

Approved 11/17/20 H.O.

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B20003900	11/09/2020
Description of Work		
SFD/ CONSTRUCT 2 1 STORY ADDITIONS AND PORCH/ 1 STORY, Full Basement, 5R, 1FB, 1HB, 0FP, OTHER STRUCTURE = 2 Car Attached, 3BR, PORCH/DECK = N/A, ENERGY METHOD = N/A, undefined.		

check spelling

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
7612	GREEN DELL	LN	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		76.9513	39.16259
City	State	Zip Code	Primary
HIGHLAND	MD	20777	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
845244	169	1.01	200100	343100	143000	RURAL
Legal Description						
IMPSLOT 34 S 4[]7612 GREEN DELL LA[]GREENWOOD FARMS						

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	34	605102	5				
Plan Area	State Tax Id	Subdivision Name					
	1405370558						
Section	Area	Tax Map					
		40					
Grid	Zoning District	ADC Map					
40-17	RR-DEO	5051-H5					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.	Primary				
			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	1964	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-15A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *		
RONALD YINGLING		
Address Line 1		
7612 GREENDELL LN		
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code

HIGHLAND	MD	20777
Phone	Primary	
410-215-4035	Yes	
E-mail		
kentolous@gmail.com		
Cell Number		Fax Number

Professionals (This section is not required.)

Search Reset Clear

License # *	Business Name		
08010073726	KENT BUILDING SERVICES LLC		
License Type *	First Name	Middle Name	Last Name
MHIC Ind	RONALD	K	YINGLING
Primary	Address Line 1		
No	7516 FLAMEWOOD DRIVE		
	Address Line 2		
	City	State	ZIP Code
	CLARKSVILLE	MD	21029-0000
	Phone 1	Phone 2	Fax
	4102154035		
	E-mail		
	KENTOLOUS@GMAIL.COM		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	RONALD	K	YINGLING
Relationship	Full Name		
--Select--			
Primary	Organization Name		
Yes	KENT BUILDING SERVICES LLC		
	Street Address		
	7516 FLAMEWOOD DRIVE		
	Address Line 2		
	City	State	Zip Code
	CLARKSVILLE	MD	21029-0000
	Phone	Cell	Fax
	4102154035		
	E-mail *		
	KENTOLOUS@GMAIL.COM		

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type	First Name	MI	Last Name
Contact	RONALD	K	YINGLING
Relationship	Full Name		
--Select--			
Primary	Organization Name		
No	KENT BUILDING SERVICES LLC		
	Street Address		
	7516 FLAMEWOOD DRIVE		
	Address Line 2		
	City	State	Zip Code
	CLARKSVILLE	MD	21029-0000
	Phone	Cell	Fax
	4102154035		
	E-mail		
	KENTOLOUS@GMAIL.COM		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
22000	0	0	No
Construction Type			
--Select--			

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit	Roadside Tree Project Permit #		
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No			
No of Stories *	Foundation *	Basement *	No of Rooms *	Full Baths *	Half Baths *	Existing Use
1	Full Basement	Unfinished	5	1	1	Existing Structure

Model *
WORK IS FOR MY PERSONAL RESIDENCE. INCREASE SIZE OF MASTER BEDROOM/BATHROOM AND REPLACE EXISTING

[check spelling](#)

Other Structure *	Bedrooms *	Porch Deck *	No of Fireplaces *	Type of Fireplace	Energy Code *
2 Car Attached	3	N/A	0	--Select--	N/A

W & S Fees Paid	Water *	Sewage *	Utilities *	Heating System *	Sprinkler System *
<input type="radio"/> Yes <input type="radio"/> No	Private	Private	Electric	Electric	None

1st Floor Width	1st Floor Depth	2nd Floor Width	2nd Floor Depth	Basement Width	Basement Depth	Height

Total Square Footage *	Occupiable Square Footage *	Affordable Housing Funding	Foundation Measurement	Footings
266 SQFT	250 SQFT	--Select--		

Walls	Roof	Change In Use	Grading Permit No
		<input type="radio"/> Yes <input checked="" type="radio"/> No	

Additional Description Info

Empty text area for additional description with scroll arrows.

Expiration Date
5/15/2021

[check spelling](#)

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Submit Cancel



Bureau of Environmental Health
8930 Stanford Blvd | Columbia, MD 21045
410.313.2640 - Voice/Relay
410.313.2648 - Fax
1.866.313.6300 - Toll Free

Maura J. Rossman, M.D., Health Officer

August 21, 2020

R. Kent Yingling
7612 Greendell Lane
Highland, MD 20777

RE: Waiver Approval
7612 Greendell Lane
Highland, MD 20777

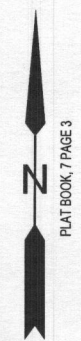
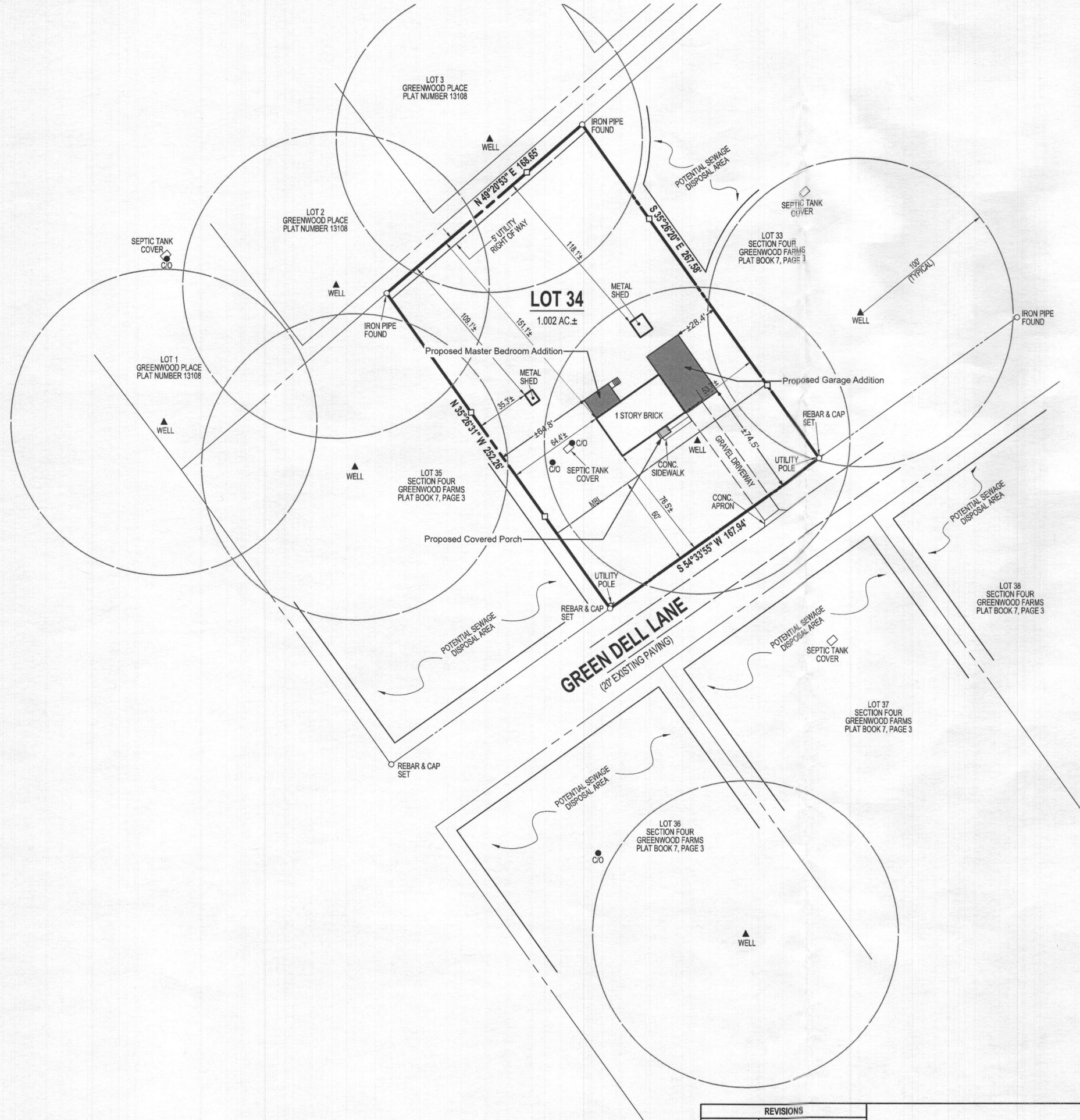
Mr. Yingling,

This letter is being issued in response to your waiver request dated August 18, 2020 to waive the Howard County Code requirement for a Percolation Certification Plan. The waiver has been approved since the proposed garage, deck, and twelve (12) by twenty (20) foot master bedroom addition fall within the one-hundred (100) foot setback to the existing well and do not impact the area available for future on-site sewage disposal system repair. Be advised that any future living space addition will require perc testing, a Perc Certification Plan establishing an adequate sewage disposal area, and the installation of an on-site sewage disposal system that meets current design standards. Any deviations from the proposed work described above will be subject to further review by this Department.

