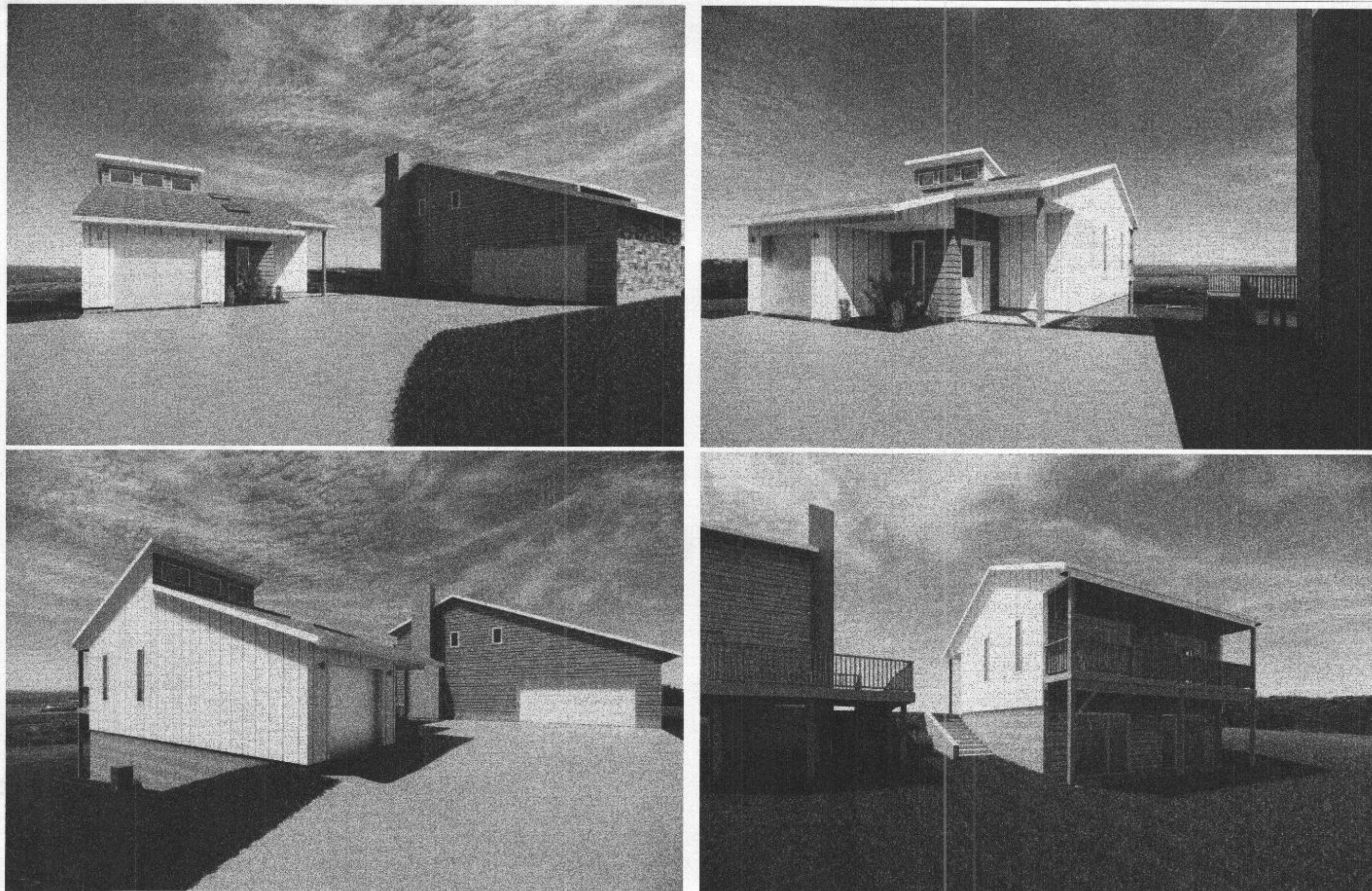
