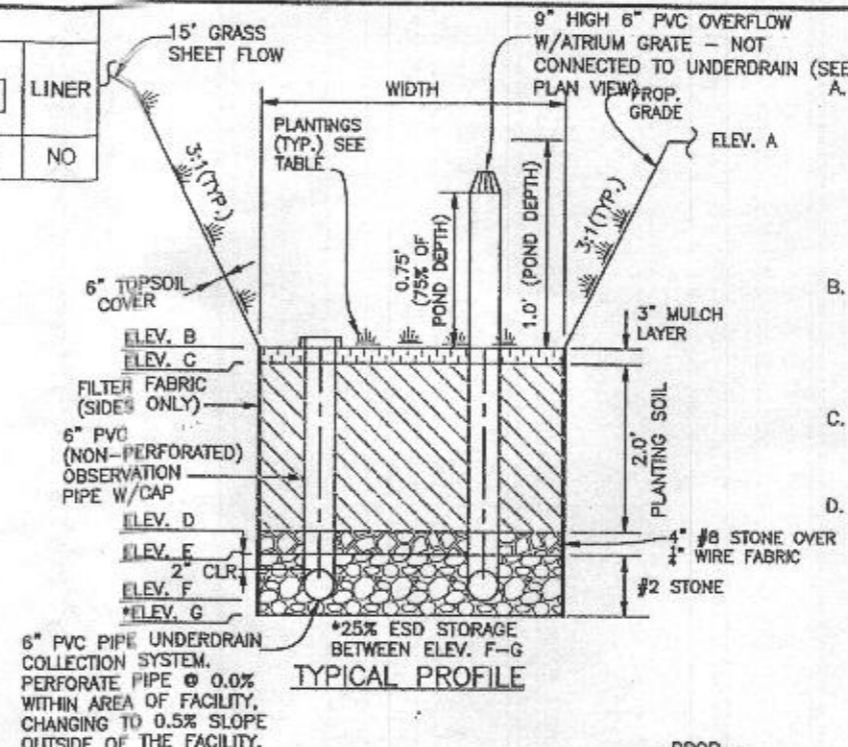
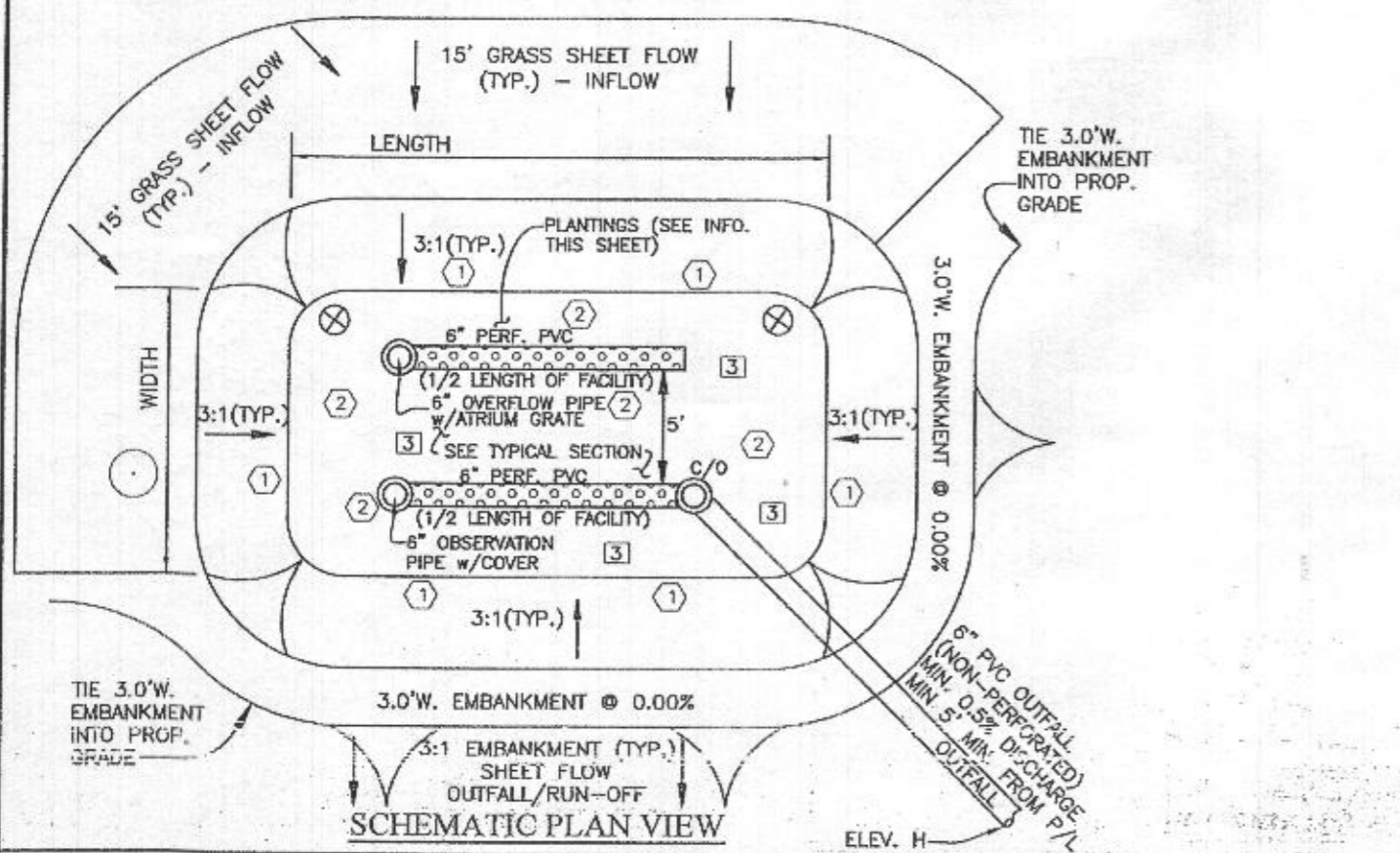
4-22-20