Any questions regarding this decision may be directed to the Well and Septic Program of the Howard County Health Department.

Respectfully,

Michael J. Davis
Assistant Director
Bureau of Environmental Health



SURVEY
 OF
LOT 34
 SECTION FOUR
GREENWOOD FARMS
 RECORDED IN PLAT BOOK 7, PAGE 3
 7612 GREEN DELL LANE
 5TH ELECTION DISTRICT, HOWARD CO. MD
 TAX MAP: 40, GRID: 17, PARCEL: 169

□=STAKE SET ON PROPERTY LINE JULY 3, 2020
NOTE:
 THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT.

NOTE:
 A LICENSEE EITHER PERSONALLY PREPARED THIS BOUNDARY SURVEY OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEY WORK REFLECTED IN IT, IN COMPLIANCE WITH

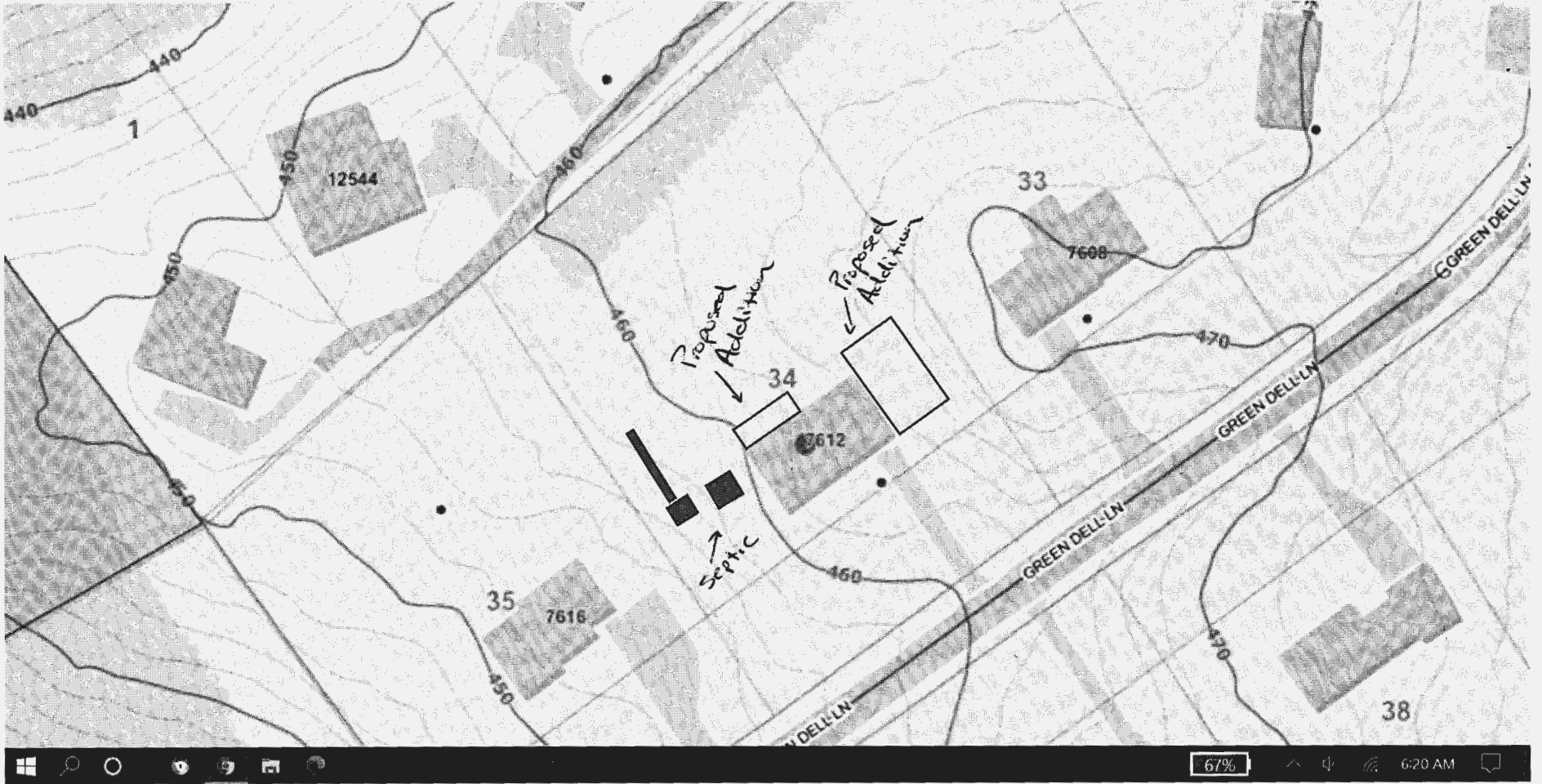
REVISIONS	
DATE	REASON

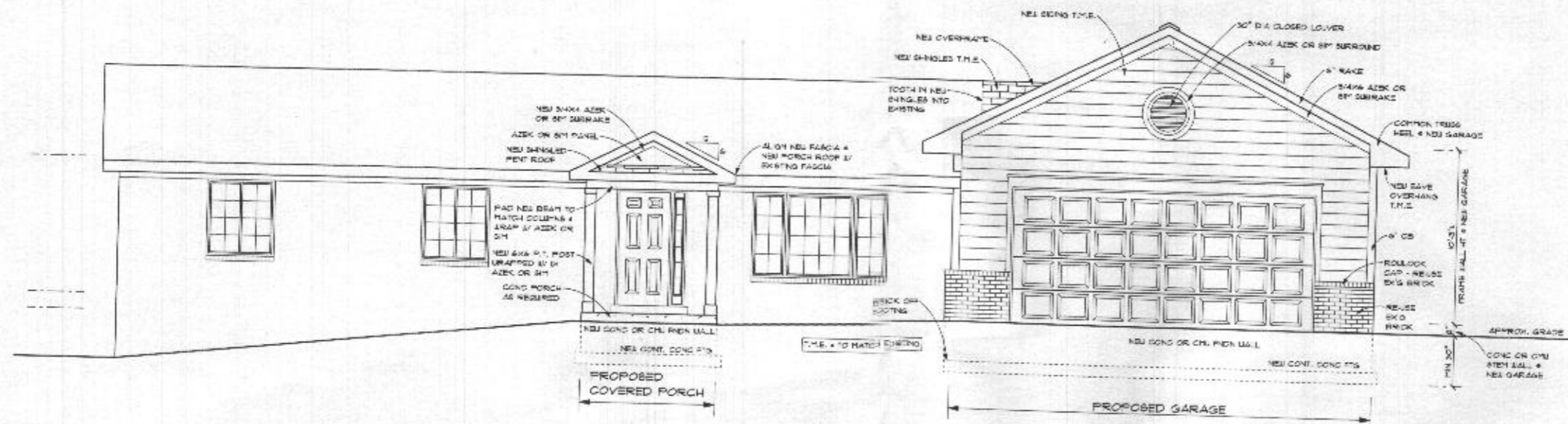
JOHN E. LEMMERMAN
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 21096