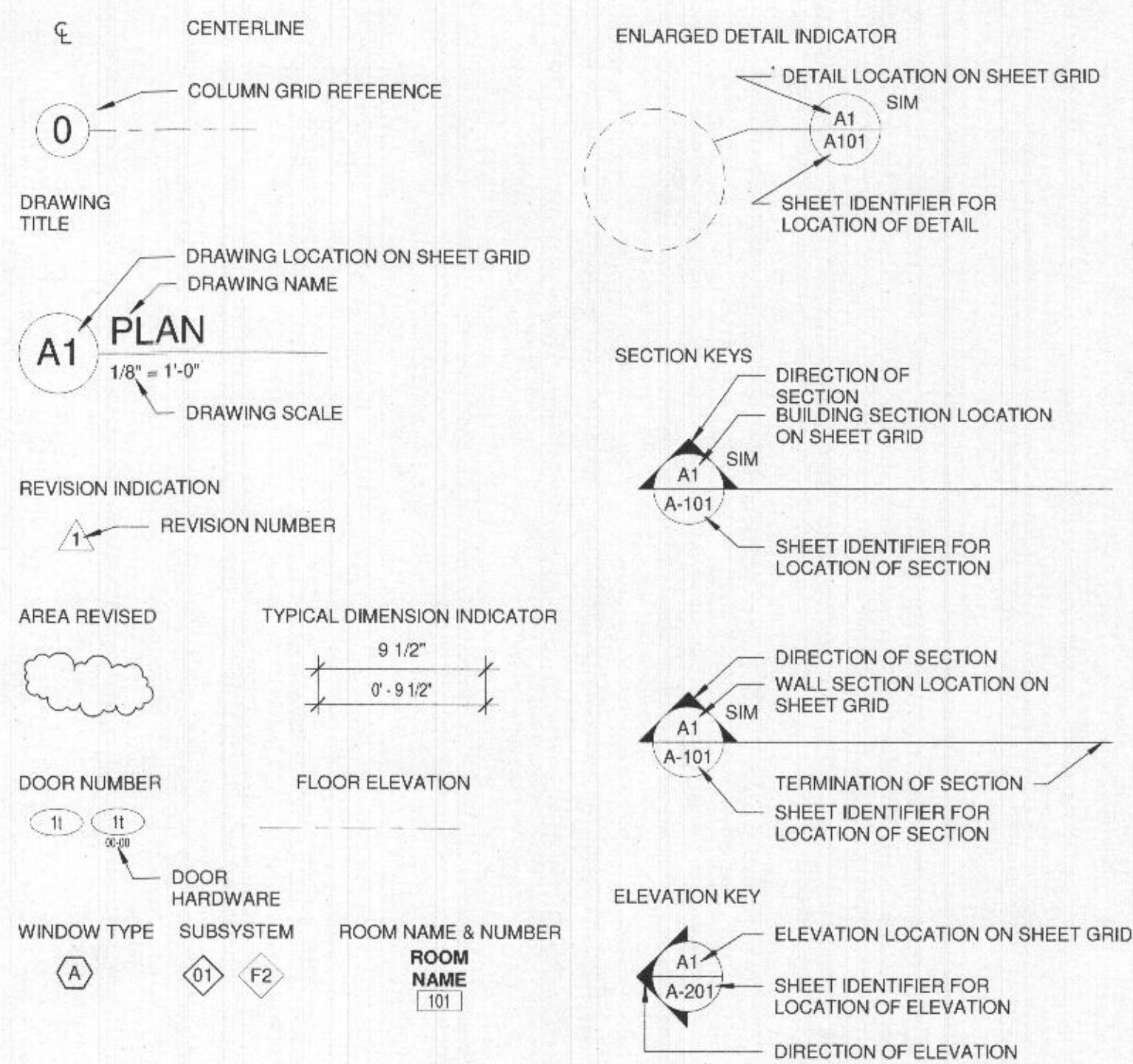