OWNER/BUILDER: KEYSTONE CUSTOM HOMES, INC. 227 GRANITE RUN DR. SUITE 100 LANCASTER, PA 17601 717-464-9060		PROJECT: MYRTUE PROPERTY LOT 4	
BENCHMARK ENGINEERS & LAND SURVEYORS & PLANNERS ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE & SUITE 315 ELLCOTT CITY, MARYLAND 21043 (P) 410-465-6105 & (F) 410-465-6644 WWW.BEI-CMLENGINEERING.COM		LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225 ZONED: 1801 DAVIS BRANCH ROAD 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #352404	
TITLE: BUILDING PERMIT PLAN		HOUSE TYPE: CUSTOM - KEYSTONE HOMES	
DATE:	APRIL, 2020	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	1 OF 2

ESD STORMWATER MANAGEMENT SUMMARY TABLE

Practice	#	DA to practice	Imp Area to practice	ESDv= 717 cf			Rev= 0.18			Ownership		
				Required	Provided	2% DA?	Required	Provided	Pe Provided			
(M-6) Micro-Bioretention	#4	29,548	4,336	591	616	PASS	538	824	2.5	211.30	184.80	Private
				25% ESD Depth of Stone Storage Below Outfall Pipe:			9 Inches					

ON-LOT BIORETENTION DIMENSIONS																
Practice	#	LENGTH								WIDTH	FILTER AREA	PLANTINGS			LINER	
		A	B	C	D	E	F	G	H			①	②	③		
(M-6) Micro-Bioretenition	4	360.00	359.00	358.75	357.00	356.67	356.17	355.42	356.12	60	16	616	68	34	21	NO



OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)

A. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.

B. THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.

C. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.

D. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

OWNER/BUILDER:
 KEYSTONE CUSTOM HOMES, INC.
 227 GRANITE RUN DR.
 SUITE 100
 LANCASTER, PA 17601
 717-464-9060

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4-22-20

MATERIALS & SPECIFICATIONS FOR MICRO-BIORETENTION

MATERIAL	SPECIFICATION	SIZE	NOTES:
PLANTINGS	SEE APPENDIX A; TABLE A.4	N/A	PLANTINGS ARE SITE SPECIFIC
PLANTING SOIL (2.0' TO 4.0' DEEP)	LOAMY SAND 60-65% COMPOST 35-40% OR SANDY LOAM 30% COARSE SAND 30% & COMPOST 40%	N/A	USDA SOIL TYPES: LOAMY SAND OR SANDY LOAM; CLAY CONTENT <5%
ORGANIC CONTENT	MIN 10% BY DRY WEIGHT ASTM D 2974		
MULCH	SHREDDED HARDWOOD	N/A	AGED 6 MONTHS, MINIMUM, NO PINE OR WOOD CHIPS
GEOTEXTILE (CLASS "C")		N/A	PE TYPE 1 NONWOVEN
GEOTEXTILE (1/4" WIRE MESH)		1/4" WIRE MESH	1/4" WIRE MESH
UNDERDRAIN GRAVEL	AASHTO M-43	NO. 57 OR NO. 5	0.375" TO 0.750"
UNDERDRAIN PIPING	F758, TYPE PS28 OR AASHTO M-278	4" TO 6" RIGID SCH.40 PVC, SDR35 OR HDPE	3/8" PERF. @ 6" O/C, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES, NOT NECESSARY UNDERNEATH PIPES. PIPE SHALL BE WRAPPED WITH 1/4-INCH GALVANIZED HARDWARE CLOTH
IMPERVIOUS LINER	ASTM-D-4833 (THICKNESS) ASTM-D-412 (TENSILE STRENGTH 1,100 LB., ELONGATION 200%) ASTM-D-624 (TEAR RESISTANCE - 150 LB./IN) ASTM-D-471 (WATER ADSORPTION: +8 TO -2% MASS)	30 MIL THICK	LINER TO BE ULTRAVIOLET RESISTANT. A GEOTEXTILE FABRIC SHOULD BE USED TO PROTECT THE LINER FROM PUNCTURE.
GEOTEXTILE (BELOW IMPERV. LINER)	ASTM-D-4833 (PUNCTURE STRENGTH 125LB) ASTM-D-4632 (TENSILE STRENGTH 300 LB.)		

MICROBIORETENTION PLANTING SCHEDULE

- (PLANTING SPECIES AND DENSITY CAN BE CHANGED OR SUBSTITUTED BY A LANDSCAPE ARCHITECT OR QUALIFIED DESIGNER)
- ① IRIS FULVA (COPPER IRIS)
 - ② LOBELIA CARDINALIS (CARDINAL FLOWER)
 - ③ RUDBECKIA SUBTOMENTOSA (SWEET CONEFLOWER)
 - ⊗ CALLUNA VULGARIS (HEATHER) (1 PER FACILITY)
 - ACER GINNALA (ARMUR MAPLE) (1 PER FACILITY)

MICROBIORETENTION PLANTING DATA

1. PLANTINGS WITHIN THE PONDING AREA OF THE FACILITY ARE TO BE OF A MEDIUM TO HIGH WATER TOLERANCE
2. PLANTINGS ALONG THE PERIMETER (BERM) AREA OF THE FACILITY ARE TO BE OF A LOW TO MEDIUM WATER TOLERANCE
3. AVOID PLANTINGS WITH EXCESSIVE ROOT MASS IN POND AREA OF THE RAIN GARDEN NEAR O.B. PIPE AND UNDERDRAIN.

PROJECT: MYRTUE PROPERTY LOT 4	
LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225 ZONED: 1801 DAVIS BRANCH ROAD 5TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #352404	
TITLE: BUILDING PERMIT PLAN	
HOUSE TYPE: CUSTOM - KEYSTONE HOMES	
DATE: APRIL, 2020	PROJECT NO. 2099
SCALE: AS SHOWN	DRAWING 2 OF 2