TITLE REFERENCE
 RONALD K. YINGLING II
 MELANIE R. YINGLING
 W.A.R. 19374 - 349
 MAY 11, 2020



142 EAST MAIN STREET WESTMINSTER, MD 21157
 410-848-2040 FAX# 443-289-8942 410-876-1222
 EMAIL: RTF142@GMAIL.COM WWW.RTFSURVEYING.COM
 CHECKED BY: JEL DATE: 08-05-2020
 DRAWN BY: AR DATE: 08-05-2020





Proposed Front Elevation
SCALE: 1/4" = 1'-0"

NOTES

1.0 GENERAL
1.01 THE BUILDER SHALL BE RESPONSIBLE AND LIABLE FOR FULL COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES, REGULATIONS AND AMENDMENTS, AND ALL OTHER APPLICABLE REGULATIONS, WHETHER OR NOT SUCH CODES AND REQUIREMENTS ARE EXPLICITLY DOCUMENTED IN THESE DRAWINGS. CONSTRUCTION SHALL COMPLY WITH THE INTERPRETATIONS OF THE LOCAL BUILDING OFFICIAL. IF THE INTERPRETATION OF THE LOCAL BUILDING OFFICIAL IS AT VARIANCE WITH THESE PLANS OR SPECIFICATIONS, THE BUILDER SHALL APPLY THE USE OF THESE DRAWINGS TO OBTAIN A BUILDING PERMIT OR TO CONSTRUCT THE STRUCTURE DOCUMENTED HEREIN SHALL CONSTITUTE ACCEPTANCE OF THESE CONDITIONS BY THE BUILDER.

1.02 IN THE EVENT OF A DISCREPANCY BETWEEN THE ARCHITECTURAL PLANS OR SPECIFICATIONS AND THE STRUCTURAL DRAWINGS, THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE.

1.03 DESIGN LOADS

TYPE	LIVE LOAD (PSF)	DEAD LOAD (PSF)
ROOF	30	15
SLEEPING ROOMS	30	10
OTHER LIVING AREAS	40	15
GARAGE FLOORS	50	50
DECKS	40	10
EXTERIOR BALCONIES	40	10

2.01 SITE WORK IS NOT ADDRESSED IN THESE DOCUMENTS. 2000 PSF SOIL BEARING CAPACITY ASSUMED.

3.0 CONCRETE/FOUNDATIONS

3.01 ALL REINFORCED CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE AC 308, CURRENT EDITION. ALL PLAN CONCRETE SHALL CONFORM TO AC 308.1 AND AC 308.2 GUIDE TO RESIDENTIAL CAST-IN-PLACE CONCRETE CONSTRUCTION.

3.02 MINIMUM SPECIFIED COMPRESSIVE STRENGTH @ 28 DAYS

LOCATION OF CONCRETE	FC (PSI)
BASEMENT WALLS AND FOUNDATIONS NOT EXPOSED TO WEATHER	2500
BASEMENT SLAB AND INTERIOR SLABS ON GRADE	2500
BASEMENT WALLS, EXTERIOR FOUNDATION WALLS AND OTHER WORK EXPOSED TO WEATHER	3000
DRIVEWAYS, CURBS, WALKS, PATIOS, PATIHS, STEPS, STAIRS AND UNHEATED GARAGE FLOORS EXPOSED TO WEATHER	3500

3.03 THICKNESS AND REINFORCING OF CONCRETE FOUNDATION WALLS SHALL CONFORM TO 2018 IRC TABLE R401.1.2(3)-(4), OR WITH STATE STRUCTURAL UNIFORMS SPECIFIC TO THE SITE SOIL AND GRADE CONDITIONS.

4.0 MASONRY

4.01 ALL MASONRY WORK SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE BIA AND NCMA SPECIFICATION FOR CONCRETE MASONRY CONSTRUCTION.

4.02 BRICK VENEER WALLS SHALL HAVE NON-CORROSIVE METAL TIES AT MINIMUM 16" O.C. VERTICALLY AND HORIZONTALLY, AND WEEP HOLES AT 24" O.C. AT BASE FLASHING AND CAVITY INTERRUPTIONS.

5.0 METALS

5.01 FOUNDATION ANCHOR BOLTS SHALL BE PROVIDED AT MAXIMUM 5'-0" O.C. AND 12" FROM THE END OF EACH PLATE SECTION, WITH MINIMUM TWO (2) ANCHORS PER SECTION OF PLATE. ANCHOR STRAPS SHALD TO ACHIEVE EQUIVALENT CAPACITY MAY BE SUBSTITUTED FOR ANCHOR BOLTS.

5.02 ALL METAL ANCHORS, FASTENERS, HANGERS ETC. SHALL BE GALVANIZED. ALL STRUCTURAL STEEL WIDE-FLANGE BEAMS SHALL CONFORM TO ASTM A 992 WITH MINIMUM STRENGTH Fy = 50 KSI. ALL STRUCTURAL STEEL CHANNELS, ANGLES, NUTS AND BARS SHALL CONFORM TO ASTM A 36 WITH MINIMUM STRENGTH Fy = 36 KSI.

5.03 ADJUSTABLE STEEL COLUMNS SHALL BE MINIMUM 11 GAUGE, ASTM A515 OR BETTER, AND SHALL HAVE OR EXCEED THE PUBLISHED ALLOWABLE LOAD CAPACITY. STEEL PIPE COLUMNS SHALL CONFORM TO ASTM A53 GRADE B WITH MINIMUM STRENGTH Fy = 35 KSI. COLUMNS SHALL HAVE A MINIMUM 5/16" X 1/4" BEARING PLATE. SCREW JACK SHALL BE ENCASED IN CONCRETE OR TACK WELDED AFTER INSTALLATION.

6.0 WOOD

6.01 SILL PLATES AND ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE, AND ALL EXPOSED EXTERIOR LUMBER, SHALL BE PRESSURE TREATED TO MEET APPI STANDARDS.

6.02 MOISTURE CONTENT OF ALL LUMBER SHALL NOT EXCEED 19%.

6.03 WOOD BEAMS, JOISTS, HEADERS AND RAFTERS SHALL BE MINIMUM 6" WIDE OR EQUAL UNLESS OTHERWISE NOTED.

6.04 W/ MEMBERS SHALL BE 1-3/4" WIDE, DEPTH PER PLANS, GANGED PER MANUFACTURER'S SPECIFICATIONS, WITH THE FOLLOWING MINIMUM PROPERTIES: Fb=2,600 PSI; Fc=1,750 PSI; E=2,100,000 PSI; Ew=2,000,000 PSI.

6.05 PSL MEMBERS SHALL BE SIZED PER PLANS, WITH THE FOLLOWING MINIMUM PROPERTIES: Fb=2,900 PSI; Fc=1,750 PSI; E=2,000,000 PSI; Ew=2,000,000 PSI.

6.06 PRE-FABRICATED FLOOR JOISTS OR FLOOR TRUSSES SHALL BE DESIGNED TO CARRY ALL IMPOSED LIVE AND DEAD LOADS WITH THE LIVE LOAD DEFLECTION NOT TO EXCEED L/480. ALL EXTERIOR BEAMS AND RAFTERS JOISTS TO BE DESIGNED/VERIFIED BY AN ENGINEER THROUGHOUT THE MANUFACTURER SHALL PROVIDE ALL REQUIRED HANGERS, SHEAR PANELS, BLOCKING/SHEATHING AND OTHER REQUIRED COMPONENTS. THE MANUFACTURER SHALL ALSO PROVIDE ALL DRAWINGS REQUIRED FOR PERMIT AND ERECTION PURPOSES, SIGNED AND SEALED IF REQUIRED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THE JOB IS TO BE BUILT.

6.07 PRE-ENGINEERED TRUSSES SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE RECOMMENDATIONS TO CARRY ALL IMPOSED LIVE AND DEAD LOADS. THE MANUFACTURER SHALL SUPPLY ALL REQUIRED HANGERS, HOLD-DOWN STRIPS, SHEAR WALLS AND OTHER REQUIRED COMPONENTS. THE MANUFACTURER SHALL ALSO PROVIDE ALL DRAWINGS REQUIRED FOR PERMIT AND ERECTION PURPOSES, SIGNED AND SEALED IF REQUIRED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THE JOB IS TO BE BUILT.