PERSPECTIVE



SYMBOLS LEGEND



SHEET LIST

GENERAL		DATE ISSUED	DATE REVISED
G-001	SHEET INDEX, LEGENDS, AND ABBREVIATIONS	10/23/2020	
C-100	PROPOSED SITE AND UTILITY PLAN	10/23/2020	
C-101	LANDSCAPE PLAN	10/23/2020	

ARCHITECTURAL		
A-101	UPPER LEVEL GARAGE PLAN	10/23/2020
A-102	LOWER LEVEL ACCESSORY	10/23/2020
A-103	ROOF PLAN	10/23/2020
A-104	ELECTRICAL AND LIGHTING PLAN	10/23/2020
A-201	PROPOSED ELEVATIONS	10/23/2020
A-202	PROPOSED ELEVATIONS	10/23/2020
A-301	BUILDING SECTIONS	10/23/2020
A-401	DETAILS	10/23/2020
A-402	INTERIOR DETAILS	10/23/2020
A-601	SCHEDULES AND LEGENDS	10/23/2020

STRUCTURAL		
S-001	GENERAL NOTES	10/23/2020
S-101	FOUNDATION AND LOWER LEVEL PLAN	10/23/2020
S-102	FIRST FLOOR FRAMING PLAN	10/23/2020
S-103	ROOF FRAMING PLAN	10/23/2020
S-201	BUILDING SECTIONS AND ELEVATIONS	10/23/2020
S-301	BUILDING SECTIONS AND ELEVATIONS	10/23/2020
S-302	DETAILS	10/23/2020

MECHANICAL, PLUMBING, ELECTRICAL		
M-100	MECHANICAL NOTES, SCHEDULES AND LEGEND	10/23/2020
M-101	MECHANICAL FLOOR PLANS	10/23/2020
P-101	PLUMBING FLOOR PLANS	10/23/2020
E-100	LEGEND ABBREVIATIONS AND NOTES	10/23/2020
E-101	ELECTRICAL FLOOR PLANS	10/23/2020
E-201	ELECTRICAL SCHEDULES AND RISERS	10/23/2020

GENERAL PROJECT & CODE INFO

OWNERS: Brian and Robin Tarantino
ADDRESS: 7310 Meadow Wood Way, Clarksville MD

BUILDING INFORMATION

ZONING: RR-DEO
LAND AREA: 3.07 Acre

BUILDING AREA (EXISTING): Existing Residence
 Basement Level: 1,576 sq.ft.
 1st Floor Level: 2,018 sq.ft.
 2nd Floor Level: 1,237 sq.ft.
Gross Area: 4,831 sq.ft.

BUILDING AREA (PROPOSED): Existing Residence
 Basement Level: 1,576 sq.ft.
 1st Floor Level: 2,018 sq.ft.
 2nd Floor Level: 1,237 sq.ft.
Gross Area: 4,831 sq.ft. (no new area)

Accessory Addition
 Lower Level: 625 sq.ft.
 1st Floor Level: 964 sq.ft.
Gross Accessory Area: 1,589 sq.ft.

Note: Accessory structure by-right area to be maximum of 1/3 gross area of existing residence. 4,831 sq.ft. x 0.33 = 1,594 sq.ft.

BUILDING HEIGHT: 26'-0"