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MAINTAINING AND SUPERVISING ALL SAFETY PROGRAMS AND PRECAUTIONS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS AND PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO ALL EMPLOYEES ON THE WORK AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY.
3. ALL PROJECT DEBRIS SHALL BE REMOVED OFF THE SITE BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL PROPERLY EXTEND, TERMINATE OR OTHERWISE MODIFY EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL AND PLUMBING INSTALLATIONS, AS MAY BE REQUIRED.
5. ON-SITE VERIFICATION OF ALL CONDITIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBCONTRACTORS. CONTRACTOR SHALL VERIFY ADEQUACY OF EXISTING STRUCTURE TO RECEIVE NEW CONSTRUCTION.
6. PROVIDE ACCESS PANELS AS REQUIRED AT ALL VALVES, DISBURGERS, UTILITY PANELS, CABLE HOME RUNS, AND ALL OTHER LOCATIONS THAT REQUIR ACCESS MAY BE REQUIRED.

7.0 THERMAL AND MOISTURE PROTECTION

- 7.01 2" X 3" X 1/2" MIN COMPRESSIBLE SILL SEAL SHALL BE PROVIDED BENEATH ALL EXTERIOR SILL PLATES.
- 7.02 PROVIDE APPROVED CORROSION RESISTIVE FLASHING AT THE INTERSECTION OF MASONRY AND WOOD FRAME CONSTRUCTION, OVER PROTECTING TRIM WHERE DECKS, PORCHES, AND THE LIKE ARE ATTACHED TO WOOD FRAME CONSTRUCTION; AT ROOF TO WALL AND ROOF TO CHIMNEY INTERSECTIONS; IN ROOF VALLEYS; AT ALL ROOF PENETRATIONS; AT ALL WALL OPENINGS; AT ALL CAVITY INTERRUPTIONS AT MASONRY VENEER, AND ALL OTHER LOCATIONS REQUIRED TO PREVENT WATER PENETRATION OF THE STRUCTURE.
- 7.03 PROVIDE EXTERIOR FINISHES AS SHOWN ON DRAWINGS. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS OVER APPROVED WATER/WEATHER RESISTANT BARRIER.
- 7.04 PROVIDE SOffit VENTS AND RIDGE VENTS AS SHOWN ON THE DRAWINGS, AND SUPPLEMENTAL ROOF VENTS (AS REQUIRED) TO MAINTAIN MINIMUM 1/300 FREE VENTILATION FOR HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARBONADO Baffles IN EACH TRUSS/RAFTER BAY TO MAINTAIN FREE AIR FLOW. ALL REVERSE GABLES SHALL BE OPEN TO MAIN ROOF ATTIC TO ALLOW FREE AIR FLOW.

THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING HEATING AND COOLING LOADS, EXTENDING EXISTING SYSTEMS, AND/OR SIZING NEW HVAC UNITS IN FULL COMPLIANCE WITH 2018 IRC M1401.1.

2018 IECC ENERGY CODE COMPLIANCE REQUIREMENTS

COMPLIANCE CERTIFICATE	REQUIREMENTS
MAXIMUM PENETRATION U-FACTOR AND SHGC	A PERMANENT CERTIFICATE APPROVED BY THE LOCAL JURISDICTION DESCRIBING THE R-VALUES, U-FACTORS, AND SHGC OF THE BUILDING COMPONENTS AND BUILDING AIR LEAKAGE TEST RESULTS SHALL BE AFFIXED TO THE ELECTRICAL DISTRIBUTION PANEL OR ANOTHER LOCATION APPROVED BY THE LOCAL JURISDICTION. PER IECC R402.2 (IRC N1103.1.1)
HVAC CONTROLS	EACH HEATING AND COOLING SYSTEM SHALL HAVE AT LEAST ONE THERMOSTAT PER IECC R402.1 (IRC N1103.1). THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE A PROGRAMMABLE THERMOSTAT PER IECC R402.1.1 (IRC N1103.1.1.1)
HEAT PUMP SUPPLEMENTARY HEAT	HEAT PUMPS WITH SUPPLEMENTARY ELECTRIC RESISTANCE HEAT SHALL HAVE CONTROLS THAT EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT FROM OPERATING WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD PER IECC R402.1.2 (IRC N1103.1.2)
DUCT SEALING	WHEN NEW FORCED AIR SYSTEMS ARE PROVIDED, ALL DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED PER IECC M1401.4.1. DUCT TIGHTNESS SHALL BE VERIFIED BY EITHER A BLOW-UP OR FLOW-TOUGHNESS TEST PER IECC M1401.4.2 (IRC N1103.1.3) UNLESS DUCTS AND AIR HANDLERS ARE LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.
BUILDING CAVITIES AS DUCTS OR PLUMBING	BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLUMBING PER IECC R402.1.3 (IRC N1103.1.3)
MECHANICAL SYSTEM PIPING INSULATION	MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 100°F OR BELOW 55°F SHALL BE INSULATED TO A MINIMUM PER IECC R402.4 (IRC N1103.4). PIPING INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED FROM DEGRADATION AND DELET PER IECC R402.4.1 (IRC N1103.4.1)
CIRCULATING HOT WATER SYSTEMS	CIRCULATING HOT WATER SYSTEMS SHALL BE PROVIDED WITH AN AUTOMATIC OR READY ACCESSIBLE MANUAL SWITCH TO TURN OFF THE CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE PER IECC R402.5 (IRC N1103.5.1)
MECHANICAL VENTILATION	THE BUILDING SHALL BE PROVIDED WITH VENTILATION PER IECC M1401.5 OR OTHER APPROVED MEANS OF VENTILATION PER IECC R402.6 (IRC N1103.6) WHOLE-HOUSE VENTILATION SHALL MEET EFFICIENCY STANDARDS PER IECC TABLE R402.6.1 (IRC TABLE N1103.6.1)
EQUIPMENT SIZING	HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL S OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES PER IECC M1401.7 (IRC N1103.7)
SYSTEMS SERVING MULTIPLE DWELLING UNITS	SYSTEMS SERVING MULTIPLE DWELLING UNITS SHALL CONFORM TO IECC SECTIONS 605 AND 606
SNOW MELT SYSTEMS CONTROLS	SNOW AND ICE MELT SYSTEMS SUPPLIED THROUGH ENERGY SERVICE TO THE BUILDING SHALL INCLUDE AUTOMATIC CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE AMBIENT TEMPERATURE IS ABOVE 40°F AND NO PRECIPITATION IS FALLING, AND AUTOMATIC OR MANUAL CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE OUTDOOR TEMPERATURE IS ABOVE 40°F PER IECC M1401.9 (IRC N1103.9)
POOLS AND INGROUND PERMANENTLY INSTALLED SPAS	POOLS AND INGROUND SPA HEATERS SHALL HAVE AN ACCESSIBLE ON-OFF SWITCH MOUNTED ON THE OUTSIDE OF THE HEATER THAT ALLOWS SHUT-OFF WITHOUT AFFECTING THE BATHING. SETPOINTS PER IECC R402.10.1 (IRC N1103.10.1); GAS-FIRED HEATERS SHALL NOT HAVE CONTINUOUS BURNING SCHEDULE PER IECC R402.10.2 (IRC N1103.10.2). HEATED POOLS AND INGROUND SPAS SHALL BE PROVIDED WITH A VAPOR-BARRIER COVER PER IECC R402.10.3 (IRC N1103.10.3)
LIGHTING EQUIPMENT	A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER IECC R401.1 (IRC N1103.1)
FUEL GAS LIGHTING EQUIPMENT	FUEL GAS SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHT SYSTEMS PER IECC M141.1 (IRC N1103.1.1)

THE BUILDING SHALL ALSO CONFORM TO THE FOLLOWING PRESCRIPTIVE REQUIREMENTS:

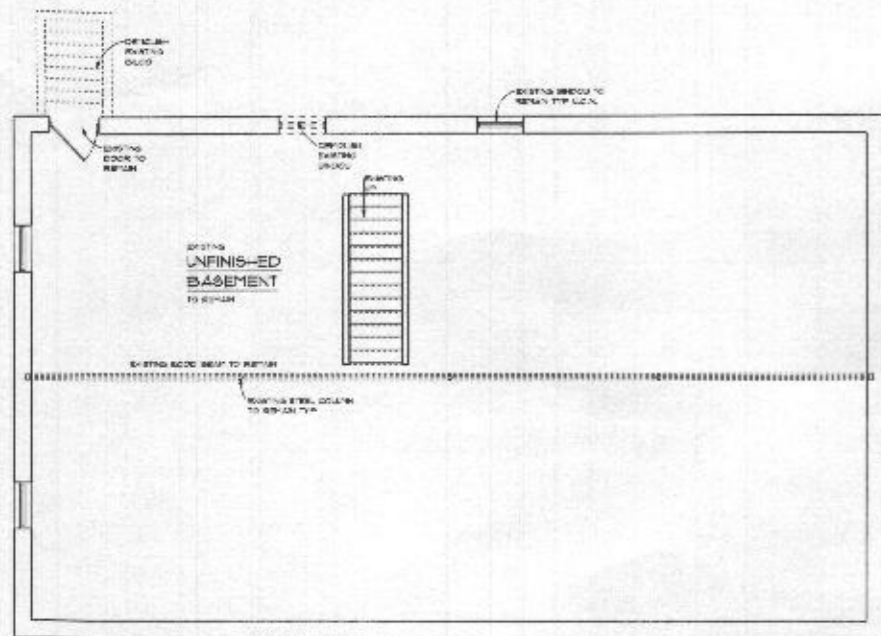
THE BUILDING CONFORMS TO THE PRESCRIPTIVE REQUIREMENTS DETAILED IN THE CHART BELOW PER IECC R402.1.2 & R402.1.3 (IRC N1103.1.2 & N1103.1.3). EQUIVALENT U-FACTORS MAY BE SUBSTITUTED FOR REQUIRED R-VALUES PER IECC R402.1.4 (IRC N1103.1.4). THE BUILDING SHALL ALSO CONFORM TO THE DETAILED REQUIREMENTS OF IECC R402.2 (IRC N1103.2).

COMPONENT	REQUIRED VALUE
CEILING/ROOF	R-49 (COMPRESSED OVER WALL TOP PLATE AT BAYS) OR R-48 (UNCOMPRESSED OVER WALL TOP PLATE AT BAYS)
WALLS	R-20 CAVITY OR R-13 CAVITY PLUS R-5 CONTINUOUS
BASEMENT WALLS	R-30 CONTINUOUS OR R-13 CAVITY
SLAB	R-20, 7" DEPTH
CRACK SPACE WALLS	R-10 CONTINUOUS OR R-13 CAVITY
FLOORS OVER UNCONDITIONED SPACE	R-19
DUCTS OUTSIDE CONDITIONED SPACE	R-6 FOR SUPPLY DUCTS IN ATTICS R-6 FOR ALL OTHER DUCTS
HOT WATER PIPES	R-3 UNLESS OTHERWISE ALLOWED BY IECC R402.5.3 (IRC N1103.5.3)
FENESTRATION	U-FACTOR = 0.32 MAX; SHGC = 0.40 MAX
SKYLIGHTS	U-FACTOR = 0.55 MAX; SHGC = 0.40 MAX

KENT BUILDING SERVICES, LLC
2516 BLAINEWOOD DRIVE
CLARKSVILLE, MD 21029
• 410-215-4025

RONALD JOHNSTON AND ASSOCIATES, ARCHITECTS
11407 BARLEY FIELD WAY
MARRIOTT SVILLE, MD 21104
• 410-442-3667

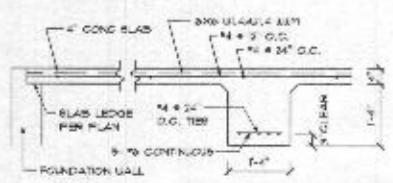
Proposed Additions and Alterations to the
Yingling Residence
7612 Greendell Lane, Highland, Maryland 20777



Existing/Demolition Foundation Plan
SCALE: 3/16" = 1'-0"

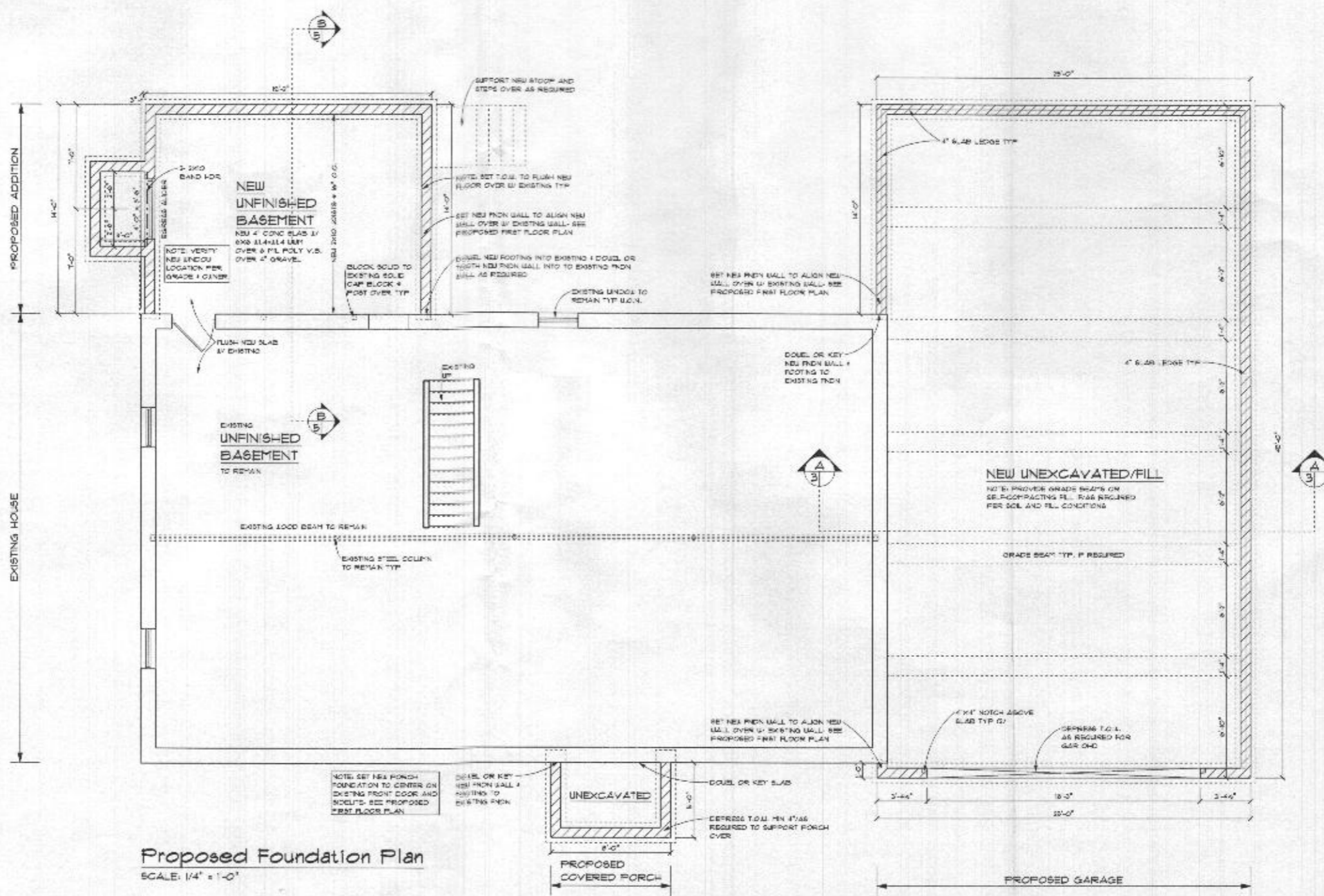
Wall Key

[Symbol: Dashed line]	EXISTING FOUNDATION WALL TO REMAIN	[Symbol: Dotted line]	NEW 2X6 (2X4 WHERE NOTED) 4" x 8" O.C. FRAME / SOING WALL
[Symbol: Diagonal hatching]	NEW 8" CONC OR CMU FOUNDATION WALL ON NEW 8"x8" CONCRETE FOOTING	[Symbol: Solid line]	EXISTING FRAME WALL TO REMAIN
[Symbol: Horizontal hatching]	EXISTING FRAME / BRICK VENEER WALL TO REMAIN	[Symbol: Dotted line]	EXISTING FRAME WALL TO BE DEMOLISHED
[Symbol: Vertical hatching]	EXISTING FRAME / BRICK VENEER WALL - EXISTING BRICK VENEER TO BE DEMOLISHED	[Symbol: Dotted line]	NEW 2X4 x 16" O.C. FRAME WALL
[Symbol: Zigzag hatching]	EXISTING FRAME / BRICK VENEER WALL TO BE DEMOLISHED		