FIRE SUPPRESSION:
 EXISTING: NO
 PROPOSED: NO

APPLICABLE CODES:
 2018 INTERNATIONAL RESIDENTIAL CODE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE

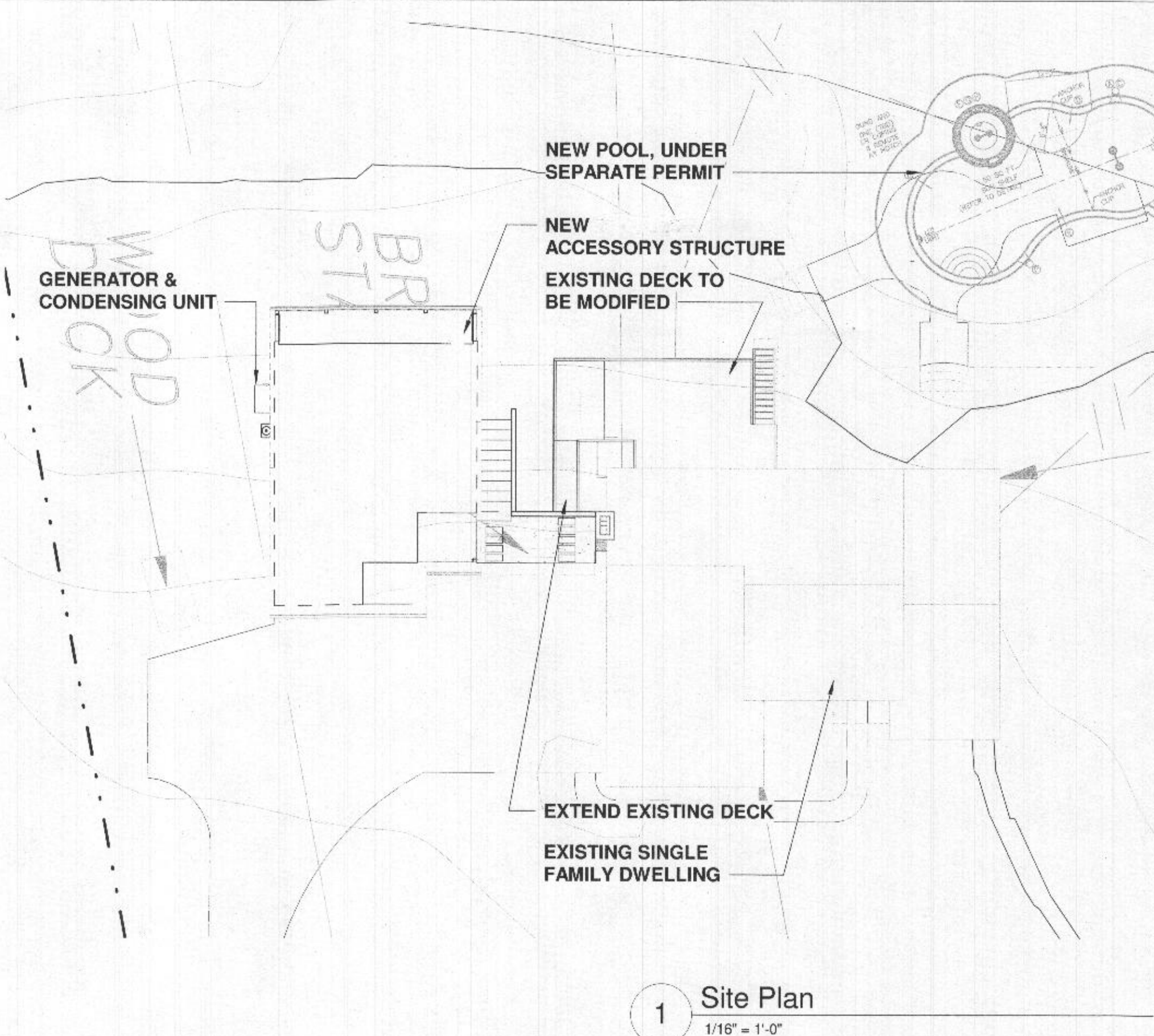
PROJECT DESCRIPTION
 Accessory building with garage and accessory rooms to function as personal yoga studio and workshop for homeowners.

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT
 TABLE R402.1.2 IECC 2018 - CLIMATE ZONE 4

	REQUIRED	PROPOSED
ROOF (CEILING)	R-49	R-38 per R402.2.1 R-38 extend over top plates
WOOD FRAME WALL	R-20 or 13+5	R-21
BASEMENT WALL	10/13	R-13
FENESTRATION U-FACTOR	U - 0.35	U - 0.32
SLAB	R-10 @ 24"	R-10 @ 24" ALONG EXTERIOR WALL

NEW ADDITION SUMMARY:
 WALLS: R-21 (R-21 5 1/2" batt insulation in 2x6 wood frame walls)
 BASEMENT: R-13 (batt insulation between each joist below)
 GLAZING: U - 0.32
 ROOF: R-38 (cathedral roof, no attic to have 10 1/2" high density batt insulation w/ 1" rigid @ underside of sheathing to extend over top plate at eaves per R402.2.1)

SITE PLAN



GENERAL NOTES

- No work shall be started before permit has been issued.
- Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job. This office must be notified of any variations from dimensions and conditions shown by these drawings. Shop drawings and submittals to be submitted to the Architect prior to fabrication and installation.
- All partitions are dimensioned from finish face to finish face unless otherwise noted. All dimensions marked "hold" or "clear" shall be maintained as indicated.
- Dimensions locating doors are to inside edge of jamb. Door frames to be set 6" from adjacent wall unless noted otherwise or dimensioned.
- Large scale drawings take precedence over small scale, details take precedence over all. Contractor shall notify Architect in writing of any discrepancies.
- Contractor shall coordinate and provide blocking in partitions for all millwork and wall attached items.
- "Typical" or "typ." shall mean that the condition is representative for similar conditions throughout, unless noted otherwise. Details are usually keyed and noted "typ." only once, when they first occur.
- Do not scale drawings.
- All finishes must have a flame spread rating of 200 or less and smoke generation of 450 or less (tenant space only).
- All work shall conform to the requirements of all local and state codes. Local and state codes are to take precedence over the drawings and specifications. If a discrepancy is noted, inform the Architect immediately, before proceeding with the work.
- The Contractor shall verify that drawings are the latest issue prior to commencing construction.
- If Contract Drawings and Specifications are at variance with one another on a particular item or items, Contractor shall base his proposal on the better quality or more expensive of the conditions indicated or noted. An item or equipment specified under one trade shall be binding as if specified under all applicable trades.
- The Contractor shall apply, install, connect, erect, clean and/or condition manufactured articles, materials, and/or equipment per manufacturer's instructions. In a case of conflict between manufacturer's instructions and the Contract Documents, the Contractor shall obtain written clarification from the Architect before proceeding.
- The Contractor shall include in his bid and arrange for all hoisting charges, if any are required.
- The Contractor shall thoroughly verify all dimensions prior to the bid submission. To the extent practicable, he shall also verify field conditions at the site. Any and all conflicts, omissions, and discrepancies shall be reported, in writing to the Architect five business days prior to the bid submission, otherwise, the Contractor shall bear all costs to complete the work as intended on the drawings. The General Contractor warrants, by tendering his bid, that the work is buildable as shown.
- The Contractor shall coordinate with the telephone and data line companies and the Tenant for all necessary telephone and data line installation work. Contractor is responsible for coordinating and scheduling of telephone and data line installation with his work.
- The General Contractor shall file, obtain, and pay all fees for building department approvals and permits, controlled inspections, other agency approvals and permits, where required, and final write-offs for project completion. Copies of all transactions are to be forwarded to the Landlord.
- The General Contractor shall execute all inspections necessary to obtain a Certificate of Occupancy.
- The Architect makes every attempt to stay current with city/county codes; however, occasionally a code will change without our knowledge or the code officials will reinterpret a code. We, therefore, assume no responsibility for costs associated with changes to the planned build-out spaces because of the aforementioned.
- All wood blocking, framing and plywood sheathing to be fire retardant treated (F.R.T.) in accordance with the latest AWPA standards for plywood and lumber.
- The General Contractor shall obtain and follow all construction procedures required for this project.
- The General Contractor, prior to any slab penetrations, shall x-ray the existing structure for coordination.
- All new overhead and underslab plumbing, ductwork, wiring, etc. shall be tight to the structure above.
- All new plumbing installed outside of the conditioned tenant space shall be insulated, as required.