NOTES:
1. CONCRETE TO BE 3500 PSI x 28 DAYS AIR ENTRAINED.
2. REINFORCING STEEL SHALL BE GRADE 60.
3. PROVIDE 2" SLAB EDGE 4" FINISH ON WALLS TO SUPPORT EDGE OF SLAB.

Detail at Grade Beam
SCALE: 1/2" = 1'-0"



Proposed Foundation Plan
SCALE: 1/4" = 1'-0"

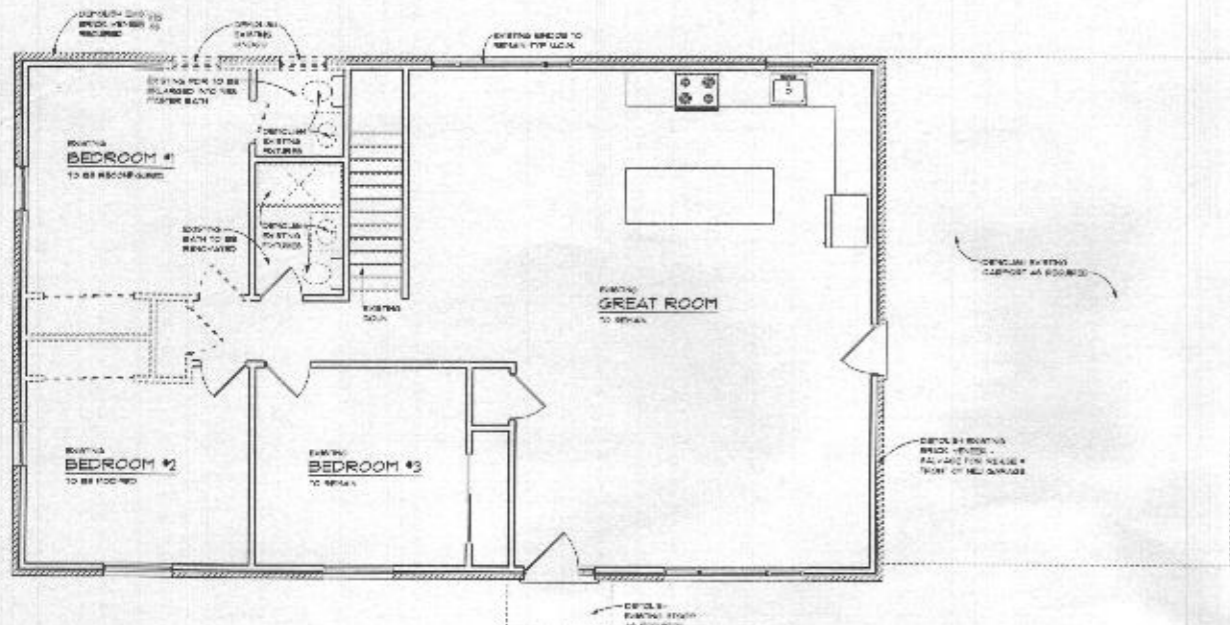
KENT BUILDING SERVICES, LLC
7516 FLAMEWOOD DRIVE
CLARKSVILLE, MD 21029
• 410-215-4035

RONALD JOHNSTON AND ASSOCIATES, ARCHITECTS
11407 BARLEY FIELD WAY
MARRIOTTSVILLE, MD 21104
• 410-412-3667

DATE: 11-09-2020
SHEET NO: A-3
SCALE: 1/4" = 1'-0"

Proposed Additions and Alterations to the
Yingling Residence
7612 Greendell Lane, Highland, Maryland 20777

DATE: 11-09-2020
SHEET NO: A-3
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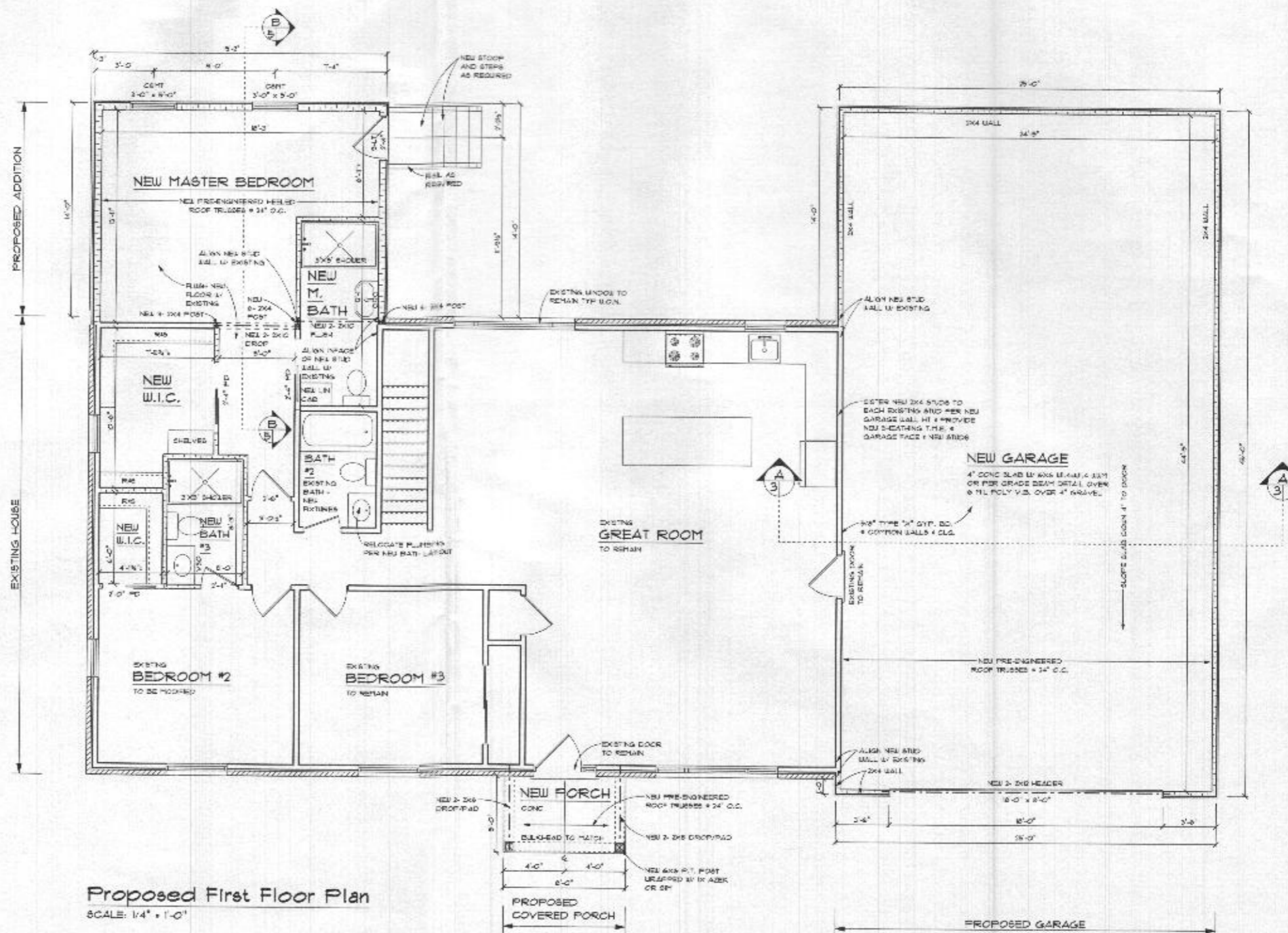