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 Nottingham, MD 21236

project
Accessory Structure
 7310 Meadow Wood Way
 Clarksville, MD

Seal | Signature

revisions

No.	Date	Title

SHEET INDEX, LEGENDS, AND ABBREVIATIONS

Issue Date: 10/12/2020
G-001



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Paul M. Ezzell 10/27/2020

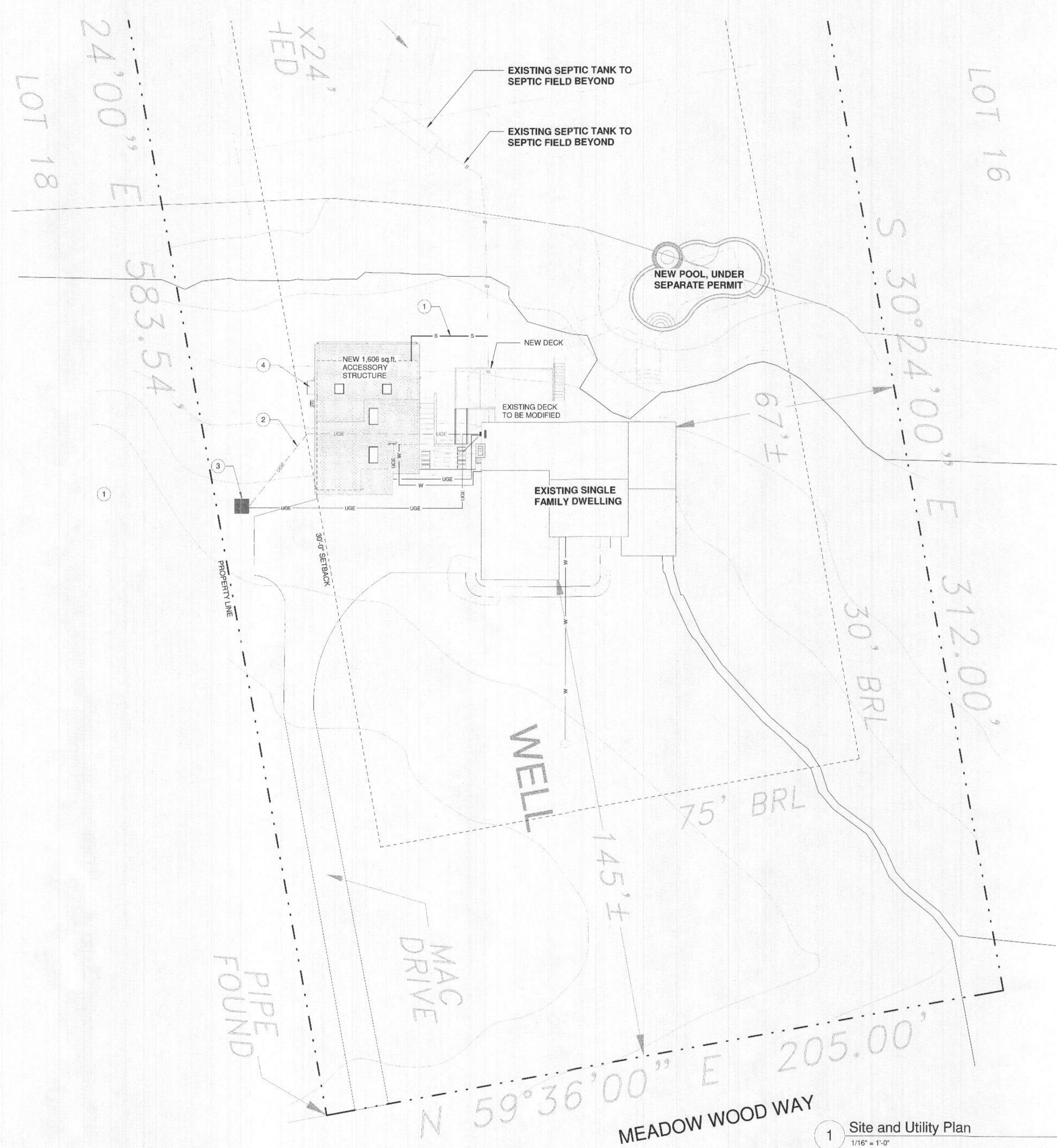
revisions

No.	Date	Title

PROPOSED SITE AND UTILITY PLAN

Issue Date: 10/12/2020

C-100

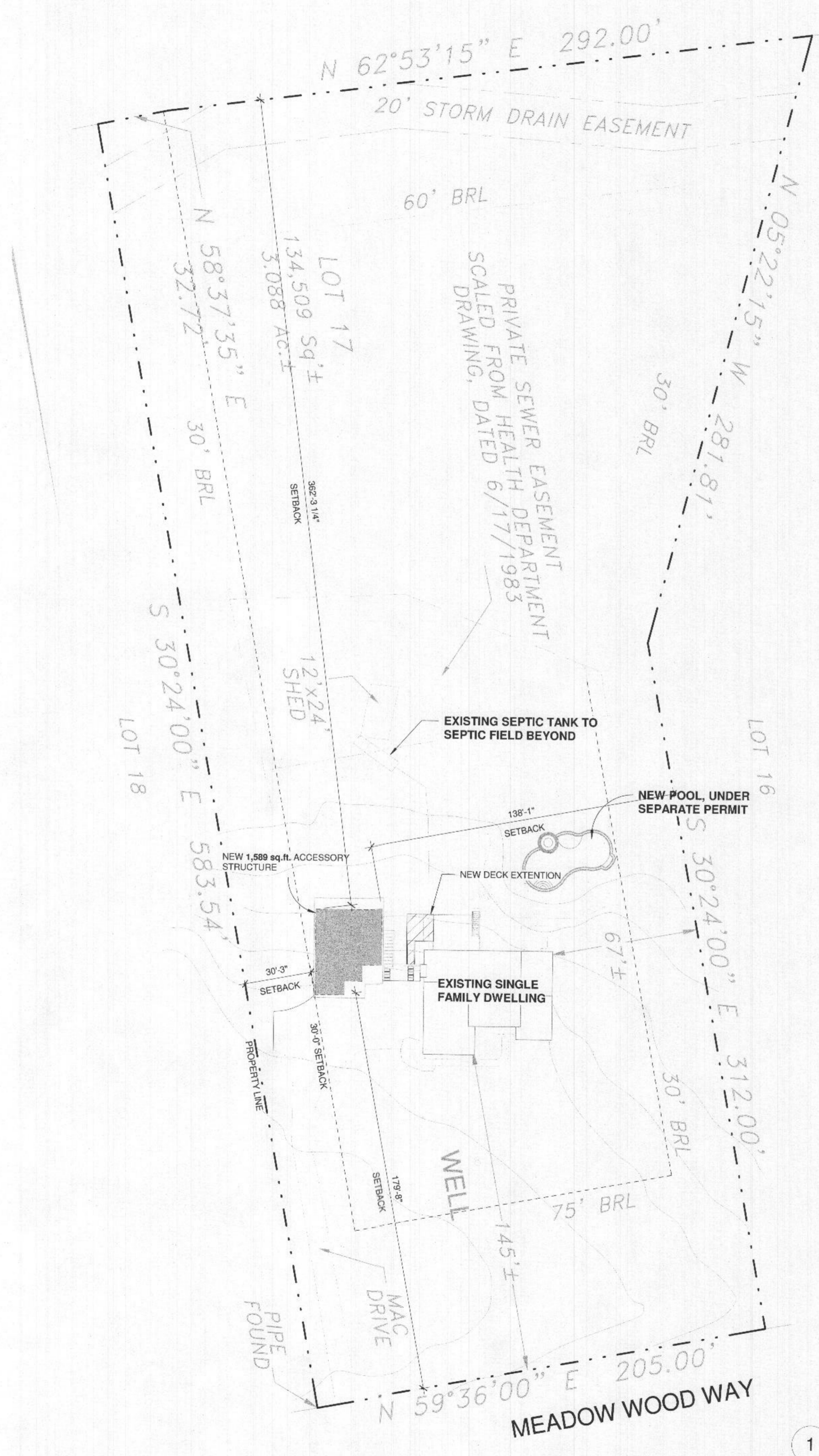


SITE NOTES	
1	PROPOSED SANITARY SEWER CLEANOUT
2	EXISTING UNDERGROUND SERVICE LINES, TO BE REMOVED
3	EXISTING BGE TRANSFORMER
4	PROPANE-POWERED BACKUP GENERATOR, LOCATION TBD. SEE PANEL SCHEDULE FOR CIRCUITS TO BE SUPPORTED

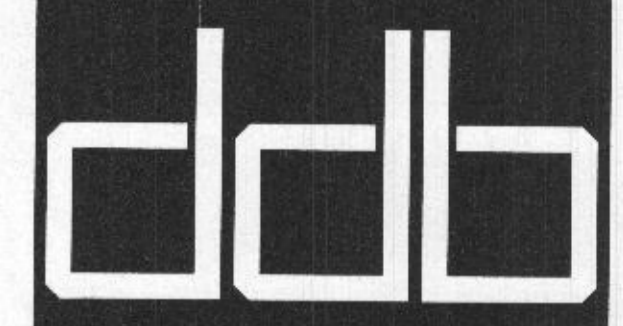
LEGEND	
	EXISTING TRANSFORMER
	PROPERTY LINE
	EXISTING WATER LINE
	EXISTING SANITARY LINE
	PROPOSED SANITARY LINE CONNECTION
	EXISTING UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND ELECTRIC
	EXISTING BGE ELECTRIC METER
	EXISTING ELECTRIC PANEL(S)
	PROPOSED SUB-PANEL

SITE NOTES	
1	PROPOSED SANITARY SEWER CLEANOUT
2	EXISTING UNDERGROUND SERVICE LINES, TO BE REMOVED
3	EXISTING BGE TRANSFORMER
4	PROPANE-POWERED BACKUP GENERATOR, LOCATION TBD. SEE PANEL SCHEDULE FOR CIRCUITS TO BE SUPPORTED