Existing/Demolition First Floor Plan

SCALE: 3/16" = 1'-0"

Wall Key

	EXISTING FOUNDATION WALL TO REMAIN		NEW 2x4 HERE NO BD + 16' O.C. FRAME / SKINS WALL
	NEW 4" CONC OR CGL FOUNDATION WALL ON NEW 18" X 18" CONCRETE FOOTINGS		EXISTING FRAME WALL TO REMAIN
	EXISTING FRAME / BRICK VENEER WALL TO REMAIN		EXISTING FRAME WALL TO BE DEMOLISHED
	EXISTING FRAME / BRICK VENEER WALL TO BE DEMOLISHED		NEW 2x4 + 16' O.C. FRAME WALL
	EXISTING FRAME / BRICK VENEER WALL TO BE DEMOLISHED		



Proposed First Floor Plan

SCALE: 1/4" = 1'-0"

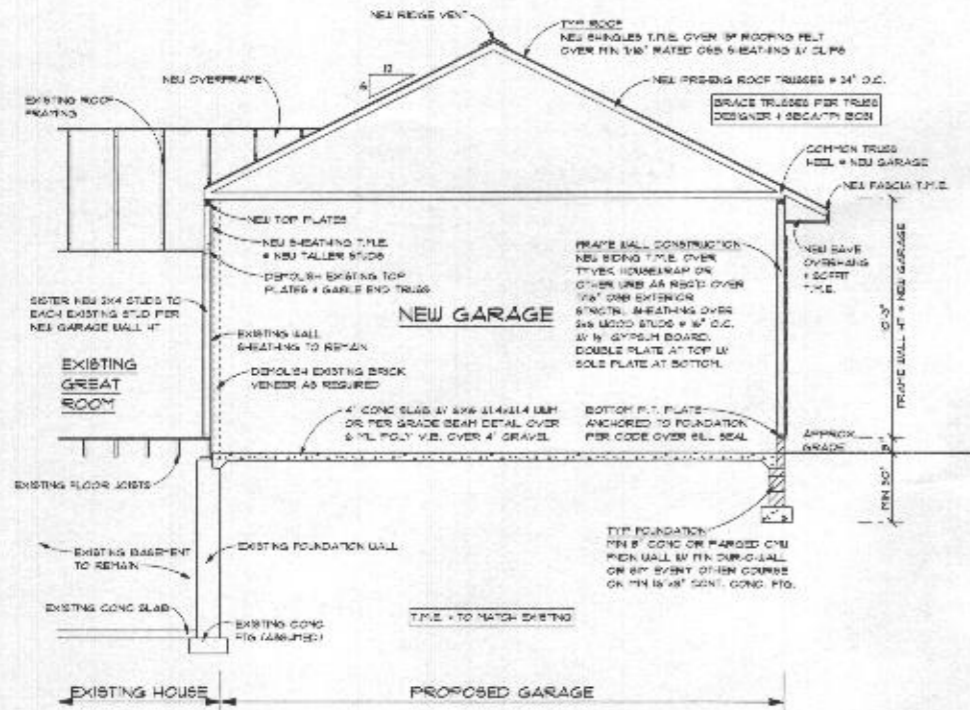
KENT BUILDING SERVICES, LLC
 7516 FLAMEWOOD DRIVE
 CLARKSVILLE, MD 21029
 • 410-215-4095

RONALD JOHNSTON AND ASSOCIATES, ARCHITECTS
 11407 BARLEY FIELD WAY
 MARRIOTTVILLE, MD 21104
 • 410-442-3667

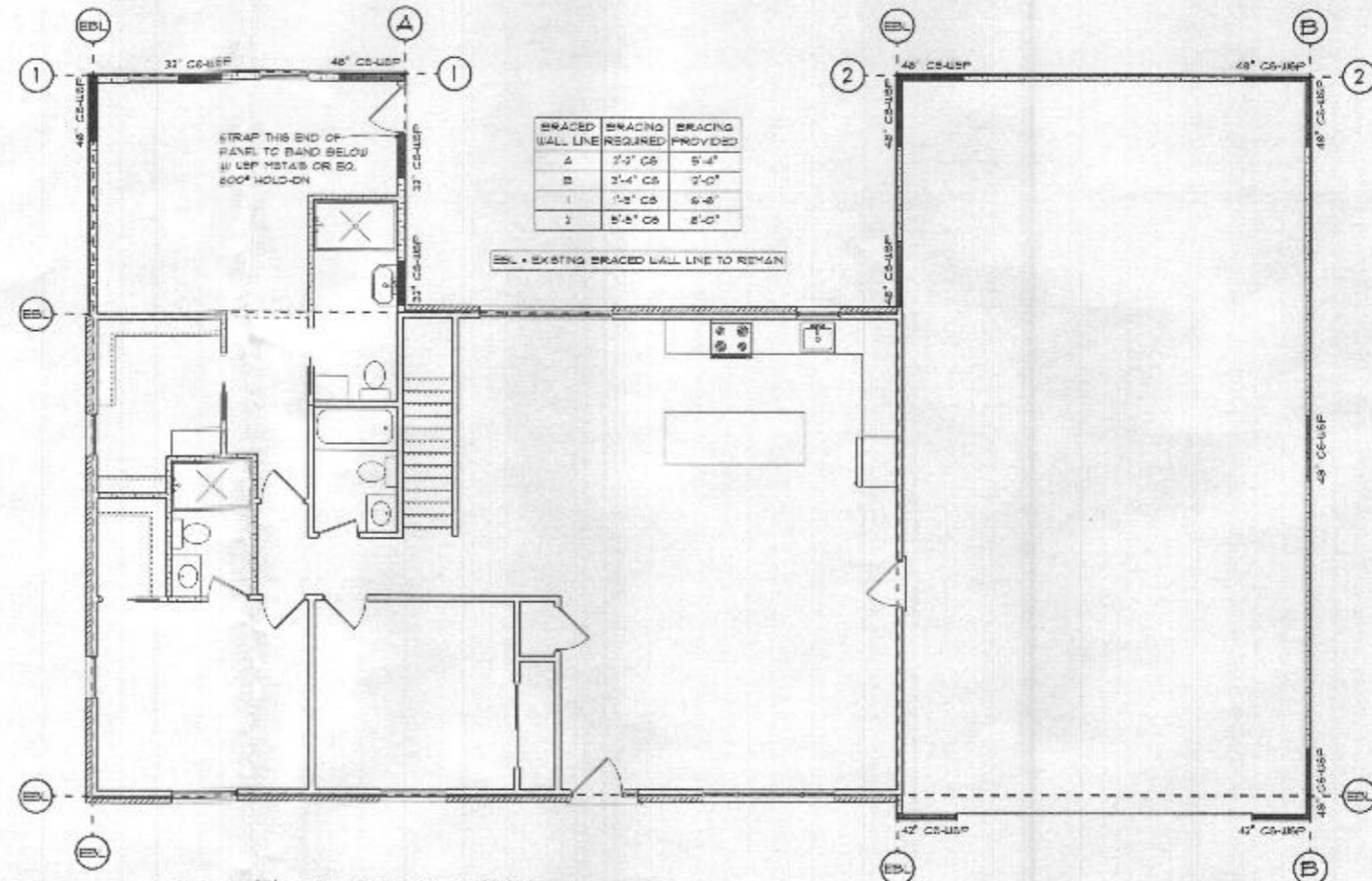
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 KENT BUILDING SERVICES, LLC
 DATE: 11-09-2020