1 Site and Utility Plan
 1/16" = 1'-0"



1 Plot Plan
1" = 30'-0"



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[Signature] 10/22/2020

revisions

No.	Date	Title

PLOT PLAN

Issue Date: 10/12/2020

C-101



**Accessory
Structure**

7310 Meadow Wood Way
Clarksville, MD



Thomas M. Ezzi 10/29/2020

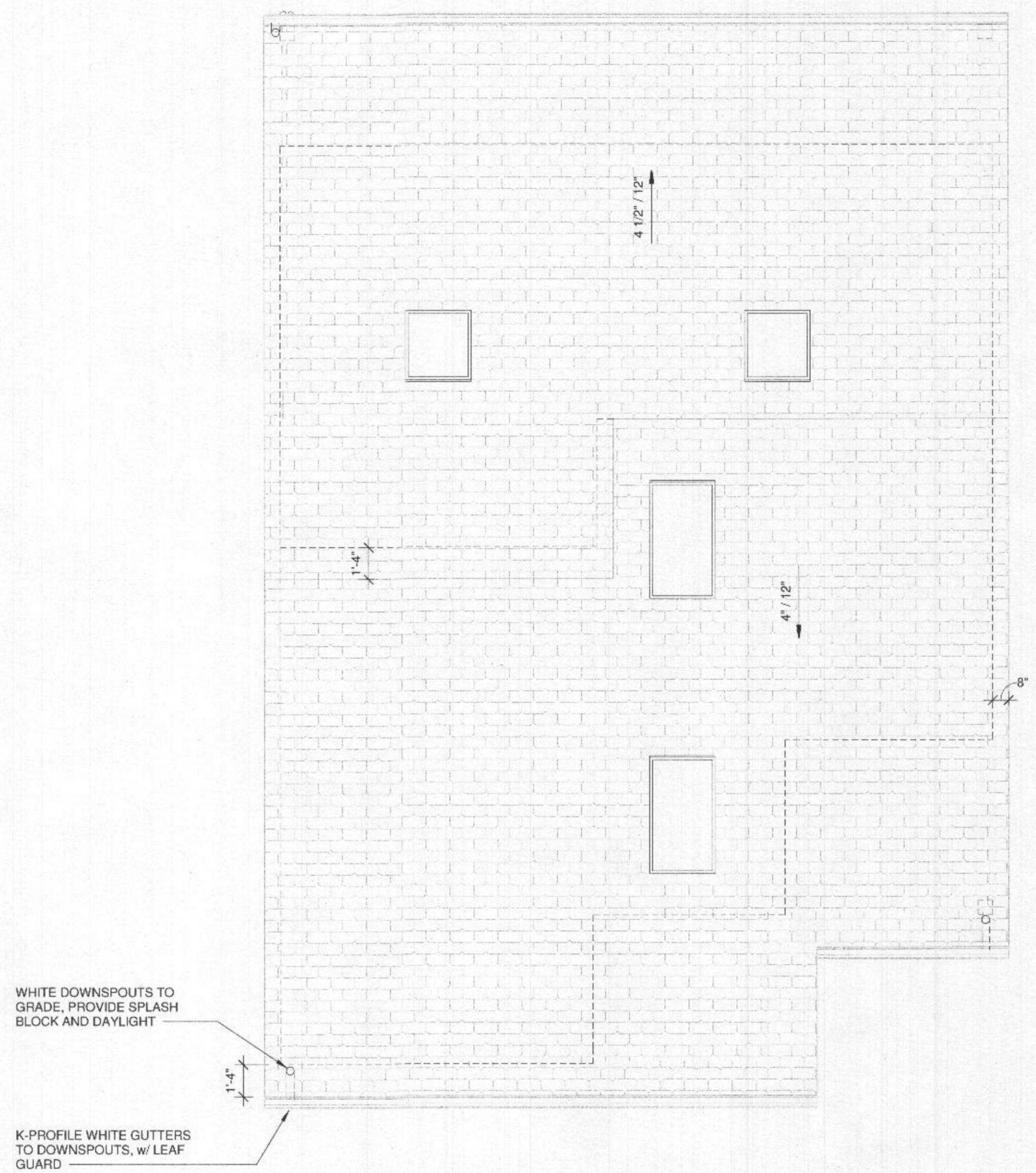
No.	Date	Title

ROOF PLAN

Issue Date: 10/12/2020

A-103

PRICING SET



1 Accessory Roof Plan
1/4" = 1'-0"