Proposed Additions and Alterations to the
Yingling Residence
 7612 Greendell Lane, Highland, Maryland 20777

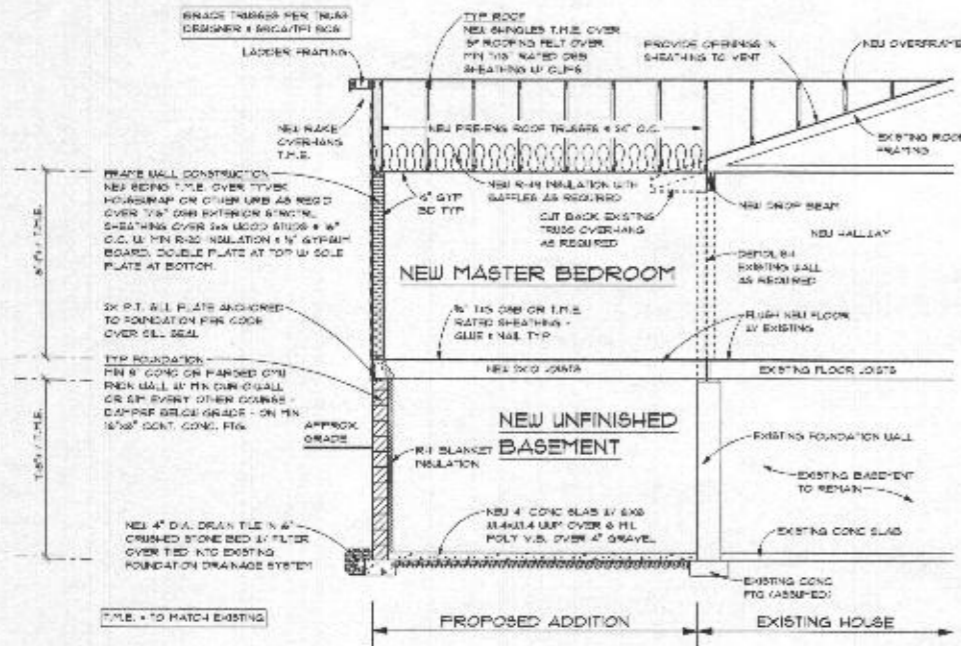
REVISIONS
 DATE: 11-09-2020
 SHEET NO. **A-4**
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Section A
SCALE: 1/4" = 1'-0"

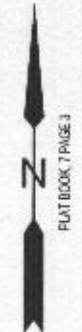
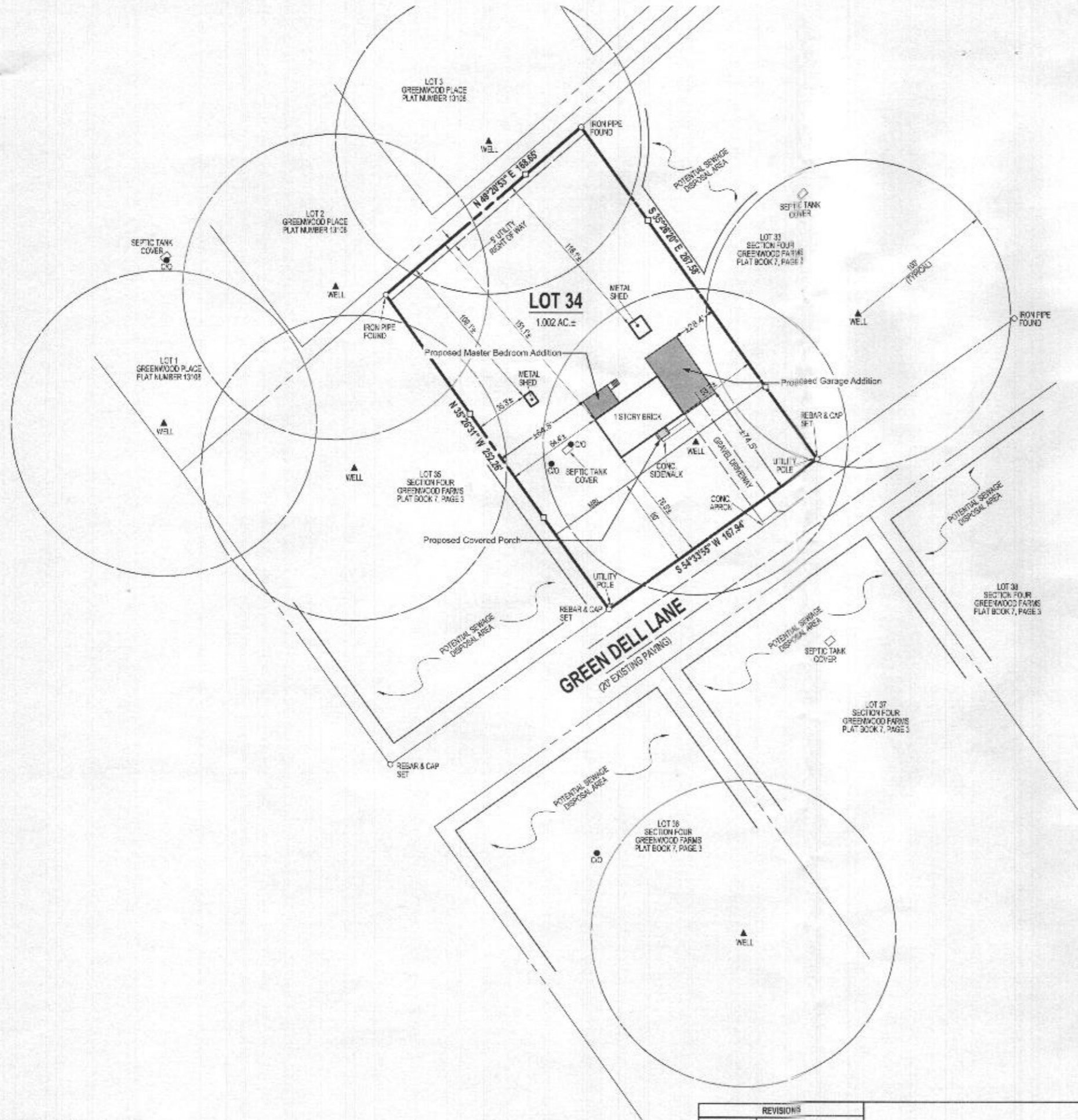


Proposed First Floor Bracing Plan
SCALE: 3/16" = 1'-0"



Section B
SCALE: 1/4" = 1'-0"

1. VERIFY ALL DIMENSIONS WITH FIELD SURVEYOR.
2. VERIFY ALL DIMENSIONS WITH FIELD SURVEYOR.
3. VERIFY ALL DIMENSIONS WITH FIELD SURVEYOR.
4. VERIFY ALL DIMENSIONS WITH FIELD SURVEYOR.
5. VERIFY ALL DIMENSIONS WITH FIELD SURVEYOR.



SURVEY
 OF
LOT 34
 SECTION FOUR
GREENWOOD FARMS
 RECORDED IN PLAT BOOK 7, PAGE 3
 7612 GREEN DELL LANE
 5TH ELECTION DISTRICT, HOWARD CO. MD
 TAX MAP: 40, GRID: 17, PARCEL: 169

□ = STAKE SET ON PROPERTY LINE JULY 3, 2020
NOTE:
 THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT.

NOTE:
 A LICENSEE EITHER PERSONALLY PREPARED THIS BOUNDARY SURVEY OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEY WORK REFLECTED IN IT, IN COMPLIANCE WITH

REVISIONS	
DATE	REASON

JOHN E. LENNEMAN
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 21266

TITLE REFERENCE
 RONALD K. YINGLING II
 MELANIE R. YINGLING
 W.A.R. 19374 - 349
 MAY 11, 2020



142 EAST MAIN STREET WESTMINSTER, MD 21157
 410-848-2040 FAX# 443-289-8942 410-876-1222
 EMAIL: RTF142@GMAIL.COM WWW.RTFSURVEYING.COM
 CHECKED BY: JEL DATE: 06-05-2020
 DRAWN BY: AR DATE: 06-05-2020